

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
OCTOBER 28, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of the Minutes for the October 10, 2025 Planning and Zoning Commission meeting.

(3) **P2025-036 (RYAN MILLER)**

Consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1-5, Block A, Houston-Rose Addition being a 1.956-acre tract of land identified as Lots 1-4, Block T; Lots 1-4, Block U; Lots 1-3, Block V; and Lots 1-3, Block W, Rockwall OT Addition and Lots A & D, Block 8, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 301 & 303 Denison Street, 203-305 Fannin Street, and 306 & 308 E. Washington Street, and take any action necessary.

(4) **P2025-037 (HENRY LEE)**

Consider a request by David Stanglin of Ruffin Custom Buildings for the approval of a Replat for Lot 2, Block A, Pott Shrigley Addition being a 2.00-acre parcel of land identified as Lot 1, Block 1, Pott Shrigley Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 992 Sids Road, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(5) **MIS2025-018 (HENRY LEE)**

Discuss and consider a request by Noah Dawit for a Special Request for an Exception to the Exterior Material requirements of Planned Development District 75 (PD-75) for a 0.688-acre tract of land identified as a portion of Lot 776A and all of Lots 774A & 775A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 370 Eva Place, and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is November 11, 2025.

- (6) **Z2025-066 (RYAN MILLER)**
Hold a public hearing to discuss and consider a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes, Phase 1, LLC for the approval of a Zoning Change amending Planned Development District 78 (PD-78) [*Ordinance No. 20-27*] to change the *Garage Orientation* requirements for a 316.315-acre tract of land identified as: [1] Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, [2] Tract 2 of the R. K. Brisco Survey, Abstract No. 16, and [3] Lots 1-9, Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-10, Block D; and Lot 1, Block E, Discovery Lakes, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and Rochell Road, and take any action necessary.
- (7) **Z2025-067 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Lisa Brooks and Renee Holland of Makeway, LLC for the approval of a Specific Use Permit (SUP) for a *Daycare Facility Exceeding the Maximum Building Size* in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.
- (8) **Z2025-068 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a Specific Use Permit (SUP) to allow a *Recording Studio* on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.
- (9) **Z2025-069 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.
- (10) **Z2025-070 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Gage Raba of Hunington Properties, LTD on behalf of Tina Cox of Temunovic Partnership LTD for the approval of a Zoning Change from a Light Industrial (LI) and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses for a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3, and 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and, Lot 2, Block A, Eastplex Industrial Park No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, situated within the SH-205 Bypass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard, and take any action necessary.
- (11) **Z2025-071 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as a Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.
- (12) **Z2025-072 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [*SH-205*] and Lofland Circle, and take any action necessary.
- (13) **Z2025-073 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a Specific Use Permit (SUP) for a *Major Auto Repair Garage* on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and take any action necessary.

(14) **P2025-038 (BETHANY ROSS)**

Discuss and consider a request by Alejandro Rubio for the approval of a *Preliminary Plat* for Lots 1 & 2, Block A, Rubio Addition being a 4.71-acre tract of land identified as Tracts 7 & 7-1 of the H. K. Newell Survey, Abstract No. 167, and a portion of Tract 2-1 of the J. H. Robnett Survey, Abstract No. 182, Rockwall County, Texas, generally located southeast of the intersection of SH-276 and Rochell Road, and take any action necessary.

(15) **P2025-039 (BETHANY ROSS)**

Discuss and consider a request by Sam Carroll of Carroll Consulting Group, Inc. on behalf of Jim Bell of Harlan Properties, Inc. for the approval of a *Preliminary Plat* for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas, generally located northeast of the intersection of S. Munson Road and Laci Lane, and take any action necessary.

(16) **SP2025-041 (HENRY LEE)**

Discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a *Site Plan* for a *Medical Office Building* on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205], and take any action necessary.

(17) *Director's Report* of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2025-032: Final Plat for Lot 1 & 2, Block A, Sweat Addition (**APPROVED**)
- Z2025-059: Zoning Change from Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District Land Uses for a Single-Family Subdivision (**2ND READING; APPROVED**)
- Z2025-062: Specific Use Permit (SUP) for *Indoor Commercial Amusement* at 2071 Summer Lee Drive, Suite R103 (**1ST READING; APPROVED**)
- Z2025-063: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Establish Subdivision* at 902 Aluminum Plant Road (**1ST READING; APPROVED**)
- Z2025-064: Specific Use Permit (SUP) to *Exceed the Maximum Height in a Commercial (C) District* for 1020 La Jolla Pointe Drive (**1ST READING; APPROVED**)
- Z2025-065: Specific Use Permit (SUP) for a *Retail Store with Gasoline Sales* (**1ST READING; APPROVED**)
- MIS2025-017: Miscellaneous Case for an *Alternative Tree Mitigation Settlement Agreement* for the Erwin Farms Subdivision (**APPROVED**)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on October 22, 2025 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION PUBLIC HEARING MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
OCTOBER 14, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

I. CALL TO ORDER

Chairman. Dr. Jean Conway called the meeting to order at 6:00PM. Commissioners present were Ross Husting, John Hagaman, Carin Brock, Ellis Bentley, Douglas Roth and David Schoen. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Senior Planner Bethany Ross, Planning Coordinator Melanie Zavala, City Engineer Amy Williams. Staff absent were Planning Technician Angelica Guevara, Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price.

II. OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Chairman Dr. Conway explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being no one indicating such Chairman Dr. Conway closed the open forum.

III. CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

1. Approval of Minutes for the September 30, 2025 Planning and Zoning Commission meeting.

2. P2025-032 (HENRY LEE)

Consider a request by Dean & Tina Sweat for the approval of a *Final Plat* for Lots 1 & 2, Block A, Sweat Addition for an 8.67-acre tract of land identified as Tract 23-2 of the S. McFadgin Survey, Abstract No. 142, City of Rockwall, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 200 Sabine Creek Road, and take any action necessary.

Commissioner Hustings made a motion to approve the Consent Agenda. Commissioner Roth seconded the motion which passed by a vote of 7-0.

IV. PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a [Request to Address the Planning and Zoning Commission](#) (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

3. Z2025-062 (BETHANY ROSS)

Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC for the approval of a *Specific Use Permit (SUP)* for *Indoor Commercial Amusement/Recreation* on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.

Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The subject property is located within the Harbor District, and zoned PD-7 for General Retail District land uses. The applicant is requesting a Specific Use Permit for indoor Commercial Amusement and Recreation. Specifically, the applicant is requesting an arcade within the 4,800 SF suite. The harbor is characterized by its live work play environment offering a wide array of shopping dining, entertainment and recreational uses. This may look familiar as on August 12, the Planning and Zoning Commission ultimately recommended denial of the SUP because the Commission did not feel the amount of information provided by the applicant was sufficient to make a positive recommendation. Based on this action, the applicant sent an email to staff, on August 14, requesting to withdraw the case. A subsequent Application was made on September 12 with additional information to better articulate the request. The applicant provided updated renderings, a letter, floor plan, a Dallas morning news article about the growing popularity of this type of facility, and videos of the inside of similar arcade locations. In this case, the arcade use appears to meet all the conditional land use standards and generally conform with the intent of the existing development and the overall district. With all that being said, the approval of a SUP is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. On September 19, 2025, staff mailed 69 notices to property owners and occupants within 500-feet of the subject property. At this time, staff has not received any notices in favor or in opposition of the applicants request.

Hunter Hayes
10517 Takala Drive

65 Fort Worth, TX 76179
66
67 Soni Cheng
68 5315 Isidore Lane
69 Missouri City, TX 77459
70

71 Jeff Carter
72 8222 Douglas Avenue
73 Dallas, TX 75225
74

75 Mr. Hayes came forward and provided additional details in regards to the applicant's request.
76

77 Commissioner Hagaman asked how they plan on evolving the business.
78

79 Mr. Hayes explained they would add new prizes in regards to items that are popular.
80

81 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating
82 such Chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.
83

84 Commissioner Roth explained this would be another good business for the area it is located in.
85

86 Commissioner Hustings made a motion to approve Z2025-062. Commissioner Brock seconded the motion which passed by a vote of 6-1 with
87 Commissioner Hagaman dissenting.
88

89 **4. Z2025-063 (BETHANY ROSS)**

90 Hold a public hearing to discuss and consider a request by T. J. Mutcherson for the approval of a *Specific Use Permit (SUP)* for Residential Infill Adjacent to an
91 Established Subdivision for the purpose of constructing a single-family home on a 0.16-acre tract of land identified as a Tract 36 of R. Ballard Survey, Abstract
92 No. 29, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 902 Aluminum Plant Road, and take any action necessary.
93

94 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicant is requesting a Specific Use Permit for
95 Residential infill adjacent to Park Place Phase 2. The proposed home meets all of the density and dimensional requirements for a single-family home
96 in a Single Family 7 District. That being said, the approval of this request is a discretionary decision for the City Council pending a recommendation
97 from the Planning and Zoning Commission. On September 19, 2025, staff mailed 72 notices to property owners and occupants within 500-feet of the
98 subject property. At this time, staff has received one (1) email notice.
99

100 TJ Mutcherson
101 1549 Wyler Drive
102 Forney TX75126
103

104 Mr. Mutcherson came forward and explained he is building the house to sell it in the future.
105

106 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating
107 such Chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.
108

109 Commissioner Bentley asked why it would require a SUP.
110

111 Commissioner Hustings asked if it is consistent to other houses in the area.
112

113 Commissioner Brock made a motion to approve Z2025-063. Commissioner Hustings seconded the motion which passed by a vote of 7-0.
114

115 **5. Z2025-064 (BETHANY ROSS)**

116 Hold a public hearing to discuss and consider a request by Phillip Craddock of Craddock Architecture, PLLC on behalf of Clay Shipman of Shipman Fire
117 Protection for the approval of a *Specific Use Permit (SUP)* to exceed the *Maximum Permissible Height in a Commercial (C) District* on a 5.104-acre tract of land
118 identified as Lot 19, Block A, La Jolla Pointe Addition and Lots 10 & 24, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas,
119 zoned Commercial (C) District, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) District, addressed as 1020 La Jolla Pointe Drive.
120

121 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The property is located at 1020 La Jolla Pointe Drive and
122 is currently home to the corporate offices of Shipman Fire and is zoned Commercial (C) District. The applicant is requesting a Specific use permit to
123 exceed the maximum height within the Commercial (C) District which is 60 feet. The applicant is requesting 91 feet, or to exceed the limit by 31 feet.
124 For context, there have been two examples of SUPs approved that were similar in nature to this request. In 2017, a SUP was approved for the Hyatt
125 Hotel southwest of the subject property and in 2024, a SUP was approved for the REDC property northeast of the subject property. The Hotel was
126 approved to exceed the Scenic Overlay District height requirement by 24 feet at a total of 60-feet. The REDC was approved to exceed the Scenic
127 Overlay District Height requirement by 84-feet at a total height of 120-feet. With that being said, a request for a Specific Use Permit (SUP) remains a
128 discretionary decision for the City Council, pending a recommendation from the Planning and Zoning Commission. On September 19, 2025 staff
129 mailed 58 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lakeside Village HOA and the
130 Turtle Cove HOA. At this time, staff has not received any notifications in regard to the request.
131

132 Commissioner Roth asked how tall there building is today.

133 Phillip Craddock
134 551 Embargo Drive
135 Fate, TX 75189
136

137 Mr. Craddock explained the building was currently 36 foot.
138

139 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating
140 such Chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.
141

142 Commissioner Brock made a motion to approve Z2025-064. Commissioner Schoen seconded the motion which passed by a vote of 7-0.
143

144 **6. Z2025-065 (HENRY LEE)**

145 Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bost of JBR2, LLC for the approval
146 of an Specific Use Permit (SUP) for a *Retail Store with Gasoline Sales that has more than Two (2) Dispensers* on a 2.59-acre parcel of land identified as Lot 2,
147 Block A, JBR2 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, generally located at the south corner of the intersection
148 of S. Goliad Street [SH-205] and FM-549, and take any action necessary.
149

150 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. On October 3rd of 2016 City Council approved a Specific Use
151 Permit (SUP) to allow the construction of a retail store with gasoline sales. However, that facility was never constructed since the property still
152 remains vacant till this day. Moving forward today since that SUP did expire the applicant is bringing it forward again asking again for a retail store
153 with gasoline sales. They have now moved all parking in front of the two buildings. In this case, given that it is in a general retail district and not
154 within the overlay district parking is not supposed to be situated between the building and the road way. Given this is a corner lot the parking does
155 not meet the requirement. If concept plan gets approved tonight they will be approving the parking variance and it will not be able to be considered
156 later in the site plan process. Staff did mail out notices to property owners and occupants. There was one (1) notice in opposition of the applicants
157 request. Staff did include operational conditions that the building be required to meet the overlay district standards given this property is not within
158 an overlay district and if approved in the SE property would be required to install a three-tiered landscaping screening with a wrought iron fence.
159

160 Commissioner Hagaman asked how the lot would be designed.
161

162 Commissioner Bentley asked if they would drop below the parking requirements.
163

164 Chairman Dr Conway asked if tis was caddy corner of the other gas station.
165

166 Commissioner Roth asked about the building orientation and if it would fit the other gas stations.
167

168 Jimmy Strohmeyer
169 2701 Sunset Ridge
170 Suite 601
171 Rockwall, TX 75032
172

173 Mr. Strohmeyer came forward and explained they will be abiding overlay district building requirements then they should be able to obtain the parking.
174

175 Daniel Bobst
176 2701 Sunset Ridge Drive
177 Suite 610
178 Rockwall, TX 75032
179

180 Mr. Bobst came forward and provided additional details in regards to the applicants request.
181

182 Commissioner Roth asked if it would be individual.
183

184 Commissioner Brock asked where parking would go.
185

186 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating
187 such Chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.
188

189 Commissioner Hagaman made a motion to approve Z2025-065. Commissioner Hustings seconded the motion which passed by the vote of 7-0.
190

191 V. ACTION ITEMS
192

193 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
194 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
195

196 **7. MIS2025-016 (HENRY LEE)**

197 Discuss and consider a request by Gary and Carol Byrd for the approval of a Miscellaneous Case for an *Exception* for [1] a *Front Yard Fence* and [2] to the
198 *Fence Standards* for a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family
199 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take any action necessary.
200

201 Senior planner Henry Lee provided a brief summary in regard to the applicants request. The applicant did go through the Historic Preservation
202 Advisory Board (HPAB) and they did recommend approval for this case. The applicant is asking for a front yard fence requirement and along the
203 fence to the rear of the property line. In this case they are doing a wood picket fence that is 42 inches that would fall under the materials and height
204 requirements. This does meet all the standards for a front yard fence. The second part of the request is for approval of the rear property line. This
205 property lines up against Lofland park and there are no other wood fences that are adjacent to Lofland park for the houses that face on to Kaufman
206 street.

207
208 Gary Byrd
209 707 Cullins Road
210 Rockwall, TX 75032

211
212 Mr. Byrd came forward and asked if he could go lower in regards to his fence.

213
214 Commissioner Husting made a motion to approve MIS2025-016. Commissioner Schoen seconded the motion which passed by a vote of 7-0.

215
216 **8. MIS2025-017 (BETHANY ROSS)**

217 Discuss and consider a request by John Arnold of Skorburg Company for the approval of a *Miscellaneous Case* for an *Alternative Tree Mitigation Settlement*
218 *Agreement* for a residential subdivision on a 98.40-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall,
219 Rockwall County, Texas zoned Planned Development District 104 (PD-104) for Single-Family 10 (SF-10) District land uses, generally located on the southside
220 of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

221
222 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. It is zone PD-104 for SF-10 District land uses. The
223 applicant is requesting An Alternative Tree Mitigation Settlement Agreement for the Erwin Farms Subdivision which was approved earlier this year
224 and consists of 123 residential lots. In this case, the applicant has completed a preliminary tree survey that estimated 4,188 caliper inches would be
225 removed with the development of the subject property. Included with the applicant's submittal is a landscape plan that delineates all of the proposed
226 canopy tree plantings within the development. This includes all of the landscape buffers, open space lots, and the lot trees. Based on the provided
227 landscape plan, 269 canopy trees will be planted by the developer, and 278 canopy trees will be planted on the residential lots, typically by the
228 builder. This equates to a total of 547 canopy trees or 2,188 caliper inches. This brings the total mitigation balance from 4,188 to 2,000 caliper inches
229 planted on-site. At an all cash consideration, the applicant's remaining mitigation balance would be \$200,000.00. In lieu of paying the remaining
230 balance, the applicant is requesting to provide the full amount of \$200,000.00 to fund amenities and park improvements for the adjacent Alma Williams
231 Park. Staff should note that the applicant is making this request in addition to the park fees required by the Municipal Code of Ordinances and the
232 improvements they are already required to be provided per the Planned Development District. According to the Planned Development District, the
233 applicant is required to amenities the subdivision with [1] an eight (8) foot concrete hike & bike trail, [2] a pavilion, [3] two (2) multi-use courts, [4]
234 two (2) retention ponds each with a fountain, [5] two benches, and [7] landscape features. In reviewing the applicant's request, it does appear that it
235 may warrant consideration and may provide benefit to both the City and the applicant; however, all requests for an Alternative Tree Mitigation
236 Settlement Agreement are discretionary decisions for the Planning and Zoning Commission and City Council.

237
238 Commissioner Hagaman asked that they want to take the 200 grand and invest it in the park.

239
240 Commissioner Brock asked if the 200 thousand reflected the cost of the trees.

241
242 Commissioner Schoen asked where the park is located.

243
244 Ty Young
245 8214 Westchester Drive
246 Dallas, TX 75225

247
248 Mr. Young came forward and provided additional details in regard to the applicants request.

249
250 Commissioner Hagaman made a motion to approve Z2025-017. Commissioner Schoen seconded the motion which passed by a vote of 7-0.

251
252 **9. SP2025-039 (HENRY LEE)**

253 Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing LP for the approval of
254 a *Site Plan* for a *Restaurant with 2,000 SF or More with Drive-Through* on a 0.936-acre parcel of land identified as a portion of Lot 18, Block A, Creekside
255 Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located east of the intersection of S. Goliad Street [SH-
256 205] and FM-549, and take any action necessary.

257
258 Senior Planner Henry Lee provided a brief summary regarding the applicant's request. The applicant is seeking approval of a Site Plan for a restaurant
259 with a 2,000-square-foot drive-through component. The proposed site generally conforms with the applicable density and dimensional requirements;
260 however, the applicant is requesting certain exceptions to the code. In terms of parking, the building and patio areas are subject to specific parking
261 requirements. The applicant is proposing to provide 27 parking spaces and they are shy 2 parking spaces. The second item concerns the articulation
262 standards. They do not meet the horizontal articulation requirements for the Unified Development Code (UDC) for a property not located within an
263 Overlay district. No changes are proposed to the building elevations, staff determined that this may be acceptable. The applicant will incorporate
264 materials consistent with the existing design scheme, providing 48% stone façade and masonry elements, as well as vertical objections greater than
265 the required. They also provided a 25-foot landscape buffer in lieu of a 10-foot landscape buffer.

269 Keaton Mai
270 10755 Sandhill Road
271 Dallas, TX 75238
272
273 Mike Stansberry
274 101 E. Cherokee St
275 Jacksonville, TX 75766
276

277 Mr. Stansberry came forward and explained elevations did not change but are showing articulation and will have new layout of the building.
278
279 Commissioner Roth asked how many seats were at the patio.
280

281 Commissioner Hagaman made a motion to approve SP2025-039. Commissioner Hustings seconded the motion which passed by a vote of 7-0.
282

283 VI. DISCUSSION ITEMS
284

285 10. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
286

- 287 • P2025-031: Final Plat for Lots 23 & 24, Block A, Rainbo Acres (APPROVED)
- 288 • P2025-033: Final Plat for Lot 2, Block G, Lake Rockwall Estates East Addition (APPROVED)
- 289 • P2025-034: Final Plat for Lots 1 & 2, Block A, Rockwall Medical Office Building Addition (APPROVED)
- 290 • P2025-035: Replat for Lot 9, Block A, Ellis Centre Phase 2 Addition (APPROVED)
- 291 • Z2025-050: Text Amendment to Article 11, *Development Applications and Review Procedures*, of the UDC for Failure to Appear (2ND READING; APPROVED)
- 292 • Z2025-051: Text Amendment to Article 12, *Enforcement*, of the UDC for the Expiration of Building Permits (2ND READING; APPROVED)
- 293 • Z2025-052: Text Amendment to Article 05, *District Development Standards*, of the UDC for the Southside Residential Neighborhood Overlay (SRO) District (2ND READING; APPROVED)
- 294 • Z2025-053: Specific Use Permit (SUP) for a Carwash (WITHDRAWN)
- 295 • Z2025-054: Specific Use Permit (SUP) for a Carport and Accessory Structure at 2389 Saddlebrook Lane (2ND READING; APPROVED)
- 296 • Z2025-055: PD Development Plan for a Medical Office Building at 1301 S. Goliad Street (2ND READING; APPROVED)
- 297 • Z2025-056: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 308 Harborview Drive (2ND READING; APPROVED)
- 298 • Z2025-057: Specific Use Permit (SUP) for a Residence Hotel (TABLED TO THE NOVEMBER 3, 2025 CITY COUNCIL MEETING)
- 299 • Z2025-058: Specific Use Permit (SUP) for an Accessory Structure at 2310 Sarah Drive (2ND READING; APPROVED)
- 300 • Z2025-059: Zoning Change from Agricultural (AG) District to Planned Development District for Single-Family 1 (SF-1) District land uses (1ST READING; APPROVED)
- 301 • Z2025-060: Specific Use Permit (SUP) for an Accessory Structure at 710 Hartman Street (2ND READING; APPROVED)
- 302 • Z2025-061: Zoning Change (MF-14 to SF-7) in the Southside Residential Neighborhood Overlay (SRO) District (2ND READING; APPROVED)
- 303
- 304
- 305

306 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.
307
308 City Engineer Amy Williams explained that TX Dot from 276 and 205 will be let in February of 26 and that will be a four-lane divided highway. It will
309 be relined and they won't have an offset from 549 anymore.
310

311 VII. ADJOURNMENT.
312

313 Chairman Dr. Conway adjourned the meeting at 7:14PM
314

315 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
316 _____, 2025.
317

318
319 Attest:
320

321 _____
322 Melanie Zavala, Planning Coordinator
323

Dr. Jean Conway, Chairman



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 28, 2025

APPLICANT: Ryan Miller; *City of Rockwall*

CASE NUMBER: P2025-036; *Final Plat for Lots 1-5, Block A, Houston-Rose Addition*

SUMMARY

Consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1-5, Block A, Houston-Rose Addition being a 1.956-acre tract of land identified as Lots 1-4, Block T; Lots 1-4, Block U; Lots 1-3, Block V; and Lots 1-3, Block W, Rockwall OT Addition and Lots A & D, Block 8, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 301 & 303 Denison Street, 203-305 Fannin Street, and 306 & 308 E. Washington Street, and take any action necessary.

PLAT INFORMATION

- ☑ Purpose. The City of Rockwall is requesting the approval of a Final Plat for a 1.956-acre tract of land (*i.e. Lots 1-4, Block T; Lots 1-4, Block U; Lots 1-3, Block V; and Lots 1-3, Block W, Rockwall OT Addition and Lots A & D, Block 8, Griffith Addition*) for the purpose of abandoning an unimproved public right-of-way that extends from E. Washington Street to Denison Street and incorporating the abandoned area into the adjacent properties.

- ☑ Background. On February 5, 2024, the City Council approved a motion directing staff to proceed with a Right-of-Way Abandonment Program that would abandon certain unimproved rights-of-way in the City of Rockwall, deeding these lands to the adjacent property owners at no cost. The basis of this decision was in accordance with Subsection 311.007, Closing of Street or Alley by Home-Rule Municipality, of Chapter 311, General Provisions Relating to Municipal Streets, of the Texas Transportation Code, which grants a home-rule municipality the power to vacate, abandon, or close a street or alleyway; and, in accordance with Subsection 272.001(b) of the Texas Local Government Code, which provides that land -- *including streets or alleyways* -- owned in fee or used by easement by a political subdivision of the *State*, may be conveyed, sold or exchanged for less than fair market value with one (1) or more of the abutting property owners who owns the underlying fee. The unimproved right-of-way for Rose Street that exists between E. Washington Street and Denison Street was originally established prior to November 2, 1900 based on the October 1900 Sanborn Maps. This map depicts this right-of-way as being unimproved right-of-way for Rose Street (as depicted in Figure 1). The unimproved

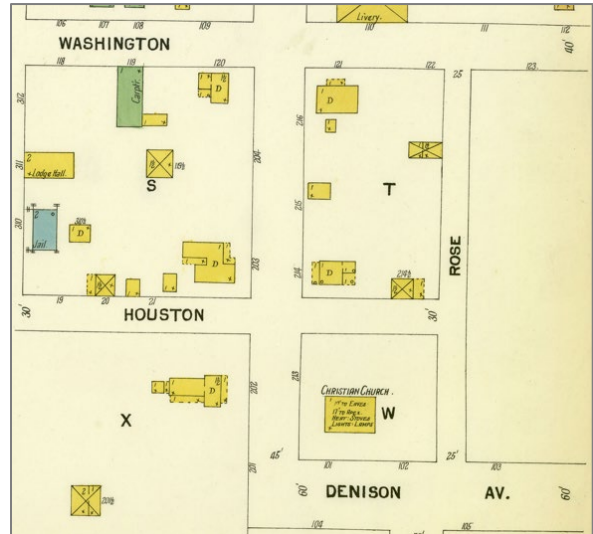


FIGURE 1. 1900 SANBORN MAPS SHOWING THE RIGHT-OF-WAY FOR ROSE & HOUSTON STREET



FIGURE 2. 2023 AERIAL IMAGE SHOWING THE UNIMPROVED RIGHT-OF-WAY

right-of-way for Houston Street that extends off of Rose Street to the east, was established prior to September 27, 1861 based on the *Plan of Rockwall* subdivision plat (i.e. *Rockwall Original Town or Rockwall OT*). Based on the current condition of the rights-of-way, they were never utilized as a public street or alleyway (see *Figure 2*), and currently have unpermitted paving/parking improvements situated within them. In accordance with the City Council's direction, staff began the process of abandoning this right-of-way on February 28, 2025 by sending the property owners a *Letter of Intent* (see the attached *Letters of Intent*). Once all property owners had signed their letters of intent, staff engaged with *Teague, Nall and Perkins, Inc.* to prepare a subdivision plat for the seven (7) properties and the abandoned right-of-way.

- ☑ **Public Hearing.** In accordance with Subsection 272.001(b) of the Texas Local Government Code, the City Council will be required to hold a public hearing on November 3, 2025. In addition, staff advertised the public hearings in the Rockwall Herald Banner in the manner prescribed by Subsection 272.001(a).
- ☑ **Conformance to the Subdivision Ordinance.** The City's surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications, submittal requirements, and the execution of the attached ordinance and quitclaim deeds. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.
- ☑ **Conditional Approval.** Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lots 1-5, Block A, Houston-Rose Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Final Plat; and,
- (2) The Final Plat shall not be filed until after the second reading of the ordinance abandoning the right-of-way.
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/20/2025

PROJECT NUMBER: P2025-036
PROJECT NAME: Final Plat for Lots 1-5, Block A, Houston-Rose Addition
SITE ADDRESS/LOCATIONS: Clark and Wade Street

CASE CAPTION: Consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1-5, Block A, Houston-Rose Addition being a 1.956-acre tract of land identified as Lots 1-4, Block T; Lots 1-4, Block U; Lots 1-3, Block V; and Lots 1-3, Block W, Rockwall OT Addition and Lots A & D, Block 8, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 301 & 303 Denison Street, 203-305 Fannin Street, and 306 & 308 E. Washington Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	10/20/2025	Needs Review

10/20/2025: P2025-036: Replat for Lots 1-5, Block A, Houston-Rose Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lots 1-5, Block A, Houston-Rose Addition being a 1.956-acre tract of land identified as Lots 1-4, Block T; Lots 1-4, Block U; Lots 1-3, Block V; and Lots 1-3, Block W, Rockwall OT Addition and Lots A & D, Block 8, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 301 & 303 Denison Street, 203-305 Fannin Street, and 306 & 308 E. Washington Street, and take any action necessary.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6411 or email rmiller@rockwall.com.

M.3 For reference, include the case number (P2025-036) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

FINAL PLAT
LOTS 1-5, BLOCK A
HOUSTON-ROSE ADDITION
BEING A REPLAT OF
OF LOTS 1-4, BLOCK T,
LOTS 1-4, BLOCK U,
LOTS 1-3, BLOCK V,
LOTS 1-3, BLOCK W,
ORIGINAL TOWN OF ROCKWALL, AND
LOTS A & B, BLOCK 8,
GRIFFITH ADDITION, AND
ALL OF HOUSTON STREET AND
ROSE STREET,

BEING A TOTAL OF
 1.956-ACRES OR 85,215 SF
 SITUATED IN THE
 B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please check acreage amounts for each proposed lot. Each lot is not the same acreage amount.

M.6 Please label the building line setback adjacent to the streets (S. Fannin & Denison Street) on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Provide the correct format for the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff by October 24, 2025 for a subsequent review prior to approval.

I.10 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Meeting: October 28, 2025

City Council Meeting: November 3, 2025

I.11 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/20/2025	Approved w/ Comments

10/20/2025: 1. 30' Sewer easement.
 2. 15' Sewer easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/15/2025	Approved

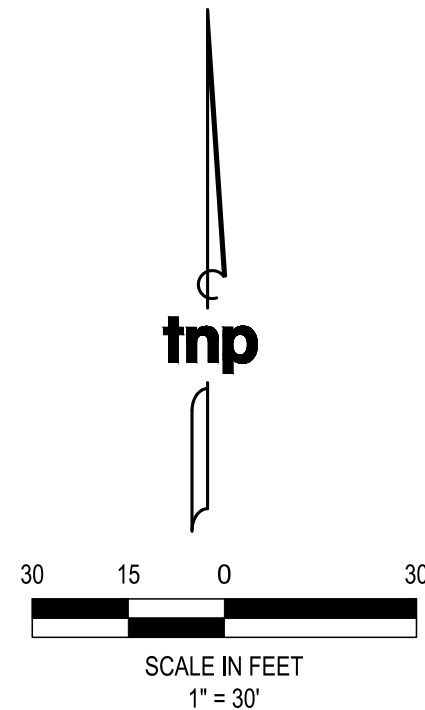
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/15/2025	Approved

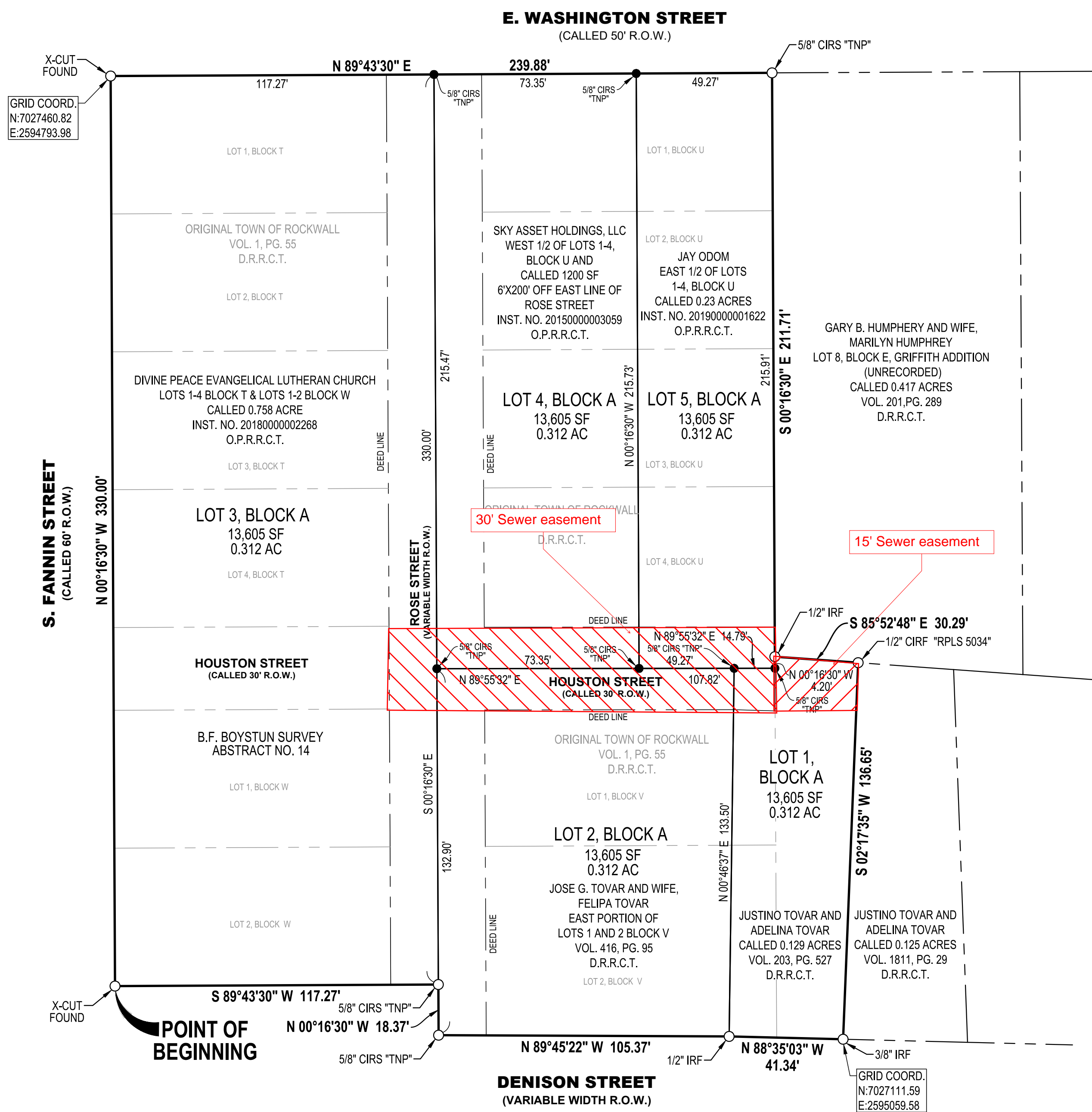
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved

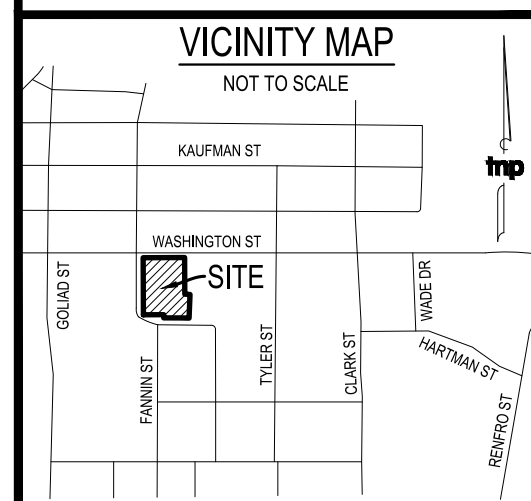
No Comments



LEGEND
 CIRS - CAPPED IRON ROD SET
 CIRF - CAPPED IRON ROD FOUND
 IRF - IRON ROD FOUND
 R.O.W. - RIGHT OF WAY
 INST. NO. - INSTRUMENT NUMBER
 VOL. - VOLUME
 PG. PAGE
 SF - SQUARE FEET
 AC - ACRES
 D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS
 O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS



- NOTES:**
- BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202; NAD83(2011) EPOCH 2010) AS DERIVED LOCALLY FROM ALL TERRA CENTRAL RTKNET CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) VIA REAL TIME KINEMATIC (RTK) SURVEY METHODS AND REFERENCING THE CITY OF ROCKWALL GEODETIC CONTROL MONUMENT COR-16. ALL DISTANCES SHOWN ARE SURFACE DISTANCES USING A COMBINED SCALE FACTOR OF 1.00146135.
 - BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C0040L DATED SEPTEMBER 28, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
 - THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
 - SELLING A PORTION OF THIS METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY OF ROCKWALL WITHHOLDING UTILITIES AND BUILDING PERMITS.
 - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER, AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY OF ROCKWALL DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE, OR GUARANTEE THAT ANY BUILDING WITH SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED, OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE, OR GUARANTEE BY THE CITY OF ROCKWALL OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL.
 - THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DESTINATION EASEMENTS.
 - ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED, AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE FIRE LANE IMPROVEMENTS.
 - ALL DECORATIVE SIGNAGE, POSTS, OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE HOMEOWNER'S ASSOCIATION (HOA).
 - THE PURPOSE OF THIS PLAT IS TO RECONFIGURE LOT LINE FOR FUTURE DEVELOPMENT.



RECOMMENDED FOR FINAL APPROVAL

APPROVED: I hereby certify that the above and foregoing subdivision plat, being an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, Texas on the _____ day of _____, 2025.

 Mayor of the City of Rockwall

 Planning and Zoning Commission Chairman

 City Secretary

 City Engineer

OWNER LOT 1	OWNER LOT 2	OWNER LOT 3	OWNER LOT 4	OWNER LOT 5
JUSTINO TOVAR AND ADELINA TOVAR 205 S Clark St Rockwall, Texas 75087	JUSTINO TOVAR AND ADELINA TOVAR 205 S Clark St Rockwall, Texas 75087	DIVINE PEACE EVANGELICAL LUTHERAN CHURCH 210 Wade Dr Rockwall, Texas 75087	SKY ASSET HOLDINGS, LLC 205 S Clark St Rockwall, Texas 75087	GARY B. HUMPHREY AND MARILYN HUMPHREY 205 S Clark St Rockwall, Texas 75087

FINAL PLAT
LOTS 1, 2, 3, 4, & 5 BLOCK A
HOUSTON-ROSE ADDITION

BEING A REPLAT OF LOTS 1-4, BLOCK T, LOTS 1-4, BLOCK U, LOTS 1 & 2, BLOCK V, ALL OF HOUSTON STREET AND ROSE STREET, ORIGINAL TOWN OF ROCKWALL AND ALL OF A TRACT OF LAND TO JUSTINO TOVAR AND ADELINA TOVAR, ALL OF A TRACT OF LAND TO JOSE G. TOVAR AND WIFE, FELIPA TOVAR, ALL OF A TRACT OF LAND TO DIVINE PEACE EVANGELICAL LUTHERAN CHURCH, ALL OF A TRACT OF LAND TO SKY ASSET HOLDINGS, LLC, AND ALL OF A TRACT OF LAND TO JAY ODOM CONTAINING A TOTAL OF 1.956 ACRES OR 85,215 SQUARE FEET

SITUATED IN THE B.F. BOYSTUN SURVEY, ABSTRACT NO. 14
 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT INFORMATION
 Project No.: RWL 25375
 Date: September 30, 2025
 Drawn By: WS
 Scale: 1"=30'
 SHEET 1 of 2



SURVEYOR
 TEAGUE NALL AND PERKINS, INC.
 825 Watters Creek Boulevard, Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 T.B.P.L.S. Registration No. 10194381
 www.tnpinc.com

CASE NO. XXXXX-XXX

OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

We, the undersigned owners of the land shown on this plat, and designated herein as LOTS 1, 2, 3, 4, & 5 BLOCK A, HOUSTON-ROSE ADDITION an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

JUSTINA TOVAR

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires: _____

ADELINA TOVAR

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires: _____

JOSE G. TOVAR

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires: _____

FELIPA TOVAR

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires: _____

DIVINE PEACE EVANGELICAL LUTHERAN CHURCH
STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires: _____

SKY ASSET HOLDINGS, LLC

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires: _____

JAY ODOM

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires: _____

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, Justino Tovar and Adelina Tovar, Jose G. Tovar and Wife, Felipa Tovar, Divine Peace Evangelical Lutheran Church, Sky Asset Holdings, LLC, and Jay Odom, being the owners of a tract of land in the County of Rockwall, State of Texas, being all of Lots 1-4, Block T, all of Lots 1-4, Block U, all of Lots 1 and 2 Block V, all of Lots 1 & 2, Block W, all of Houston Street, and all of Rose Street, Original Town of Rockwall, an addition to the City of Rockwall, Texas according to the Plat recorded in Volume 1, Page 55 of the Deed Records of Rockwall County, Texas, all of a tract of land described by deed to Justino Tovar and Adelina Tovar as recorded in Volume 203, Page 527 of the Deed Records of Rockwall County, Texas, all of a tract of land described by deed to Jose G. Tovar and Wife, Felipa Tovar as recorded in Volume 416, Page 95 of the Deed Records of Rockwall County, Texas, all of a tract of land described by deed to Divine Peace Evangelical Lutheran Church as recorded in Instrument Number 2018000002268 of the Official Public Records of Rockwall County, Texas, all of a tract of land described by deed to Sky Asset Holdings, LLC as recorded in Instrument Number 2015000003059 of the Official Public Records of Rockwall County, Texas, and all of a tract of land described by deed to Jay Odom as recorded in Instrument Number 2019000001622 of the Official Public Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at an x-cut found on the east right-of-way of Fannin Street, a called 60 foot right-of-way, for the southwest corner of said Block W, same being the southwest corner of said Divine Peace tract;

THENCE North 00 degrees 16 minutes 30 seconds West, along the east right-of-way of said Fannin Street and the west line of said Block W and said Block T, same being the west line of said Divine Peace tract, a distance of 330.00 feet to an x-cut found on the intersection of the east right-of-way of said Fannin Street and the south right-of-way of E. Washington Street, a called 50 foot right-of-way, for the northwest corner of said said Block T, same being the northwest corner of said Divine Peace tract;

THENCE North 89 degrees 43 minutes 30 seconds East along the south right-of-way of said E. Washington Street and the north line of said Block T, same being the north line of said Divine Peace tract, passing the northeast corner of said Lot 1, Block T, same being the northeast corner of said Divine Peace tract, and continuing along the north line of said Sky Asset tract and the north line of said Odom tract, same being the north line of said Block U, a total distance of 239.88 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northeast corner of said Block U, same being the northeast corner of said Odom tract, same being the northwest corner of a tract of land described by deed to Gary B. Humphrey and Wife, Marilyn Humphrey as recorded in Volume 201, Page 289 of the Deed Records of Rockwall County, Texas, same being the northwest corner of Lot 8, Block E of Griffith Addition, an unrecorded addition to the City of Rockwall, Texas;

THENCE South 00 degrees 16 minutes 30 seconds East departing the south right-of-way of said E. Washington Street and along the east line of said Block U, same being the west line of said Humphrey tract, passing the southeast corner of said Block U, and continuing a total distance of 211.71 feet to a 1/2 inch iron rod found on the east line of said Houston Street, a called 30 foot right-of-way, for the southwest corner of said Humphrey tract, same being the northernmost northwest corner of said Justino Tovar tract;

THENCE South 85 degrees 52 minutes 48 seconds East along the south line of said Humphrey tract, same being the north line of said Justino Tovar tract, a distance of 30.29 feet to a 1/2 inch iron rod with cap stamped "RPLS 5034" found for the northeast corner of said Justino Tovar tract, same being the northwest corner of a called 0.125 acre tract of land described by deed to Justino Tovar and Adelina Tovar as recorded in Volume 1811, Page 29 of the Deed Records of Rockwall County, Texas;

THENCE South 02 degrees 17 minutes 35 seconds West departing the south line of said Humphrey tract and along the west line of said 0.125 acre tract, same being the east line of said Justino Tovar tract, a distance of 136.65 feet to a 3/8 inch iron rod found on the north right-of-way of Denison Street, a variable width right-of-way, for the southwest corner of said 0.125 acre tract, same being the southeast corner of said Justino Tovar tract;

THENCE North 88 degrees 35 minutes 03 seconds West along the north right-of-way of said Denison Street and the south line of said Justino Tovar tract, a distance of 41.34 feet to a 1/2 inch iron rod found for the southwest corner of said Justino Tovar tract, same being the southeast corner of said Jose G. Tovar tract;

THENCE North 89 degrees 45 minutes 22 seconds West continuing along the north right-of-way of said Denison Street, passing the southwest corner of said Jose G. Tovar tract, and continuing distance of 105.37 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner on the extension of the centerline of said Rose Street;

THENCE North 00 degrees 16 minutes 30 seconds West along the extension of the centerline of said Rose Street, a distance of 18.37 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner on the centerline of said Rose Street;

THENCE South 89 degrees 43 minutes 30 seconds West departing the centerline of said Rose Street and along the south line of said Block W, same being the south line of said Divine Peace tract, a distance of 117.27 feet to the POINT OF BEGINNING containing 85,215 square feet, or 1.956 acres of land.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 2025.

BRIAN J. MADDOX, R.P.L.S. NO. 5430

FINAL PLAT
LOTS 1, 2, 3, 4, & 5 BLOCK A
HOUSTON-ROSE ADDITION

BEING A REPLAT OF LOTS 1-4, BLOCK T, LOTS 1-4, BLOCK U, LOTS 1 & 2, BLOCK V, LOTS 1 & 2, BLOCK W, ALL OF HOUSTON STREET AND ROSE STREET, ORIGINAL TOWN OF ROCKWALL AND ALL OF A TRACT OF LAND TO JUSTINO TOVAR AND ADELINA TOVAR, ALL OF A TRACT OF LAND TO JOSE G. TOVAR AND WIFE, FELIPA TOVAR, ALL OF A TRACT OF LAND TO DIVINE PEACE EVANGELICAL LUTHERAN CHURCH, ALL OF A TRACT OF LAND TO SKY ASSET HOLDINGS, LLC, AND ALL OF A TRACT OF LAND TO JAY ODOM CONTAINING A TOTAL OF 1.956 ACRES OR 85,215 SQUARE FEET

SITUATED IN THE B.F. BOYSTUN SURVEY, ABSTRACT NO. 14
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT INFORMATION

Project No.: RWL 25375
Date: September 30, 2025
Drawn By: WS
Scale: 1"=30'
SHEET 2 of 2

SURVEYOR

TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnpinc.com



CASE NO. XXXX-XXX

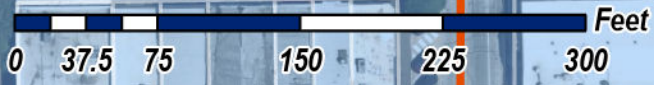
OWNER LOT 1
JUSTINO TOVAR AND
ADELINA TOVAR
205 S Clark St
Rockwall, Texas 75087

OWNER LOT 2
JUSTINO TOVAR AND
ADELINA TOVAR
205 S Clark St
Rockwall, Texas 75087

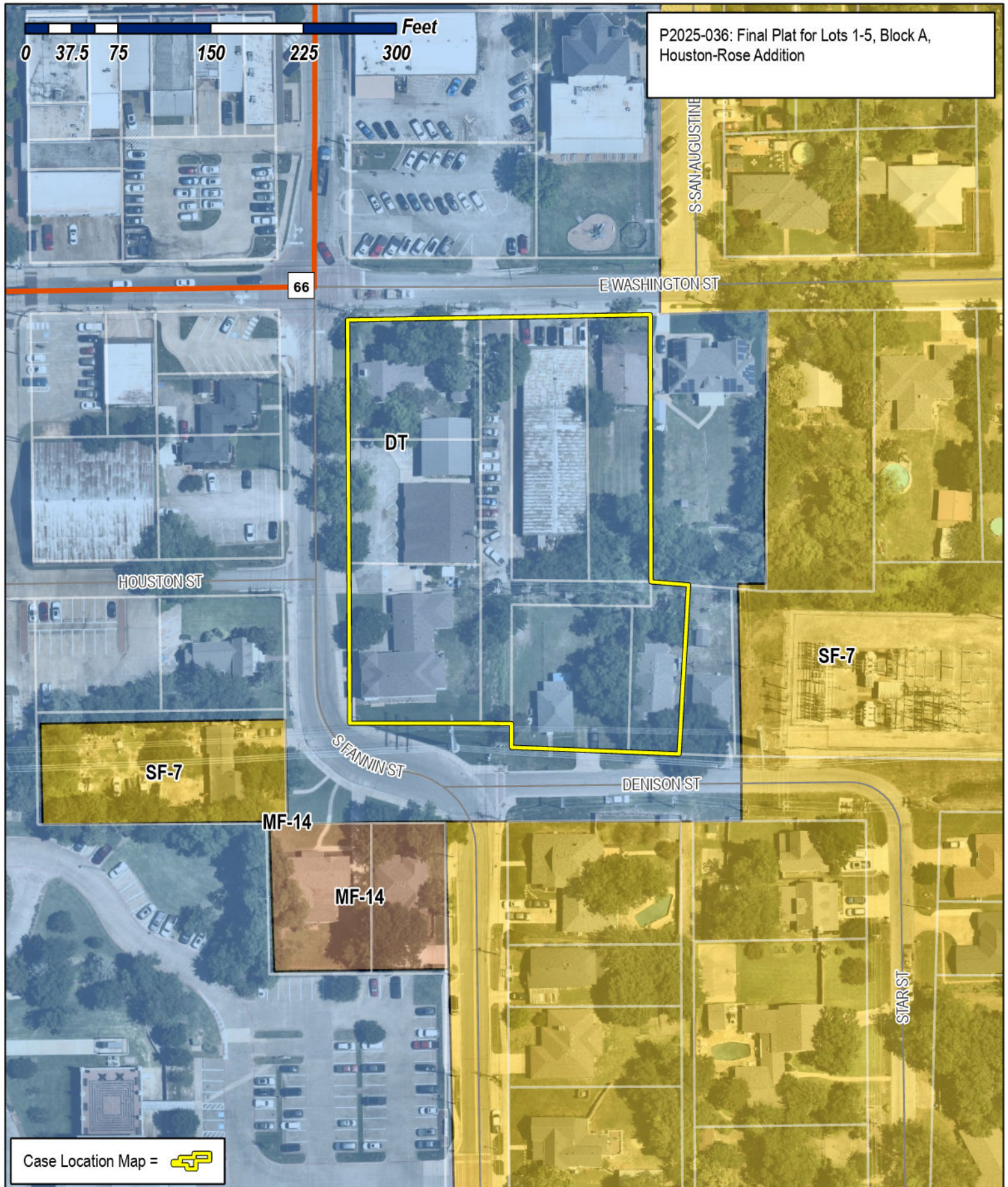
OWNER LOT 3
DIVINE PEACE EVANGELICAL
LUTHERAN CHURCH
210 Wade Dr
Rockwall, Texas 75087

OWNER LOT 4
SKY ASSET HOLDINGS, LLC
205 S Clark St
Rockwall, Texas 75087

OWNER LOT 5
GARY B. HUMPHREY AND
MARILYN HUMPHREY
205 S Clark St
Rockwall, Texas 75087



P2025-036: Final Plat for Lots 1-5, Block A, Houston-Rose Addition



Case Location Map =

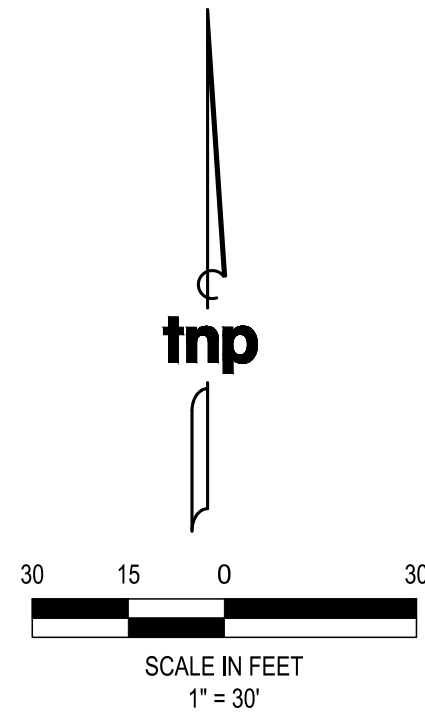


City of Rockwall

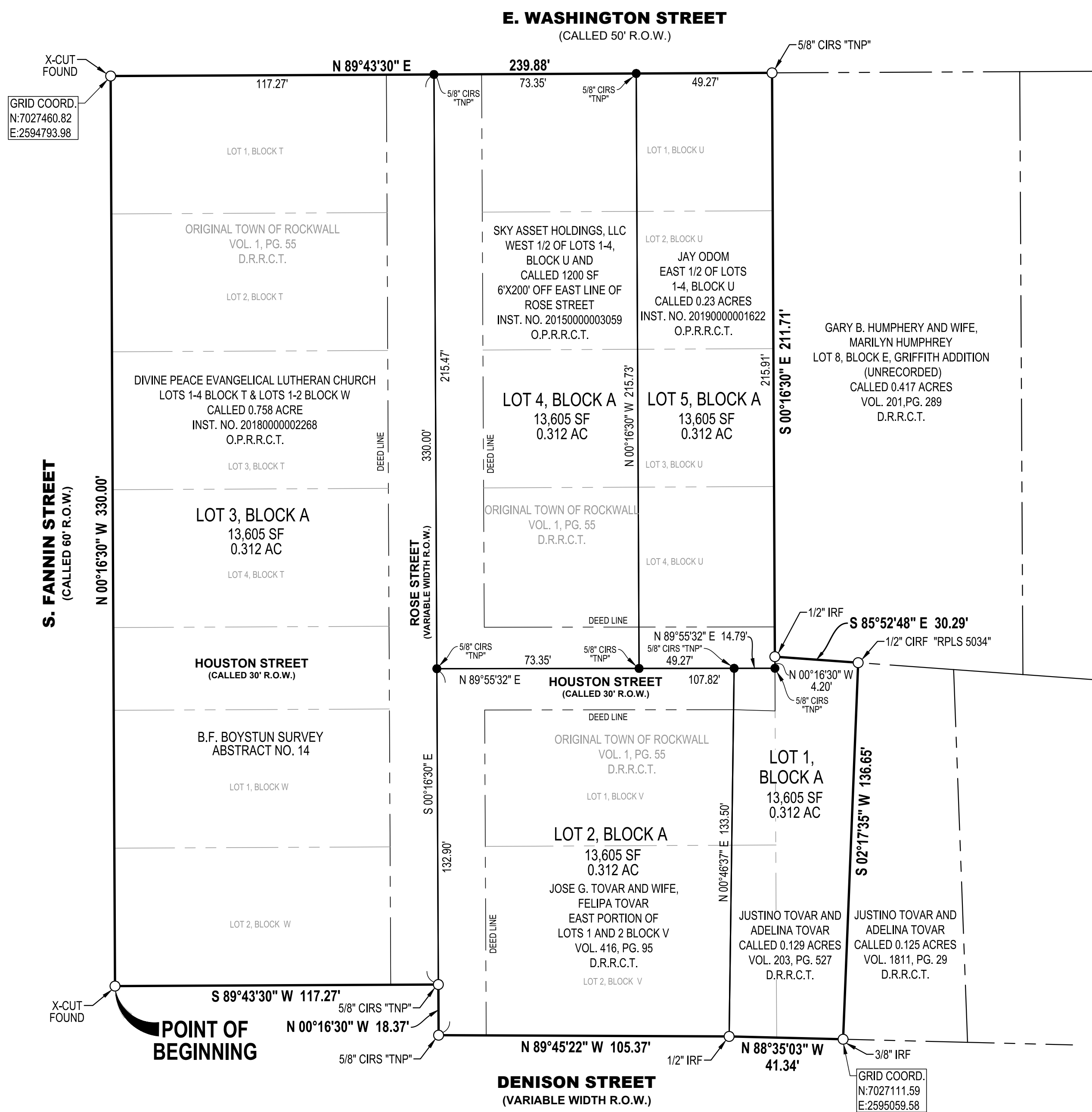
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND
 CIRS - CAPPED IRON ROD SET
 CIRF - CAPPED IRON ROD FOUND
 IRF - IRON ROD FOUND
 R.O.W. - RIGHT OF WAY
 INST. NO. - INSTRUMENT NUMBER
 VOL. - VOLUME
 PG. PAGE
 SF - SQUARE FEET
 AC - ACRES
 D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS
 O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS

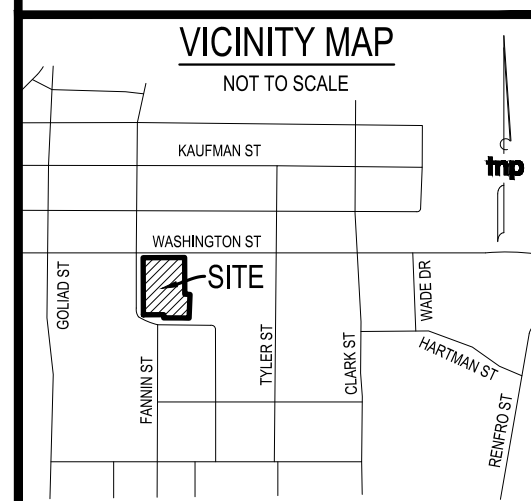


- NOTES:**
- BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202; NAD83(2011) EPOCH 2010) AS DERIVED LOCALLY FROM ALL TERRA CENTRAL RTKNET CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) VIA REAL TIME KINEMATIC (RTK) SURVEY METHODS AND REFERENCING THE CITY OF ROCKWALL GEODETIC CONTROL MONUMENT COR-16. ALL DISTANCES SHOWN ARE SURFACE DISTANCES USING A COMBINED SCALE FACTOR OF 1.00146135.
 - BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C0040L DATED SEPTEMBER 28, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
 - THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
 - SELLING A PORTION OF THIS METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY OF ROCKWALL WITHHOLDING UTILITIES AND BUILDING PERMITS.
 - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER, AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY OF ROCKWALL DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE, OR GUARANTEE THAT ANY BUILDING WITH SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED, OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE, OR GUARANTEE BY THE CITY OF ROCKWALL OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL.
 - THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DESTINATION EASEMENTS.
 - ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED, AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE FIRE LANE IMPROVEMENTS.
 - ALL DECORATIVE SIGNAGE, POSTS, OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE HOMEOWNER'S ASSOCIATION (HOA).
 - THE PURPOSE OF THIS PLAT IS TO RECONFIGURE LOT LINE FOR FUTURE DEVELOPMENT.

FINAL PLAT
LOTS 1, 2, 3, 4, & 5 BLOCK A
HOUSTON-ROSE ADDITION

BEING A REPLAT OF LOTS 1-4, BLOCK T, LOTS 1-4, BLOCK U, LOTS 1 & 2, BLOCK V, ALL OF HOUSTON STREET AND ROSE STREET, ORIGINAL TOWN OF ROCKWALL AND ALL OF A TRACT OF LAND TO JUSTINO TOVAR AND ADELINA TOVAR, ALL OF A TRACT OF LAND TO JOSE G. TOVAR AND WIFE, FELIPA TOVAR, ALL OF A TRACT OF LAND TO DIVINE PEACE EVANGELICAL LUTHERAN CHURCH, ALL OF A TRACT OF LAND TO SKY ASSET HOLDINGS, LLC, AND ALL OF A TRACT OF LAND TO JAY ODOM CONTAINING A TOTAL OF 1.956 ACRES OR 85,215 SQUARE FEET

SITUATED IN THE B.F. BOYSTUN SURVEY, ABSTRACT NO. 14
 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



RECOMMENDED FOR FINAL APPROVAL

APPROVED: I hereby certify that the above and foregoing subdivision plat, being an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, Texas on the _____ day of _____, 2025.

 Mayor of the City of Rockwall

 Planning and Zoning Commission Chairman

 City Secretary

 City Engineer

OWNER LOT 1 JUSTINO TOVAR AND ADELINA TOVAR 205 S Clark St Rockwall, Texas 75087	OWNER LOT 2 JUSTINO TOVAR AND ADELINA TOVAR 205 S Clark St Rockwall, Texas 75087	OWNER LOT 3 DIVINE PEACE EVANGELICAL LUTHERAN CHURCH 210 Wade Dr Rockwall, Texas 75087	OWNER LOT 4 SKY ASSET HOLDINGS, LLC 205 S Clark St Rockwall, Texas 75087	OWNER LOT 5 GARY B. HUMPHREY AND MARILYN HUMPHREY 205 S Clark St Rockwall, Texas 75087
--	--	--	--	--

PROJECT INFORMATION
 Project No.: RWL 25375
 Date: September 30, 2025
 Drawn By: WS
 Scale: 1"=30'
 SHEET 1 of 2



SURVEYOR
 TEAGUE NALL AND PERKINS, INC.
 825 Watters Creek Boulevard, Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 T.B.P.L.S. Registration No. 10194381
 www.tnpinc.com

CASE NO. XXXXX-XXX

OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

We, the undersigned owners of the land shown on this plat, and designated herein as LOTS 1, 2, 3, 4, & 5 BLOCK A, HOUSTON-ROSE ADDITION an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

JUSTINA TOVAR

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires:

ADELINA TOVAR

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires:

JOSE G. TOVAR

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires:

FELIPA TOVAR

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires:

DIVINE PEACE EVANGELICAL LUTHERAN CHURCH
STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires:

SKY ASSET HOLDINGS, LLC

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires:

JAY ODOM

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires:

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, Justino Tovar and Adelina Tovar, Jose G. Tovar and Wife, Felipa Tovar, Divine Peace Evangelical Lutheran Church, Sky Asset Holdings, LLC, and Jay Odom, being the owners of a tract of land in the County of Rockwall, State of Texas, being all of Lots 1-4, Block T, all of Lots 1-4, Block U, all of Lots 1 and 2 Block V, all of Lots 1 & 2, Block W, all of Houston Street, and all of Rose Street, Original Town of Rockwall, an addition to the City of Rockwall, Texas according to the Plat recorded in Volume 1, Page 55 of the Deed Records of Rockwall County, Texas, all of a tract of land described by deed to Justino Tovar and Adelina Tovar as recorded in Volume 203, Page 527 of the Deed Records of Rockwall County, Texas, all of a tract of land described by deed to Jose G. Tovar and Wife, Felipa Tovar as recorded in Volume 416, Page 95 of the Deed Records of Rockwall County, Texas, all of a tract of land described by deed to Divine Peace Evangelical Lutheran Church as recorded in Instrument Number 2018000002268 of the Official Public Records of Rockwall County, Texas, all of a tract of land described by deed to Sky Asset Holdings, LLC as recorded in Instrument Number 2015000003059 of the Official Public Records of Rockwall County, Texas, and all of a tract of land described by deed to Jay Odom as recorded in Instrument Number 2019000001622 of the Official Public Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at an x-cut found on the east right-of-way of Fannin Street, a called 60 foot right-of-way, for the southwest corner of said Block W, same being the southwest corner of said Divine Peace tract;

THENCE North 00 degrees 16 minutes 30 seconds West, along the east right-of-way of said Fannin Street and the west line of said Block W and said Block T, same being the west line of said Divine Peace tract, a distance of 330.00 feet to an x-cut found on the intersection of the east right-of-way of said Fannin Street and the south right-of-way of E. Washington Street, a called 50 foot right-of-way, for the northwest corner of said said Block T, same being the northwest corner of said Divine Peace tract;

THENCE North 89 degrees 43 minutes 30 seconds East along the south right-of-way of said E. Washington Street and the north line of said Block T, same being the north line of said Divine Peace tract, passing the northeast corner of said Lot 1, Block T, same being the northeast corner of said Divine Peace tract, and continuing along the north line of said Sky Asset tract and the north line of said Odom tract, same being the north line of said Block U, a total distance of 239.88 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northeast corner of said Block U, same being the northeast corner of said Odom tract, same being the northwest corner of a tract of land described by deed to Gary B. Humphrey and Wife, Marilyn Humphrey as recorded in Volume 201, Page 289 of the Deed Records of Rockwall County, Texas, same being the northwest corner of Lot 8, Block E of Griffith Addition, an unrecorded addition to the City of Rockwall, Texas;

THENCE South 00 degrees 16 minutes 30 seconds East departing the south right-of-way of said E. Washington Street and along the east line of said Block U, same being the west line of said Humphrey tract, passing the southeast corner of said Block U, and continuing a total distance of 211.71 feet to a 1/2 inch iron rod found on the east line of said Houston Street, a called 30 foot right-of-way, for the southwest corner of said Humphrey tract, same being the northernmost northwest corner of said Justino Tovar tract;

THENCE South 85 degrees 52 minutes 48 seconds East along the south line of said Humphrey tract, same being the north line of said Justino Tovar tract, a distance of 30.29 feet to a 1/2 inch iron rod with cap stamped "RPLS 5034" found for the northeast corner of said Justino Tovar tract, same being the northwest corner of a called 0.125 acre tract of land described by deed to Justino Tovar and Adelina Tovar as recorded in Volume 1811, Page 29 of the Deed Records of Rockwall County, Texas;

THENCE South 02 degrees 17 minutes 35 seconds West departing the south line of said Humphrey tract and along the west line of said 0.125 acre tract, same being the east line of said Justino Tovar tract, a distance of 136.65 feet to a 3/8 inch iron rod found on the north right-of-way of Denison Street, a variable width right-of-way, for the southwest corner of said 0.125 acre tract, same being the southeast corner of said Justino Tovar tract;

THENCE North 88 degrees 35 minutes 03 seconds West along the north right-of-way of said Denison Street and the south line of said Justino Tovar tract, a distance of 41.34 feet to a 1/2 inch iron rod found for the southwest corner of said Justino Tovar tract, same being the southeast corner of said Jose G. Tovar tract;

THENCE North 89 degrees 45 minutes 22 seconds West continuing along the north right-of-way of said Denison Street, passing the southwest corner of said Jose G. Tovar tract, and continuing distance of 105.37 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner on the extension of the centerline of said Rose Street;

THENCE North 00 degrees 16 minutes 30 seconds West along the extension of the centerline of said Rose Street, a distance of 18.37 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner on the centerline of said Rose Street;

THENCE South 89 degrees 43 minutes 30 seconds West departing the centerline of said Rose Street and along the south line of said Block W, same being the south line of said Divine Peace tract, a distance of 117.27 feet to the POINT OF BEGINNING containing 85,215 square feet, or 1.956 acres of land.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 2025.

BRIAN J. MADDOX, R.P.L.S. NO. 5430

FINAL PLAT
LOTS 1, 2, 3, 4, & 5 BLOCK A
HOUSTON-ROSE ADDITION

BEING A REPLAT OF LOTS 1-4, BLOCK T, LOTS 1-4, BLOCK U, LOTS 1 & 2, BLOCK V, LOTS 1 & 2, BLOCK W, ALL OF HOUSTON STREET AND ROSE STREET, ORIGINAL TOWN OF ROCKWALL AND ALL OF A TRACT OF LAND TO JUSTINO TOVAR AND ADELINA TOVAR, ALL OF A TRACT OF LAND TO JOSE G. TOVAR AND WIFE, FELIPA TOVAR, ALL OF A TRACT OF LAND TO DIVINE PEACE EVANGELICAL LUTHERAN CHURCH, ALL OF A TRACT OF LAND TO SKY ASSET HOLDINGS, LLC, AND ALL OF A TRACT OF LAND TO JAY ODOM CONTAINING A TOTAL OF 1.956 ACRES OR 85,215 SQUARE FEET

SITUATED IN THE B.F. BOYSTUN SURVEY, ABSTRACT NO. 14
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT INFORMATION

Project No.: RWL 25375
Date: September 30, 2025
Drawn By: WS
Scale: 1"=30'
SHEET 2 of 2

SURVEYOR

TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnpinc.com



CASE NO. XXXX-XXX

OWNER LOT 1
JUSTINO TOVAR AND
ADELINA TOVAR
205 S Clark St
Rockwall, Texas 75087

OWNER LOT 2
JUSTINO TOVAR AND
ADELINA TOVAR
205 S Clark St
Rockwall, Texas 75087

OWNER LOT 3
DIVINE PEACE EVANGELICAL
LUTHERAN CHURCH
210 Wade Dr
Rockwall, Texas 75087

OWNER LOT 4
SKY ASSET HOLDINGS, LLC
205 S Clark St
Rockwall, Texas 75087

OWNER LOT 5
GARY B. HUMPHREY AND
MARILYN HUMPHREY
205 S Clark St
Rockwall, Texas 75087



February 28, 2025

TO: Gunnar Ledermann
Divine Peace Evangelical Lutheran Church
305 S. Fannin Street
Rockwall, Texas 75087

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Right-of-Way in between E. Washington Street and Denison Street

Mr. Ledermann,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the excess right-of-way in between E. Washington Street and Denison Street, which is directly adjacent to your property at 201, 203, and 305 S. Fannin Street. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the excess right-of-way in between E. Washington Street and Denison Street, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned of right-of-way encompasses excess right-of-way in between E. Washington Street and Denison Street. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

In order to proceed with this transaction, I kindly request your cooperation in signing the attached Letter of Intent (LOI), acknowledging your acceptance of the abandoned right-of-way. Additionally, by signing this letter, you agree to allow the City of Rockwall to file a subdivision plat, which is necessary to accommodate the acquisition of the abandoned land, and you agree to maintain the acquired land. Please note that should you choose not to allow a subdivision plat to be filed after signing this Letter of Intent (LOI), you acknowledge your responsibility for reimbursing the City for any costs associated with the subdivision plat. If you decide not to acquire the abandoned land, please take note that other adjacent property owners will be given the opportunity to acquire the abandoned land.

Please review the attached map, which outlines the details of the abandonment and the terms and conditions of the Letter of Intent (LOI). Please provide all required information back to the Planning and Zoning Department of the City of Rockwall by no later than April 15, 2025 to proceed with the program. If you have any questions or require further clarification, please do not hesitate to contact me by phone at (972) 772-6441 or by email at rmiller@rockwall.com.

The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning



February 28, 2025

TO: Jay Odom
601 N. Fannin Street
Rockwall, Texas 75087

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Right-of-Way for Houston Street

Mr. Odom,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the excess right-of-way along Houston Street, which is directly adjacent to your property at 601 N. Fannin Street. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the excess right-of-way along Houston Street, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned right-of-way encompasses excess right-of-way along Houston Street. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

In order to proceed with this transaction, I kindly request your cooperation in signing the attached Letter of Intent (LOI), acknowledging your acceptance of the abandoned right-of-way. Additionally, by signing this letter, you agree to allow the City of Rockwall to file a subdivision plat, which is necessary to accommodate the acquisition of the abandoned land, and you agree to maintain the acquired land. Please note that should you choose not to allow a subdivision plat to be filed after signing this Letter of Intent (LOI), you acknowledge your responsibility for reimbursing the City for any costs associated with the subdivision plat. If you decide not to acquire the abandoned land, please take note that other adjacent property owners will be given the opportunity to acquire the abandoned land.

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The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning



February 28, 2025

TO: Jose and Felipa Tovar
1269 S. Munson Road
Royse City, Texas 75189

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Right-of-Way in between E. Washington Street and Denison Street and along Houston Street

Mr. and Ms. Tovar,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the excess right-of-way in between E. Washington Street and Denison Street and along Houston Street, which is directly adjacent to your property at 301 Dennison Street. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the excess right-of-way in between E. Washington Street and Denison Street and along Houston Street, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned right-of-way encompasses excess right-of-way in between E. Washington Street and Denison Street and along Houston Street. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

In order to proceed with this transaction, I kindly request your cooperation in signing the attached Letter of Intent (LOI), acknowledging your acceptance of the abandoned right-of-way. Additionally, by signing this letter, you agree to allow the City of Rockwall to file a subdivision plat, which is necessary to accommodate the acquisition of the abandoned land, and you agree to maintain the acquired land. Please note that should you choose not to allow a subdivision plat to be filed after signing this Letter of Intent (LOI), you acknowledge your responsibility for reimbursing the City for any costs associated with the subdivision plat. If you decide not to acquire the abandoned land, please take note that other adjacent property owners will be given the opportunity to acquire the abandoned land.

Please review the attached map, which outlines the details of the abandonment and the terms and conditions of the Letter of Intent (LOI). Please provide all required information back to the Planning and Zoning Department of the City of Rockwall by no later than April 15, 2025 to proceed with the program. If you have any questions or require further clarification, please do not hesitate to contact me by phone at (972) 772-6441 or by email at rmiller@rockwall.com.

The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning



February 28, 2025

TO: Justino Tovar
303 Denison Street
Rockwall, Texas 75087

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Right-of-Way for Houston Street

Mr. Tovar,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the excess right-of-way along Houston Street, which is directly adjacent to your property at 601 N. Fannin Street. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the excess right-of-way along Houston Street, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned right-of-way encompasses excess right-of-way along Houston Street. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

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The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning



February 28, 2025

TO: Sky 306 E. Washington Series, LLC
106 E. Rusk Street, Suite 200
Rockwall, Texas 75087

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Right-of-Way in between E. Washington Street and Denison Street and along Houston Street

To Whom it May Concern,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the excess right-of-way in between E. Washington Street and Denison Street and along Houston Street, which is directly adjacent to your property at 306 E. Washington Street. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the excess right-of-way in between E. Washington Street and Denison Street and along Houston Street, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned of right-of-way encompasses excess right-of-way in between E. Washington Street and Denison Street and along Houston Street. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

In order to proceed with this transaction, I kindly request your cooperation in signing the attached Letter of Intent (LOI), acknowledging your acceptance of the abandoned right-of-way. Additionally, by signing this letter, you agree to allow the City of Rockwall to file a subdivision plat, which is necessary to accommodate the acquisition of the abandoned land, and you agree to maintain the acquired land. Please note that should you choose not to allow a subdivision plat to be filed after signing this Letter of Intent (LOI), you acknowledge your responsibility for reimbursing the City for any costs associated with the subdivision plat. If you decide not to acquire the abandoned land, please take note that other adjacent property owners will be given the opportunity to acquire the abandoned land.

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The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning

E WASHINGTON ST

201
21479
BODY AND SOUL
ROCKWALL O T, BLOCK T, LOT 1,2

21480
DIVINE PEACH LUTHERAN CHURCH
ROCKWALL O T, BLOCK T, LOT 3,4, ACRES 0.23

203
21484
DIVINE PEACH LUTHERAN CHURCH
ROCKWALL O T, BLOCK W, LOT 1,2,3, ACRES 0.344

305
21483
ROCKWALL O T, BLOCK V, LOT 1,2,3

0.244 ac

306 306
21481
SALON 306
ROCKWALL O T, BLOCK U, LOT WPT OF 1,2,3,4, ACRES .230

308
21482
ROCKWALL PRINTING CO.
ROCKWALL OT, BLOCK U, LOTE PT 1,2,3,4

310
16793
GRIFFITH, BLOCK 8, LOTE

(HOUSTON ST ROW)

HOUSTON ST

S FANNIN ST

16790
303
GRIFFITH, BLOCK 8, LOTA & D

16791
GRIFFITH, BLOCK 8, LOT PT A & D

301
21483
ROCKWALL O T, BLOCK V, LOT 1,2,3

DENISON ST

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.



0 50 Feet
Date: 2/24/2025

**RIGHT OF WAY
ABANDONMENT**

E WASHINGTON ST

0.028 ac

201
21479
BODY AND SOUL
ROCKWALL O T, BLOCK T, LOT 1,2

0.029 ac

21480
DIVINE PEACH LUTHERAN CHURCH
ROCKWALL O T, BLOCK T, LOT 3,4, ACRES 0.23

0.078 ac

21481 SALON 306 ROCKWALL OT, BLOCK U, LOT W PT OF 12.34 ACRES .20

21482
ROCKWALL PRINTING CO.
ROCKWALL OT, BLOCK U, LOT E PT 1,2,3,4

0.011 ac

16793
GRIFFITH, BLOCK 8, LOT E

HOUSTON ST

S FANNIN ST

(ROSE ST ROW)

(HOUSTON ST ROW)

0.003 ac

0.037 ac

21484
DIVINE PEACH LUTHERAN CHURCH
ROCKWALL O T, BLOCK W, LOT 1,2,3, ACRES 0.344

0.058 ac

21483 ROCKWALL OT, BLOCK V, LOT 1,2

16790
GRIFFITH, BLOCK 8, LOT A & D

16791
GRIFFITH, BLOCK 8, LOT PT A & D

DENISON ST

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DATE: 4/2/2025

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

PROPERTY OWNER NAME(S): LONNY MOLAN

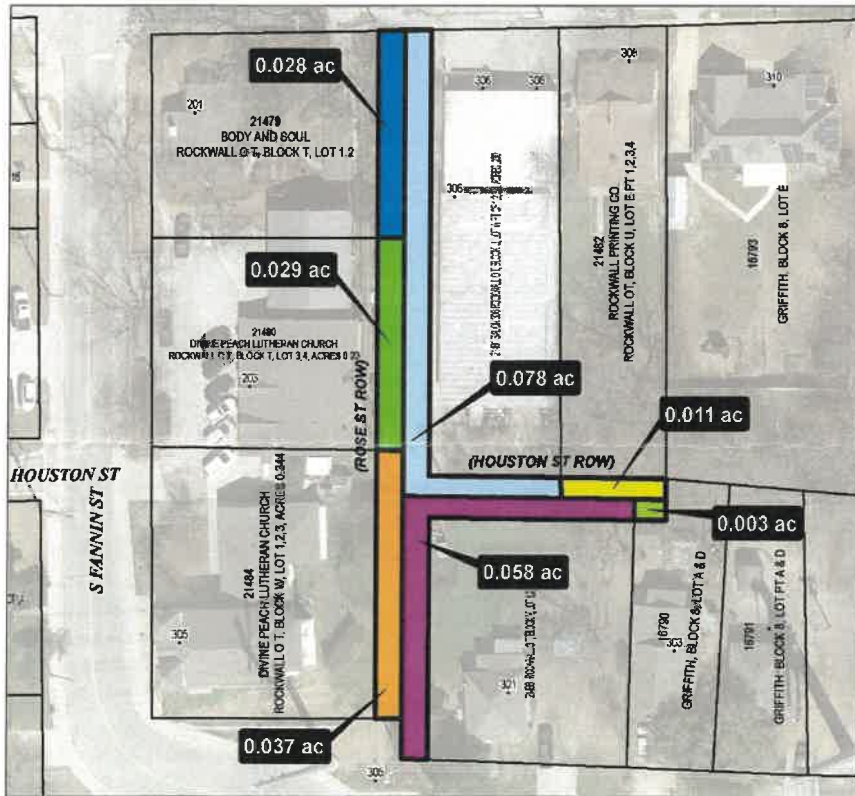
PROPERTY OWNER ADDRESS: 400 MOSSY OAK DR.
JOSEPHINE, TX 75189

PROPERTY ADDRESS: 305 S. FANNIN ST.
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in *Exhibit 'A'* below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- *that will be prepared by and at the cost of the City of Rockwall* -- to facilitate the acquisition of the abandoned right-of-way as depicted in *Exhibit 'A'* below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in *Exhibit 'A'* and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: *Lonny Molan*

PROPERTY OWNER'S SIGNATURE: _____

DATE: 4/10/2025

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

PROPERTY OWNER NAME(S): Jay Odom, Alison Odom

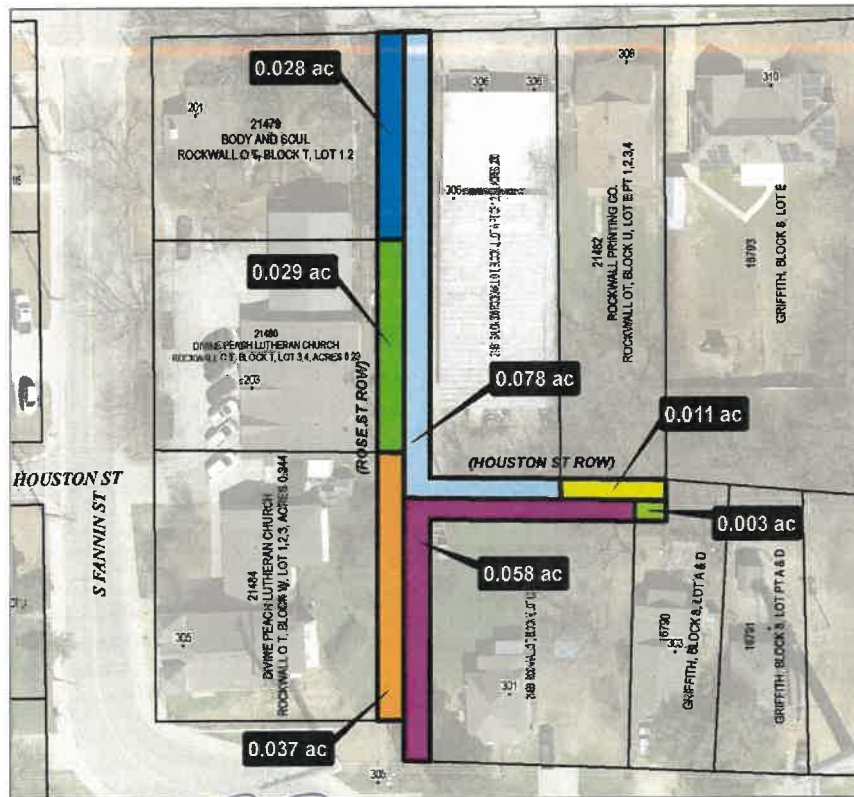
PROPERTY OWNER ADDRESS: 601 N. Fannin St

PROPERTY ADDRESS: _____
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in *Exhibit 'A'* below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- *that will be prepared by and at the cost of the City of Rockwall* -- to facilitate the acquisition of the abandoned right-of-way as depicted in *Exhibit 'A'* below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in *Exhibit 'A'* and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: Jay Odom

PROPERTY OWNER'S SIGNATURE: Alison Odom

DATE:

3/20/05

TO:

Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

PROPERTY OWNER NAME(S):

Jose and Felipa Tovar

PROPERTY OWNER ADDRESS:

301 Denison
Rockwall, TX 75087

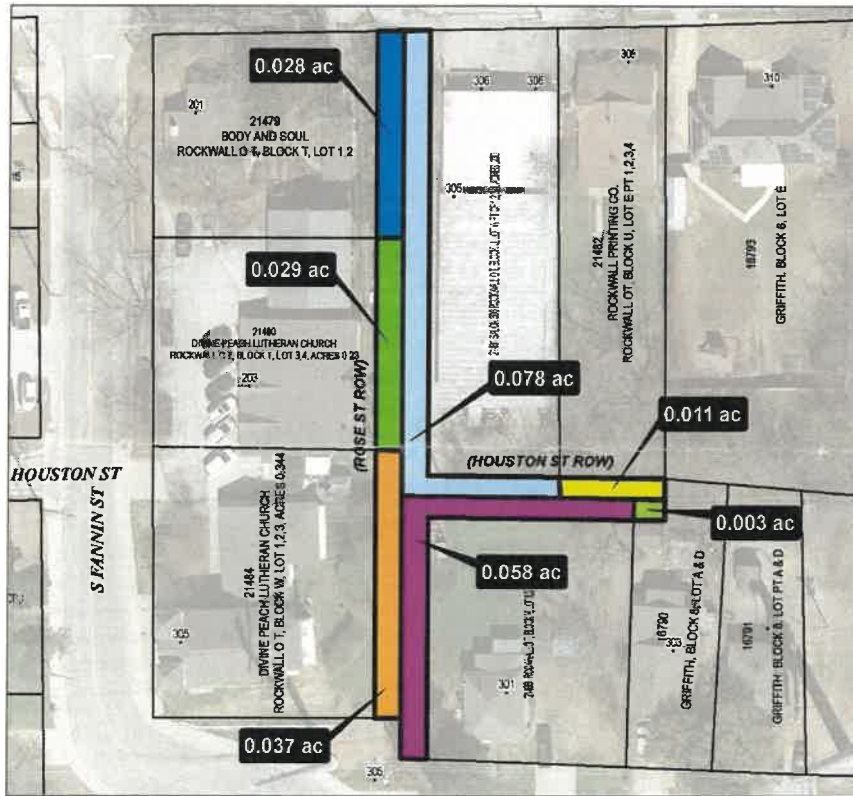
PROPERTY ADDRESS:

Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

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EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE:

Jose & Tovar

PROPERTY OWNER'S SIGNATURE:

Felipa Tovar

DATE: 4-9-2025

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

PROPERTY OWNER NAME(S): Justino & Adelina Tovar

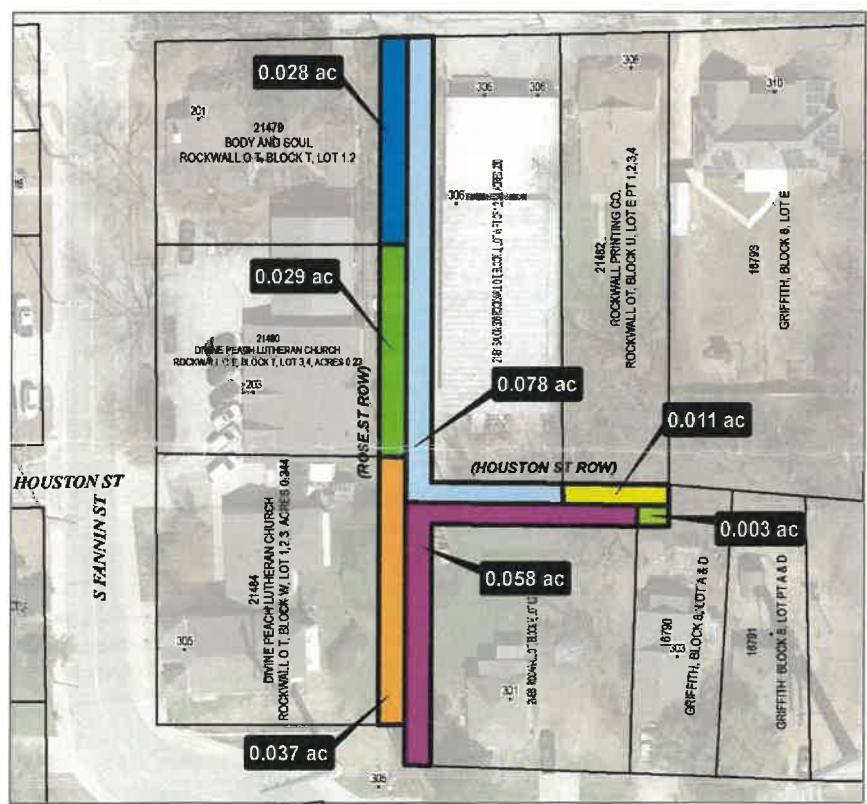
PROPERTY OWNER ADDRESS: 303 Denison Street
Rockwall TX 75087

PROPERTY ADDRESS: 303 Denison Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in *Exhibit 'A'* below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- *that will be prepared by and at the cost of the City of Rockwall* -- to facilitate the acquisition of the abandoned right-of-way as depicted in *Exhibit 'A'* below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in *Exhibit 'A'* and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: Justino Tovar

PROPERTY OWNER'S SIGNATURE: Adelina Tovar

DATE: 4/11/2025

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

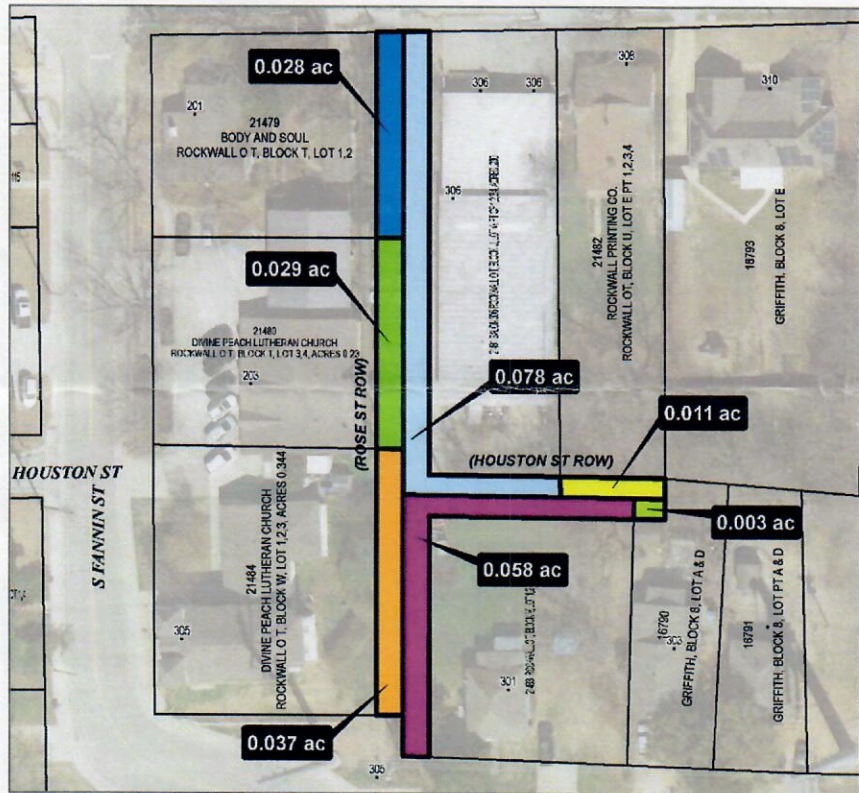
PROPERTY OWNER NAME(S): Michael Swierdinsky
PROPERTY OWNER ADDRESS: 106 E. Rusk St, Suite 200
Rockwall, TX 75087

PROPERTY ADDRESS: 306 E. Washington
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in Exhibit 'A' below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- that will be prepared by and at the cost of the City of Rockwall -- to facilitate the acquisition of the abandoned right-of-way as depicted in Exhibit 'A' below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in Exhibit 'A' and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: _____

PROPERTY OWNER'S SIGNATURE: _____

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CLOSING, ABANDONING AND VACATING A DEDICATED PUBLIC ALLEYWAY MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE AND CONVEYING THE RIGHT-OF-WAY TO THE ADJACENT PROPERTY OWNERS IN THE MANNER DEPICTED IN THIS ORDINANCE; IDENTIFYING A MUNICIPAL PURPOSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Subsection 311.007, *Closing of Street or Alley by Home-Rule Municipality*, of Chapter 311, *General Provisions Relating to Municipal Streets*, of the Texas Transportation Code grants a home-rule municipality the powers to vacate, abandon, or close a street or alleyway; and,

WHEREAS, Section 272.001(b) of the Texas Local Government Code provides that land -- *including streets or alleys* -- owned in fee or used by easement by a political subdivision of the state, may be conveyed, sold or exchanged for less than fair market value with one or more of the abutting property owners who own the underlying fee; and,

WHEREAS, the City of Rockwall currently incurs costs annually associated with the maintenance (*i.e. mowing*) of the dedicated public alleyway -- *described and depicted in Exhibit 'A' of this ordinance* -- which is currently unimproved; and,

WHEREAS, the City Council of the City of Rockwall has determined that the dedicated public alleyway -- *described and depicted in Exhibit 'A' of this ordinance* -- is no longer needed for public purposes, and finds that it is in the best interest of the City to convey the alleyway to the adjacent and abutting property owners -- *in the manner depicted in this ordinance*; and,

WHEREAS, with proper notice to the public, a public hearing was held on November 3, 2025 at a meeting of the City Council of the City of Rockwall, during which all interested parties and citizens were allowed to appear and be heard; and,

WHEREAS, the City of Rockwall has determined that it is feasible and advantageous to abandon this City property subject to the terms and conditions set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. PROPERTY. The *Property* shall be as described and depicted in *Exhibit 'A'* of this ordinance, and shall be incorporated by reference herein.

SECTION 2. QUITCLAIM. Section 272.001(b) of the Texas Local Government Code allows the City the power to convey city-owned property at less than fair market value to the abutting property owners. The Mayor of the City of Rockwall or the City Manager, as the case may be, are authorized to quitclaim the *Property* described in *Section 1* hereof to the abutting property owner upon the approval of this ordinance.

SECTION 3. LIMITATIONS. The abandonment of the *Property* shall extend only to the public right, title and easement in and to the tracts of land described and depicted in *Exhibit 'A'* of this ordinance, and shall be construed only to that interest the governing body of the City may legally and lawfully

abandon.

SECTION 4. MUNICIPAL PURPOSE. The *Property* described in *Section 1*, save and except the municipal utility easements located thereon, is no longer needed for municipal purposes and it is in the public interest of the City, to abandon said described portions of the right-of-way as depicted in *Exhibit 'A'* to the adjacent and abutting property owners.

SECTION 5. SCOPE. That the abandonment provided for herein shall extend only to the public right, title and easement in and to the tracts of land described in *Section 1* of this ordinance, and shall be construed only to that interest the governing body of the City of Rockwall may legally and lawfully abandon.

SECTION 6. EXCEPTIONS. In addition to the express reservations provided for in *Section 1* hereof, the conveyance is made subject to any and all valid, conditions, easements, restrictions and the like, whether record or not in the real property records of Rockwall County Texas.

SECTION 7. INCORPORATION OF RECITALS. The City Council finds the recitals contained in the preamble to this *Ordinance* are true and correct and incorporates them as findings of fact.

SECTION 8. SAVINGS CLAUSE. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 9. REPEALING ORDINANCES IN CONFLICT. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 10. EFFECTIVE DATE. This *Ordinance* shall be effective immediately following its passage and approval by the City Council.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 17TH DAY OF NOVEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

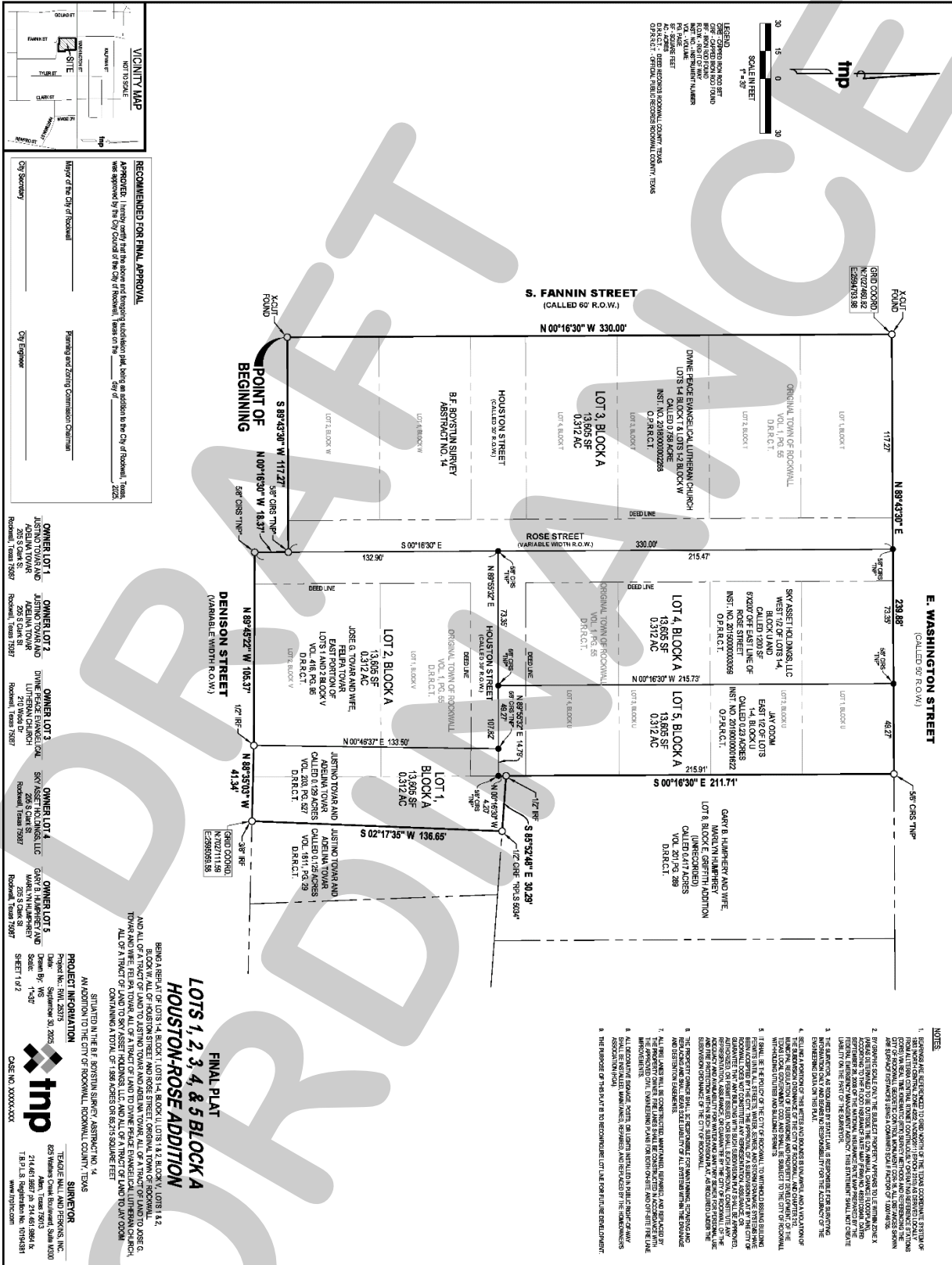
Frank J. Garza, *City Attorney*

1st Reading: November 3, 2025

2nd Reading: November 17, 2025

DRAFT
ORDINANCE

Exhibit 'A' Abandonment and Conveyance of Right-of-Way to the Adjacent and Abutting Property Owners





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 28, 2025
APPLICANT: David Stanglin; *Ruffin Custom Buildings*
CASE NUMBER: P2025-037; *Replat for Lot 2, Block A, Pott Shrigley Addition*

SUMMARY

Consider a request by David Stanglin of Ruffin Custom Buildings for the approval of a Replat for Lot 2, Block A, Pott Shrigley Addition being a 2.00-acre parcel of land identified as Lot 1, Block 1, Pott Shrigley Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 992 Sids Road, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Replat for a 2.00-acre parcel of land (*i.e. Lot 1, Block 1, Pott Shrigley Addition*) for the purpose of dedicating easements related to the expansion of the existing *Office/Manufacturing Building* on the subject property (*i.e. Lot 2, Block A, Pott Shrigley Addition*).
- Background. The subject property was annexed on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. On October 7, 1996, the City Council approved a final plat to establish the subject property as Lot 1, Block 1, Pott Shrigley Addition [*Case No. PZ1996-062-02*]. On October 15, 1996, the City Council approved to rezone the subject property from Agricultural (AG) District to Planned Development District 43 (PD-43) for Commercial (C) District land uses. According to the Rockwall County Appraisal District (RCAD) there is a 4,855 SF *Office/Manufacturing* facility constructed in 1997 on the subject property. On October 11, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-051*] to allow the expansion of the existing *Office/Manufacturing* facility.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lot 2, Block A, Pott Shrigley Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2025

PROJECT NUMBER: P2025-037
PROJECT NAME: Lot 1, Block A, Pott Shrigley Addition
SITE ADDRESS/LOCATIONS: 992 Sids

CASE CAPTION: Consider a request by David Stanglin of Ruffin Custom Buildings for the approval of a Replat for Lot 2, Block A, Pott Shrigley Addition being a 2.00-acre parcel of land identified as Lot 1, Block 1, Pott Shrigley Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 992 Sids Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	10/24/2025	Approved w/ Comments

10/24/2025: P2025-037: Replat for Lot 2, Block A, Pott Shrigley Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 2, Block A, Pott Shrigley Addition being a 2.00-acre parcel of land identified as Lot 1, Block 1, Pott Shrigley Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 992 Sids Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2025-037) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

Final Plat
Lot 2, Block A
Pott Shrigley Addition
Being a Replat of
Lot 1, Block 1
Pott Shrigley Addition
Being
1 Lot
1.873-Acres or 81,587.88 SF
Situated in the
W. H. Barnes Survey, Abstract No. 26
City of Rockwall, Rockwall County, Texas

M.5 Please orient the subdivision plat into landscape format. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please provide the acreage and the square footage with the callout on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please correct the Lot and Block to Lot 2, Block A. This will need to be corrected in multiple places on the first and second page of the plat.

M.8 Please label the fire lane as, Fire Lane, Public Access, and Utility Easement. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Please remove the acreage from the fire lane and detention easements. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please removing the fencing from the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.11 Please label the right-of-way and the centerline for Sids Road. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.12 Please indicate the proposed corner clips and any subsequent dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.13 Please review the adjacent property lot lines and lot and block designations. Many of the adjacent properties are not correct. In addition, the Owner's Dedication will need to be updated to reflect this. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.14 Please update the signature block to be in conformance with the Replat signature block provided in the Subdivision Ordinance. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.16 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning: October 28, 2025
City Council Meeting: November 3, 2025

I.17 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

- 10/23/2025: 1. List 100yr WSEL of detention pond.
2. Call out width.
3. Show off-site sewer easement for this property's sewer service Doc #20210000023485
4. 20' Water Easement (for fire hydrant...see as-built plans for location). Bearing/Distances
5. Review City plat document requirements. Second Page missing.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved

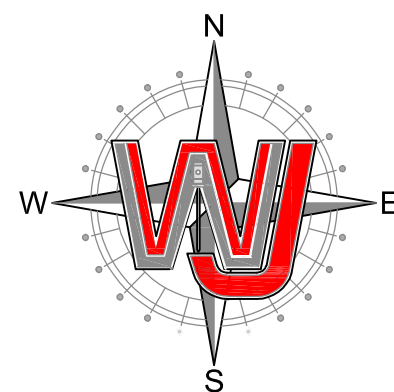
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved

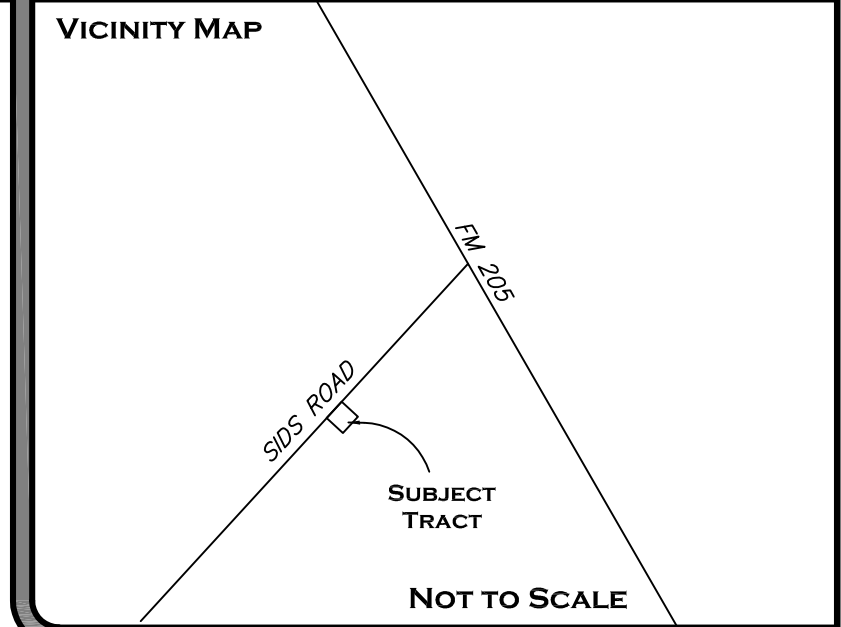
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved

No Comments



VICINITY MAP

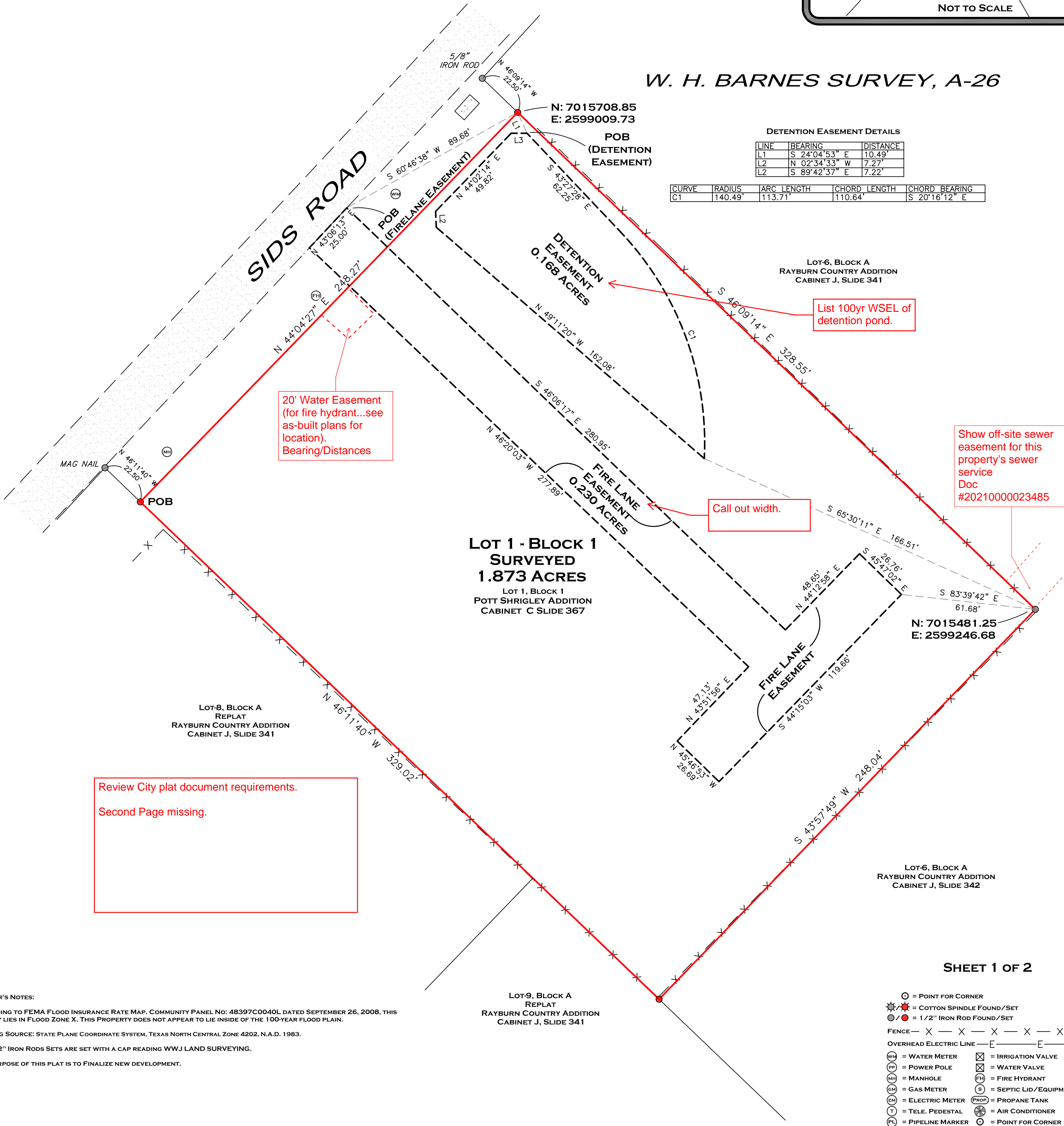


W. H. BARNES SURVEY, A-26

DETENTION EASEMENT DETAILS

LINE	BEARING	DISTANCE
L1	S 24°04'53" E	10.49'
L2	N 02°34'33" W	7.27'
L2	S 89°42'37" E	7.22'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	140.49'	113.71'	110.64'	S 20°16'12" E



20' Water Easement
(for fire hydrant...see
as-built plans for
location).
Bearing/Distances

List 100yr WSEL of
detention pond.

Show off-site sewer
easement for this
property's sewer
service
Doc
#20210000023485

Call out width.

Review City plat document requirements.
Second Page missing.

**LOT 1 - BLOCK 1
SURVEYED
1.873 ACRES**

LOT 1, BLOCK 1
POTT SHRIGLEY ADDITION
CABINET C SLIDE 367

N: 7015481.25
E: 2599246.68

LOT-8, BLOCK A
REPLAT
RAYBURN COUNTRY ADDITION
CABINET J, SLIDE 341

LOT-6, BLOCK A
RAYBURN COUNTRY ADDITION
CABINET J, SLIDE 342

LOT-9, BLOCK A
REPLAT
RAYBURN COUNTRY ADDITION
CABINET J, SLIDE 341

SHEET 1 OF 2

SURVEYOR'S NOTES:

- 1 ACCORDING TO FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO: 48397C0040L DATED SEPTEMBER 26, 2008, THIS PROPERTY LIES IN FLOOD ZONE X. THIS PROPERTY DOES NOT APPEAR TO LIE INSIDE OF THE 100-YEAR FLOOD PLAIN.
- 2 BEARING SOURCE: STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, N.A.D. 1983.
- 3 ALL 1/2" IRON RODS SETS ARE SET WITH A CAP READING WJ LAND SURVEYING.
- 4 THE PURPOSE OF THIS PLAT IS TO FINALIZE NEW DEVELOPMENT.

GENERAL NOTES:

- 1 SUBDIVIDERS STATEMENT. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY OF ROCKWALL WITHHOLDING UTILITIES AND BUILDING PERMITS.
- 2 PUBLIC IMPROVEMENT STATEMENT. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY OF ROCKWALL DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT; ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED, OR PERMIT ISSUED, NOT SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF ROCKWALL OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL.
- 3 DRAINAGE AND DETENTION EASEMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
- 4 FIRE LANES. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE FIRE LANE IMPROVEMENTS.
- 5 STREET APPURTENANCES. ALL DECORATIVE SIGNAGE, POSTS, OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE HOMEOWNER'S ASSOCIATION (HOA)

○	= POINT FOR CORNER	⊗	= POINT FOR CORNER
⊗	= COTTON SPINDLE FOUND/SET	⊗	= WATER VALVE
●	= 1/2" IRON ROD FOUND/SET	⊗	= FIRE HYDRANT
— X — X — X — X — X — X —	= FENCE	⊗	= SEPTIC LID/EQUIPMENT
— E — E —	= OVERHEAD ELECTRIC LINE	⊗	= AIR CONDITIONER
⊗	= WATER METER	⊗	= PROPANE TANK
⊗	= POWER POLE	⊗	= TELE. PEDESTAL
⊗	= MANHOLE	⊗	= PIPELINE MARKER
⊗	= GAS METER	⊗	
⊗	= ELECTRIC METER		
⊗	= TELE. PEDESTAL		
⊗	= PIPELINE MARKER		
⊗	= POINT FOR CORNER		

FINAL PLAT
LOT 1 - BLOCK 1 OF POTT SHRIGLEY ADDITION
1.873 ACRES - W.H. BARNES SURVEY, A-26
ROCKWALL COUNTY, TEXAS

MANAGER: C.H.J.	CREW CHIEF: JM	PREPARED BY: C.W.P. ON SEPT. 29TH, 2025
ADDRESS: 992 SIDS ROAD		
CITY/COUNTY: ROCKWALL		
SURVEY/ABSTRACT NO.: A-26		
SUBDIVISION: POTT SHRIGLEY		
LOT NO.: LOT 1 / BLK 1		
CLIENT: BOBBY RUFFIN		

OWNER:
S & A SYSTEMS
JAMES SRYGLEY
992 SIDS RD.
ROCKWALL, TX 75032

10819 US HWY 69 N
TYLER, TX 75706
903-534-9000

LAND SURVEYING
TBPELS FIRM NO. 10025300

30 0 30
SCALE: 1" = 30'



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 992 Sids Road

SUBDIVISION: Pott Shrigley LOT: 1 BLOCK: 1

GENERAL LOCATION: Rockwall Sids + 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: _____ CURRENT USE: Commercial

PROPOSED ZONING: _____ PROPOSED USE: _____

ACREAGE: 2.00 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

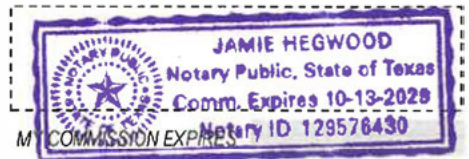
<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON: <u>Ruffin Custom Builders</u>
ADDRESS	ADDRESS: <u>David Stanglin</u>
CITY, STATE & ZIP	CITY, STATE & ZIP: _____
PHONE	PHONE: _____
E-MAIL	E-MAIL: _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Don Smigley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

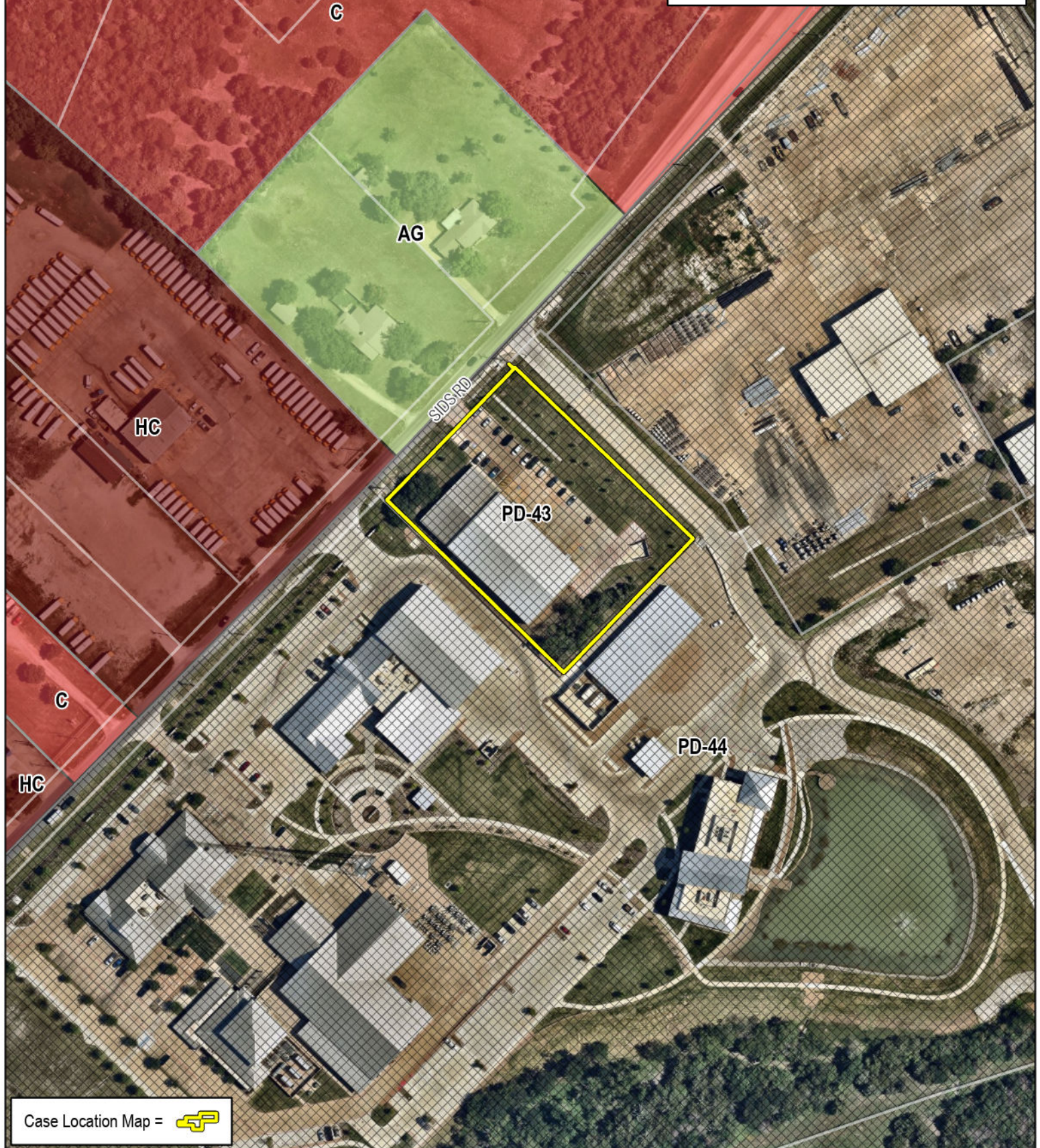
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 300.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF October 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF October 2025
OWNER'S SIGNATURE: [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]





P2025-037: Replat for Lot 1, Block A, Pott Shrigley Addition



Case Location Map = 

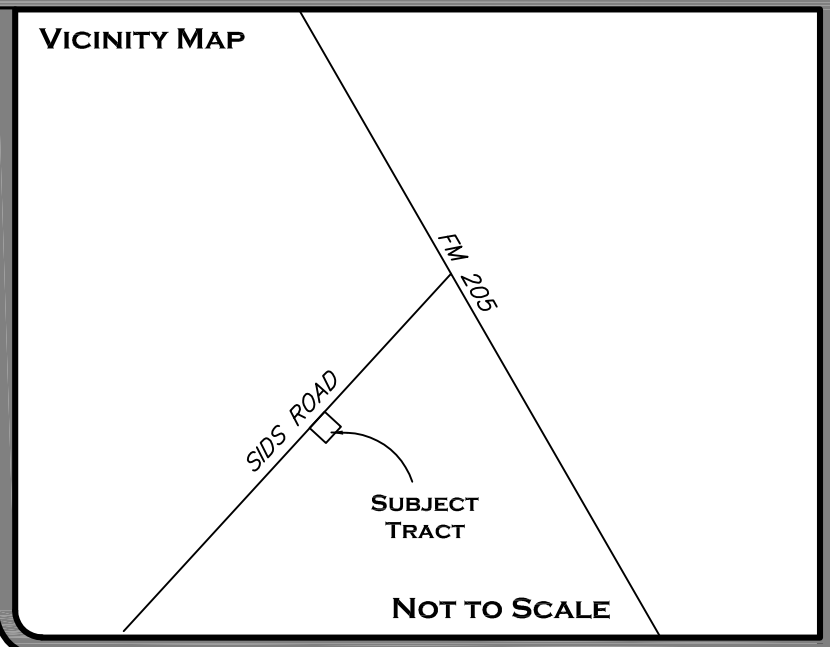
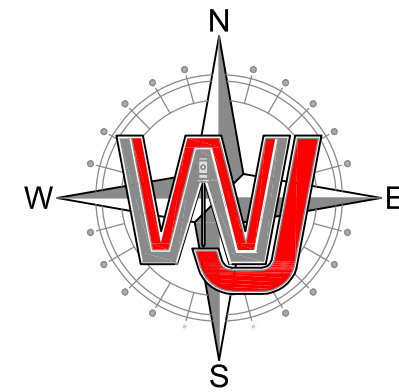


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



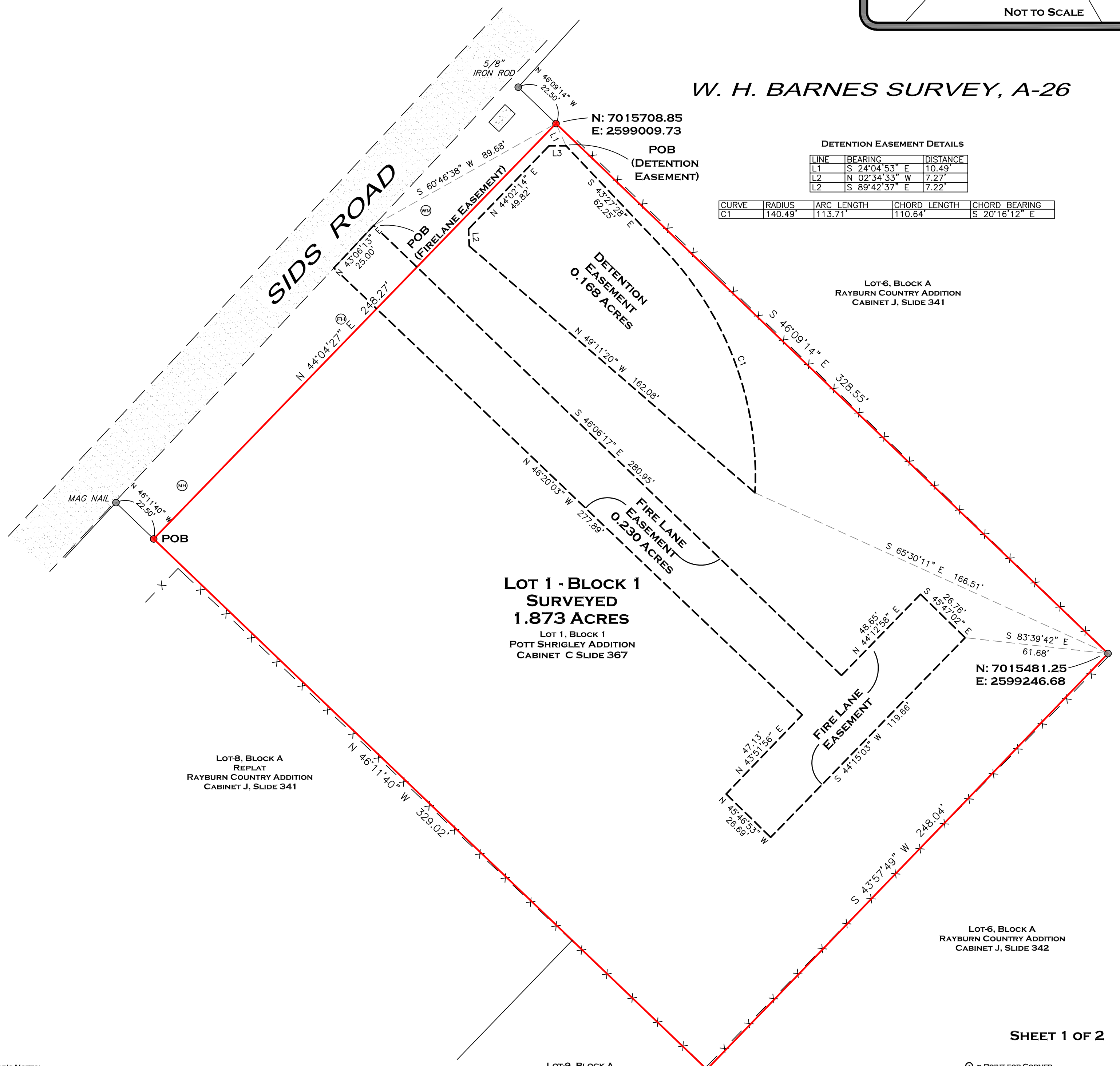


W. H. BARNES SURVEY, A-26

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SHEET 1 OF 2

SURVEYOR'S NOTES:

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- 3 DRAINAGE AND DETENTION EASEMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
- 4 FIRE LANES. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE FIRE LANE IMPROVEMENTS.
- 5 STREET APPURTENANCES. ALL DECORATIVE SIGNAGE, POSTS, OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE HOMEOWNER'S ASSOCIATION (HOA)

OWNER:
 S & A SYSTEMS
 JAMES SRYGLEY
 992 SIDS RD.
 ROCKWALL, TX 75032

LAND SURVEYING
 TBPELS FIRM NO. 10025300

10819 US HWY 69 N
 TYLER, TX 75706
 903-534-9000

FINAL PLAT
LOT 1 - BLOCK 1 OF POTT SHRIGLEY ADDITION
1.873 ACRES - W.H. BARNES SURVEY, A-26
ROCKWALL COUNTY, TEXAS

MANAGER: C.H.J.	CREW CHIEF: JM	PREPARED BY: C.W.P. ON SEPT. 29TH, 2025
ADDRESS: 992 SIDS ROAD		JOB NO. 25 - 0781
CITY/COUNTY: ROCKWALL		
SURVEY/ABSTRACT NO.: A-26		30 0 30
SUBDIVISION: POTT SHRIGLEY		
LOT NO.: LOT 1 / BLK 1		SCALE: 1" = 30'
CLIENT: BOBBY RUFFIN		



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Henry Lee, *Senior Planner*

DATE: October 28, 2025

SUBJECT: MIS2025-018; *Exception to the Exterior Material Requirements for 370 Eva Place*

On October 9, 2025, the Board of Adjustments (BOA) approved a motion to grant a special exception for *Case No. BOA2025-3-V* by a vote of 4-2, with Board Members Carr and Rohlf dissenting. This case was a request for the expansion of a *legally non-conforming structure*. More specifically, the applicant -- *Noah Dawit* -- was requesting to elevate an existing manufactured home, located at 370 Eva Place, above the base elevation using wooden stilts. This request was made in accordance with Subsection 04.03(H) of Article 02, *Development Review Authority*, of the Unified Development Code (UDC) -- *which allows the Board of Adjustments (BOA) to authorize special exceptions for the expansion of a legally non-conforming structure* -- and which states the following:

Expansion of a Non-Conforming Structure. To authorize the enlargement, expansion or repair of a non-conforming structure in excess of 50% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel.

A copy of the approved order and the minutes from this case has been provided in the Planning and Zoning Commission's packet for their review. Since the Board of Adjustments (BOA) granted the special exception request, the applicant is required to meet all provisions of Planned Development District 75 (PD-75), which stipulates finishing the exterior of the structure in a minimum of 80.00% standard masonry materials and which may utilize a total of 60.00% HardiBoard or a similar cementitious material (*i.e. 50.00% of the 80.00% masonry requirement [i.e. 40.00% of the façade] with the remaining 20.00% able to be any building material allowed by the City*). Alternatively, since the existing manufacture home is being expanded this request could also be seen as falling under the *Manufactured Home Replacement* program, which stipulates that all new manufactured homes meet the following minimum standards:

- (1) The manufactured home shall be permanently attached to a concrete foundation.
- (2) The primary roof pitch is a minimum of 3:12 inches.
- (3) At least 90.00% of the exterior materials, including the skirting material, excluding doors and windows, must be comprised of HardiBoard lap siding or a similar durable cementitious lap siding material with a minimum width of 6¼-inches.
- (4) The proposed manufactured home is newer and larger in living space than the prior manufactured home.

Based on these requirements, the applicant is requesting a *Special Request* in accordance with Subsection 3(c) of *Ordinance No. 16-01 [Planned Development District 75 (PD-75)]*, which states "... (t)he City Council may consider special requests in the Lake Rockwall Estates Subdivision ... Such request(s) may include, but not necessarily be limited to the use of alternate building materials, reductions in the building setbacks, exceptions to the fencing requirements, or other requests submitted for consideration to the Planning and Zoning Department. Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request(s). Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code. Such special requests may be denied by the City Council by the passage of a motion to deny." In this case, the applicant is proposing to allow the use of the existing exterior materials on the manufactured home, which appear to be a composite board or OSB panel. Staff should note that since the manufactured home will be raised using wood pilings, standing between 6.40-feet and ten (10) feet above grade, and is currently and will continue to be fully situated within a 100-year floodplain, the manufactured home will not be incorporating a skirting around the bottom of the structure.

As noted in the Board of Adjustments (BOA) memorandum, staff is obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant has been approved for. In addition, the applicant has made unpermitted improvements on the property that regardless of the City Council's decision will need to either be properly permitted or removed from the property prior to the issuance of any additional building permits. With all this being said, this case is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning this case, staff and the applicant will be available at the October 28, 2025 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 370 Eva Place

SUBDIVISION: Rockwall Lake Estates Ph 2 LOT: 774-6A BLOCK: _____

GENERAL LOCATION: Rockwall Lake

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	<u>Residential</u>	CURRENT USE	_____
PROPOSED ZONING	<u>Residential</u>	PROPOSED USE	_____
ACREAGE	<u>0.7</u>	LOTS [CURRENT]	<u>3</u>
		LOTS [PROPOSED]	<u>3</u>

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Noha Dawit</u>	<input type="checkbox"/> APPLICANT	_____
CONTACT PERSON	_____	CONTACT PERSON	_____
ADDRESS	<u>12414 Granite Falls Trl</u>	ADDRESS	_____
CITY, STATE & ZIP	<u>ENSCO TX 75035</u>	CITY, STATE & ZIP	_____
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

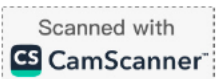
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Noha Dawit [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF Oct, 2025

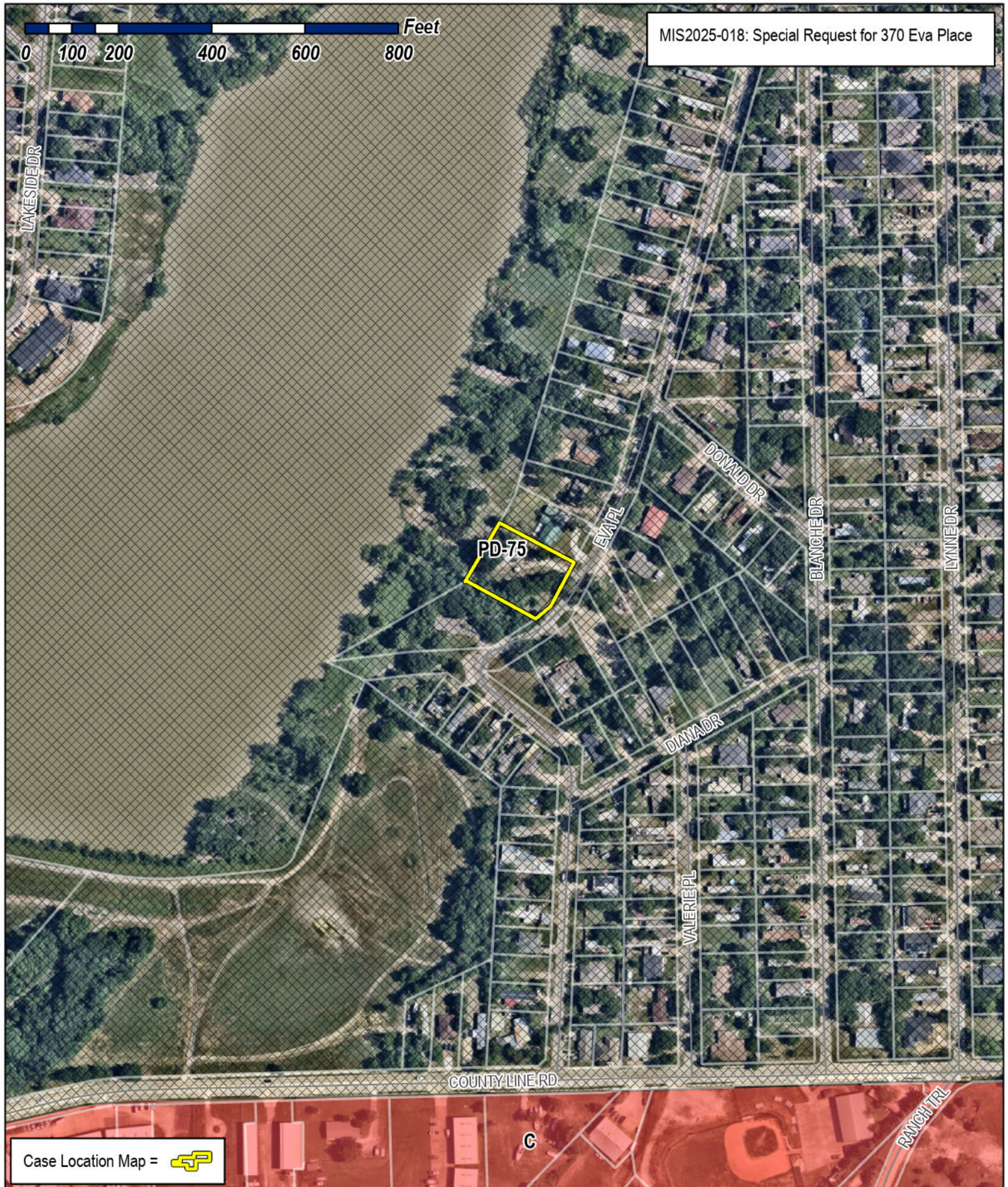
OWNER'S SIGNATURE: _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: _____





MIS2025-018: Special Request for 370 Eva Place



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Property at:
370 Eva Place Rockwall, TX 75032

CURRENT MATERIALS



**Steel "I"
Beam**

Concrete footer



**Single Treated 2 x
12 support joist**

PROPOSED MATERIALS



15 - 12 x 12 x 28' Treated Wood Pilings



20 - Rough Cut; Treated; 3" x 12" Beams

Pressure Treated 3" x 12" x LF
Brown Ground Contact Lumber a.



24 - 2" x 12" x 24' #1 Treated Pine Boards

2 x 12, Pine, No.
1, Pressure
Treated (MCA)

see drawing 2-1000
**3/4" x 18" Conquest A307 Grade A Hex
Bolt - Hot Dip Galvanized**
★★★★



Simpson Strong-
Tie BP 3/4HDG -
3/4" Bolt Dia 2...

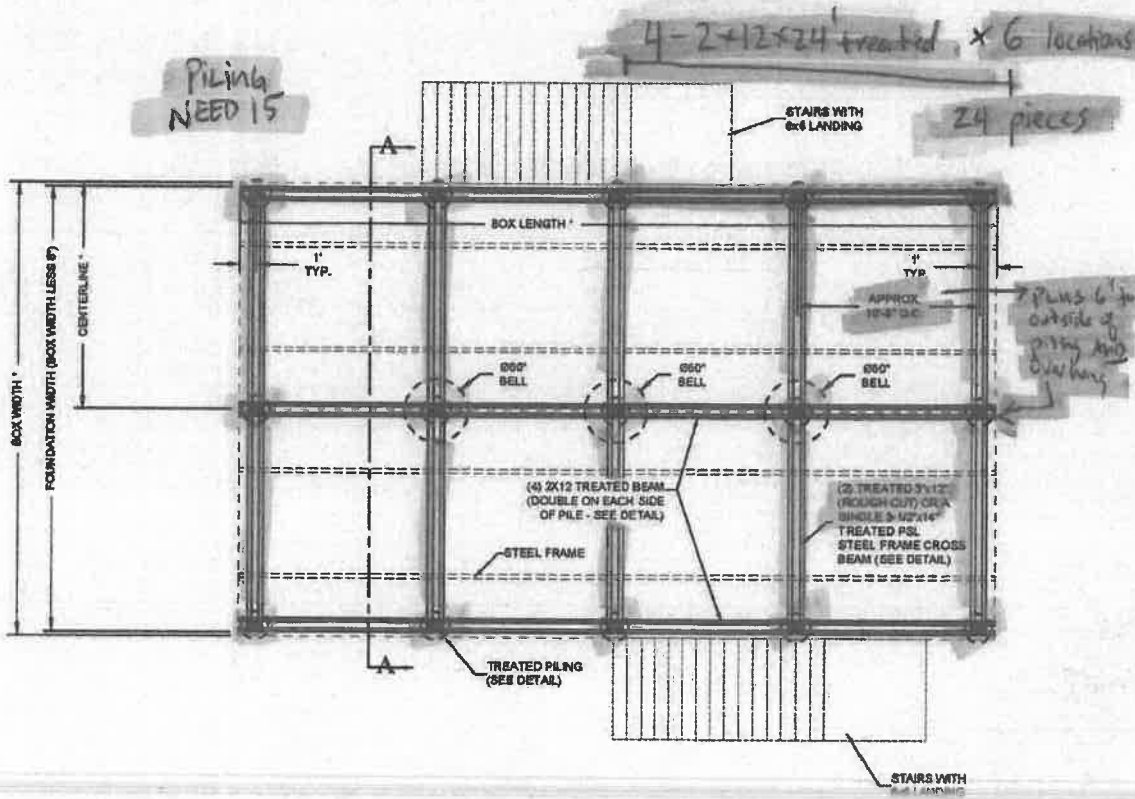
see drawing 2-1000
**3/4"-10 Conquest Heavy Hex Nut,
A307 Grade A - Hot Dip Galvanized**
★★★★



3/8"-7 x 3"
Conquest Hex
Head Lag Bolt f.

Galvenized Fasteners

PILING FOUNDATION - PLAN VIEW



W2-MAN-KCO-DRAWING

FINAL DIMENSIONS MUST BE OBTAINED FROM THE MANUFACTURER PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS.



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75082

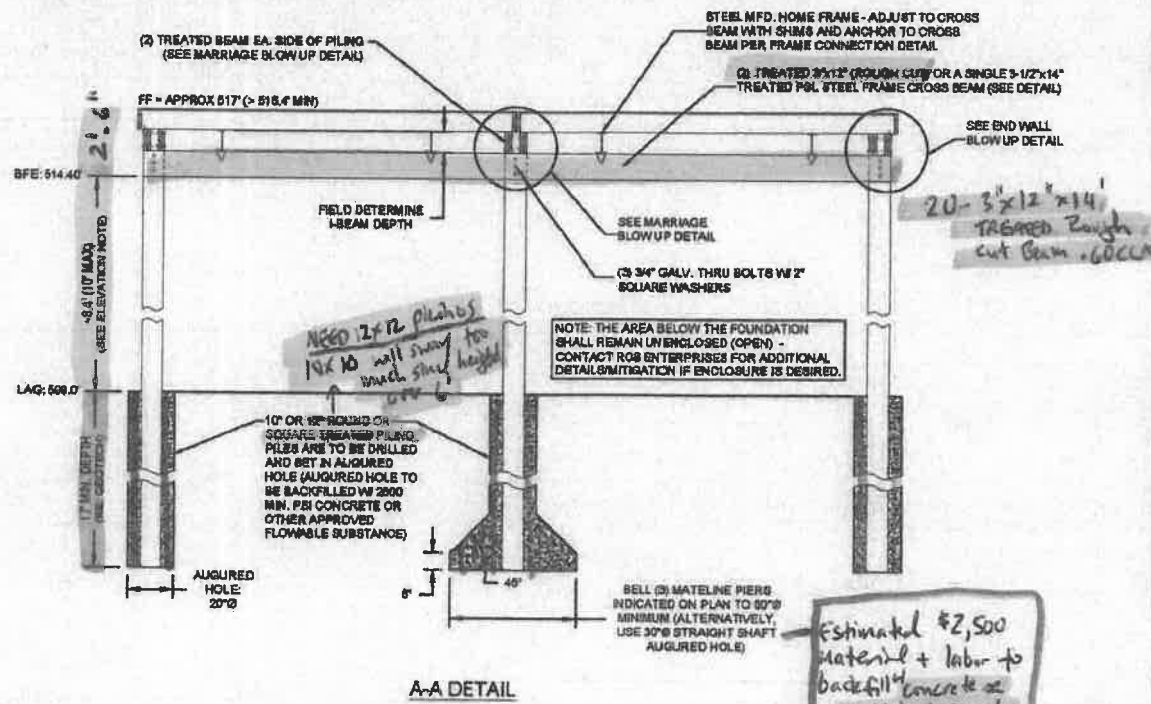


Drawn by J. Martin Montgomery
 Date: 2/25/08
 080613-05007
 J. MARTIN MONTGOMERY
 REGISTERED PROFESSIONAL
 ENGINEER STATE OF TEXAS
 NO. 90427
 RC'S ENTERPRISES, LP F-2071

DESCRIPTION: W21 MANU BELAYED PILING FOUNDATION
BOX SIZE: 27' X 46'
REV NO/DATE: 2/07/10/08
SCALE DATE: 05/12/08

MODEL: TWIN PEALS
DRAWN BY: JBA
SCALE: NONE 8.5x11
SHEET:
1

PILING FOUNDATION - SECTION DETAIL



Total Piling Length = 12 x 12 x 28'

NEED 2x12 Pilings 10x10 wall footing for much stiffer height

Estimated \$2,500 Material + labor to backfill concrete & stabilize sand.

Need 6" minimum buffer to make 100% sure we meet height requirement

ELEVATION NOTE:
 SURVEY BY BARRY S RHODES, SURVEYOR, DATED 04/05/2021, AND CORRESPONDENCE* WITH CITY ENGINEERING DEPARTMENT (MADELYN PRICE, P.E.):
 BFE: 514.40'; ZONE: A;
 LOWEST ADJACENT GRADE: 508.0'
 HIGHEST ADJACENT GRADE: 508.0'
 ELEVATION OF LOWEST HORIZONTAL: 514.40' (BFE);
 MINIMUM FINISHED FLOOR: 516.40' (BFE +2)

ELEVATION MEASUREMENTS MUST REFERENCE THE SURVEY BENCHMARK

*THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THE INFORMATION PROVIDED BY THE CITY IS ACCURATE PRIOR TO SETTING THE HOME. IN ADDITION, A FINAL ELEVATION CERTIFICATE WILL BE REQUIRED CONFIRMING THE REQUIRED ELEVATIONS.

FLOODWAY NOTE:
 THIS FOUNDATION IS DESIGNED TO RESIST FLOATAION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION.



NOHA DAMT
PROPERTY ADDRESS:
 370 EVA PLACE
 ROCKWALL, TX 75082

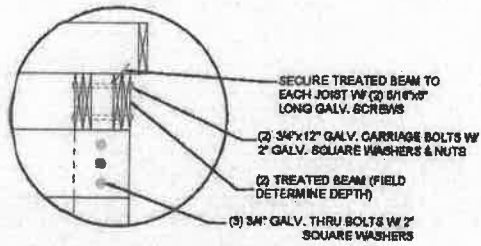


Officially Signed by J. Martin Montgomery, Registered Professional Engineer, State of Texas, No. 00427. RCS Enterprises, LP, F-201. REV NO: DATE: 2/07/2022

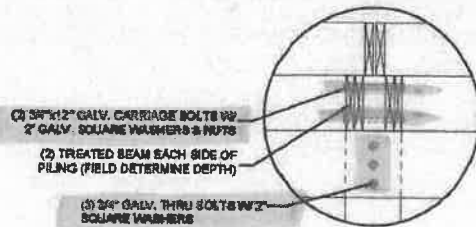
DRAWN BY: JBA
SCALE: NONE 8.5x11
SHEET: 2

PROJECT: NOHA DAMT ELEVATED PILING FOUNDATION
 DESCRIPTION: VET1 BANK ELEVATED PILING FOUNDATION
 BOX SIZE: 27" X 48"
 MODEL: TWIN PEAKS

PILING FOUNDATION - CONSTRUCTION DETAILS



END WALL BLOW UP DETAIL

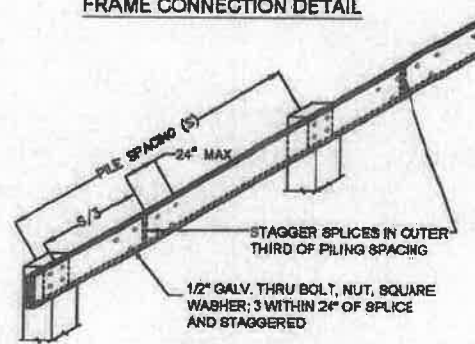


MARRIAGE BLOW UP DETAIL

5-16' BOLTS/NUTS
10 - SQUARE WASHERS } PER PILING



FRAME CONNECTION DETAIL



BEAM SPLICE DETAIL

- NOTES:**
1. DETAIL APPLICABLE TO CONVENTIONAL LUMBER
 2. ALL SPLICES MUST BE IN THE OUTER THIRD OF THE PILING SPACING
 3. DO NOT BOLT THROUGH SPLICES



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75032



signed
 by J. Marth
 Montgomery
 Date: 2025/08/01
 09:06:48 -05'00'

DESCRIPTION: W&I MAINT ELEVATED PILING FOUNDATION
 BOX SIZE: 27 X 18

J. MARTH MONTGOMERY
 REGISTERED PROFESSIONAL
 ENGINEER STATE OF TEXAS
 NO. 90427
 RCS ENTERPRISES, LP F-2071

REV NO DATE: 2 07/31/25

DRAWN BY: JBA
 SCALE: NONE 8.5x11

SHEET:

3

WZL-UMH-003-PILING



City of Rockwall
The New Horizon

MEMORANDUM

TO: Board of Adjustment Members

FROM: Craig Foshee, Building Inspections Plan Examiner

DATE: October 2, 2025

SUBJECT: Variance request – BOA-2025-3-V for 10/9/2025 Meeting

Noah Dawit of 370 Eva Place is requesting a public hearing to discuss and consider a Variance to allow for the expansion of a non-conforming structure. The applicant is requesting to elevate the existing manufactured home between 6.4-feet to ten (10) feet using treated wood pilings in order to raise the structure above the base flood elevation. In this case, the applicant has stated that he would like to utilize the existing structure in lieu of constructing a new manufactured home.

According to Section 04.03(H) of Article 2, *Development Review Authority*, of the Unified Development Code (UDC), the Board of Adjustments (BOA) may, in its judgement, authorize "...the enlargement, expansion or repair of a non-conforming structure in excess of 50.00% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel." According to the letter provided by the applicant the anticipated cost of the scope of work is between \$36,000-\$42,000, and based on the Rockwall Central Appraisal District (RCAD) the current value of the structure on the subject property is \$50,601. This means that the scope of work would equate to 71.14%-83.00% of the value of the existing structure.

In reviewing requests for variances, the Board of Adjustments (BOA), pursuant to the powers conferred upon it by state law, is asked to consider the following criteria:

- (1) If such variance will substantially or permanently injure the appropriate use of adjacent property in the same district;
- (2) If such variance will adversely affect the health, safety or general welfare of the public;
- (3) If such variance will be contrary to the public interest;
- (4) If such variance will authorize the operation of a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located;
- (5) If such variance will be in the harmony with the spirit and purpose of the Unified Development Code (UDC);
- (6) If such variance will alter the essential character of the district in which the property is located and for which the variance is sought;

- (7) If such variance will substantially weaken the general purposes of the zoning regulations established for the district in which the property is located;
- (8) If the variance is due to special conditions, a literal enforcement of the Unified Development Code (UDC) would result in unnecessary hardship;
- (9) If the plight of the owner of the property for which the variance or exception is sought is due to unique circumstances existing on the property, including, but not limited to, the area, shape or slope, and the unique circumstances were not created by the owner of the property and are not merely financial, and are not due to the result of general conditions in the district in which the property is located;
- (10) If the variance or exception is a self-created hardship; and,
- (11) If the variance is clearly identified as a variance to the City's standards on the concept plan, site plan or text of the Unified Development Code (UDC).

In this case, staff is obligated to point out that the property owner purchased the property with the understanding that the subject property was fully within the 100-year floodplain. Staff is also obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant is requesting. In addition, staff should note that applicant recently completed improvements (*i.e. a front yard fence*) without receiving a building permit. Regardless, of if this case is approved or not, the applicant will be required to remove all unpermitted improvements on the property.

When reviewing this case, it appears that if the case is approved it will constitute a self-created hardship and could potentially create a precedent for other properties in the Lake Rockwall Estates Subdivision; however, requests for variances are discretionary decisions for the Board of Adjustments (BOA). Staff should point out that if this case is approved, the applicant will be required to meet all the zoning requirements of Planned Development District 75 (PD-75). This means the exterior of the manufactured home would be required to be clad in HardiBoard.

On September 25, 2025, staff mailed 23 notices to property owners within 200-feet of the subject property. As of the date of this memorandum, staff has received one (1) response in favor of the applicant's request and one (1) response opposed to the applicant's request. Should the Board of Adjustments (BOA) have any questions, staff will be available at the October 9, 2025 meeting.



City of Rockwall
The New Horizon

Public Notice

The City of Rockwall Board of Adjustments will hold a public hearing on **Thursday, October 9th, 2025, at 6:00 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

BOA-2025-3-V

Hold a public hearing to discuss and consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688 acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

As an interested property owner, you are invited to attend this meeting and/or express your thoughts in writing by returning the form below. To ensure that your comments are included in the information sent to the Board of Adjustments, please return the completed form below by **October 1, 2025**.

If you have any questions regarding this matter, please contact:

Craig Foshee
Rockwall Building Inspection Dept.
385 S. Goliad Street
Rockwall, TX 75087

Email: cfoshee@rockwall.com
Phone: (972) 772-6774

(Please return portion of form below the dotted line)

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

I am opposed to the request for the reasons listed below



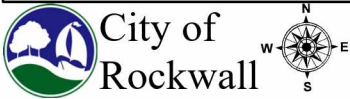


MAIL OUT AREA

ROCKWALL
LAKE ESTATES

Eva Pl

Diana



City of
Rockwall

Date: 9/11/2025

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.

370 Eva Place

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

I am opposed to the request for the reasons listed below

Im in Favor of my neighbor raising his home because it will keep his place safe from flooding

385 South Goliad

Rockwall, Texas 75087

(972) 772-6748

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

I am opposed to the request for the reasons listed below

Since all the property "North" of Eva Place is "Flood Zone" property, it was "Never" to be developed for housing by the original owners/management! I own property on the South side of Eva Place & do not want to view houses/trailers on pilings!! All property south should have a beautiful view of the lake with a grassy area down to the water for "Everyone" to be able to access the lake! This area was to be a "parks and recreation area" for everyone! Whatever company purchased the vacant land was

~~385 South Goliad~~

~~Rockwall, Texas 75087~~

~~(972) 772-6748~~

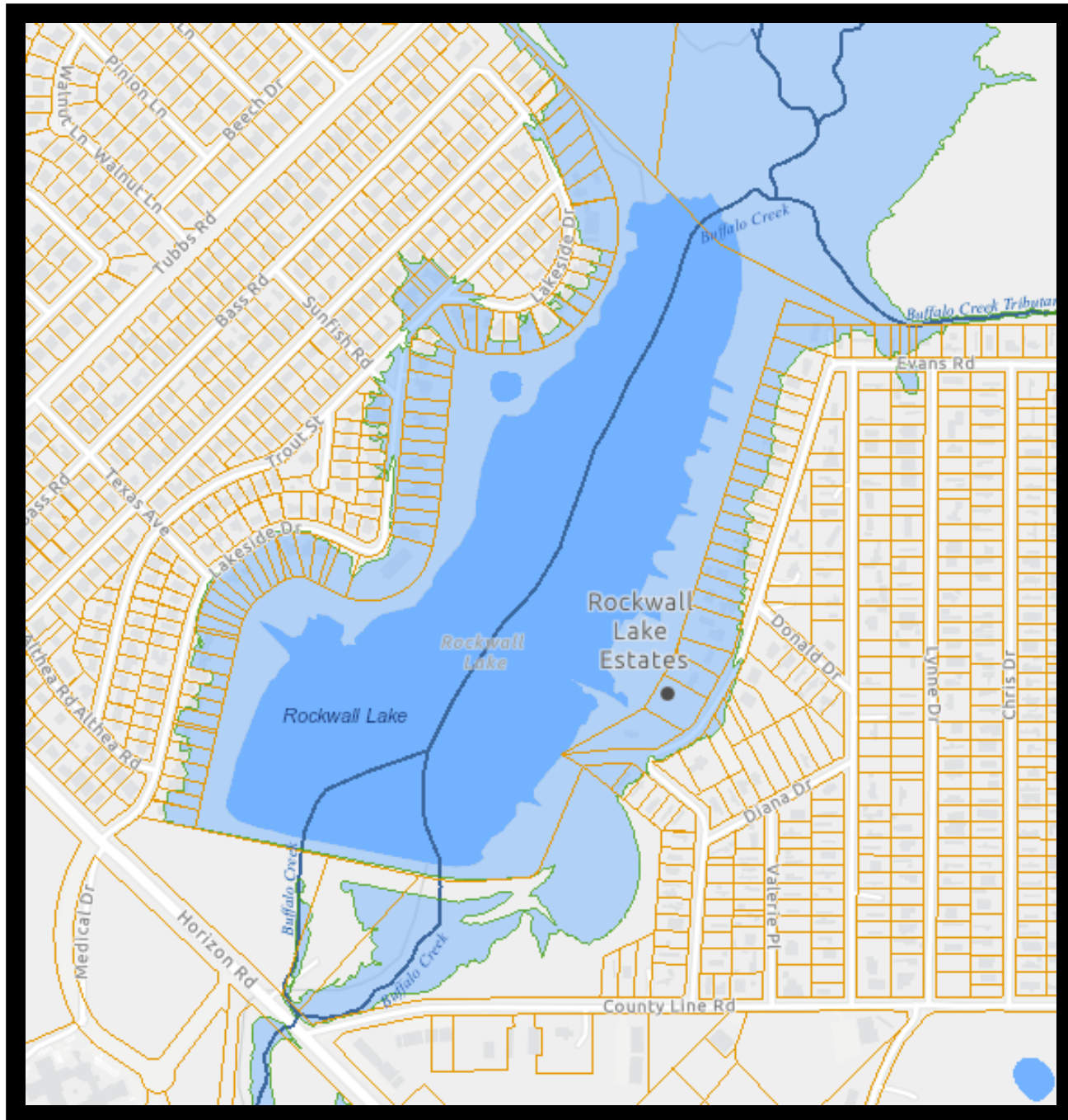
taking advantage of the buyers selling property in a flood zone. Therefore, I oppose this request. Thank you for allowing property owners to vote on this!

Doana Bice Hilgenfeld - 305 Eva Place

Area in Blue is the flood Plain



Area in Blue is the flood Plain



7509 PENNRIDGE CIRCLE
ROWLETT, TX 75088

SURVEY PLAT

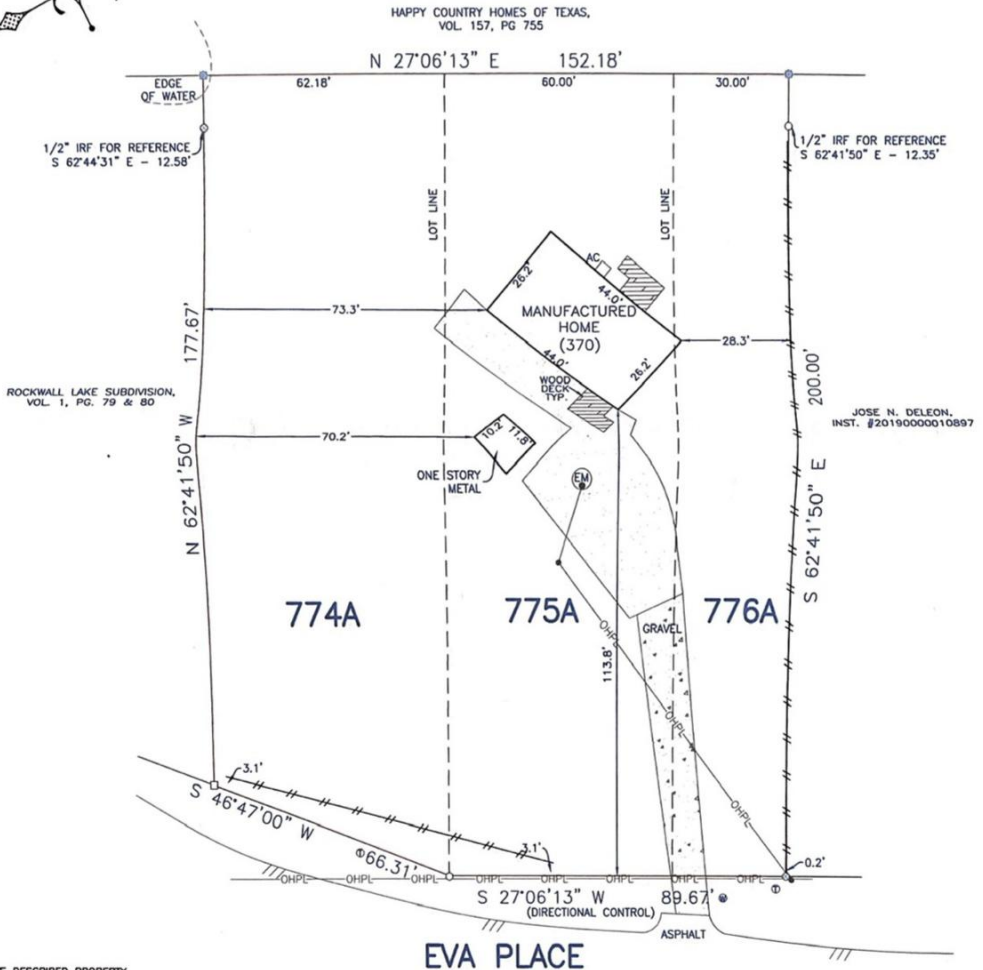


FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 370 EVA PLACE, in the city of ROCKWALL, Texas.

Being Lots 774-A, 775-A, and one half of 776-A, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an addition in Rockwall County, Texas, according to the map or plat thereof, recorded in Cabinet A, Slide 79 and 80, Plat Records, Rockwall County, Texas.



THE ABOVE DESCRIBED PROPERTY DOES LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48397C0040L, DATED 09/26/2008. PROPERTY IS ENTIRELY IN ZONE A

BEARINGS ARE BASED ON NAD 83 DATUM, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE.

PROPERTY SUBJECT TO EASEMENTS & RESTRICTIONS
Volume 97, Page 153; Volume 158, Page 955;
Volume 264, Page 947; Volume 641, Page 218;
Volume 51, Page 118; Volume 55, Page 164,
Volume 59, Page 519

ACCEPTED BY: _____

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY ALLEGIANCE TITLE

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
Scale: 1" = 30'
Date: 04/05/21
G. F. No.: 21118387-ALMK
Job no.: 202102597
Drawn by: JM

LEGEND	
WOOD FENCE	--- TEST
CHAIN LINK	-O- EASEMENTS
IRON FENCE	--- BOUNDARY LINE
WIRE FENCE	--- RESERVATION
CM	- CONTROLLING SURVEYOR
MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	
1/2" TELEPH-CAPPED IRON ROD SET	
1/2" IRON ROD FOUND	
3/4" IRON ROD FOUND	
5/8" IRON ROD FOUND	
POINT FOR CORNER	
○	- CABLE
○	- CLEAN OUT
○	- GAS METER
○	- FIRE HYDRANT
○	- LIGHT POLE
○	- MANHOLE
○	- UNLESS OTHERWISE NOTED
○	- ELECTRIC
○	- POOL EQUIP
○	- POWER POLE
○	- TELEPHONE
○	- WATER METER
○	- WATER METER



Allegiance TITLE COMPANY



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
 This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at 370 EVA PLACE, in the City of ROCKWALL, ROCKWALL County, Texas.

STATE OF TEXAS:
 COUNTY OF ROCKWALL:

BEING all of Lots 774A and 775A, and a part of Lot 776A, Rockwall Lake Properties Development, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, Plat Records, Rockwall County, Texas (P.R.R.C.T.), being a tract of land described in deed to Noha Dawit, recorded under Instrument No. 20240000018619, Deed Records, Rockwall County, Texas (D.R.R.C.T.), and being more particularly described by the following metes and bounds description:

BEGINNING at a ½ inch iron pipe found in the Northwest line of Eva Place, at the East corner of a tract of Lot 773A of said Rockwall Lake Properties Development, being the South corner of herein described tract of land;

THENCE North 62 deg. 41 min. 50 sec. West, passing at a distance of 165.10 feet a ½ inch iron rod found on line for reference and continuing for a total distance of 177.67 feet to a point in the Southeast line of a tract of land described in deed to Happy Country Homes of Texas, recorded in volume 157, Page 755 (D.R.R.C.T.), at the North corner of said Lot 773A;

THENCE North 27 deg. 06 min. 13 sec. East, a distance of 152.18 feet to a point at the West corner of a tract of land described in deed to America Alejandra Fuerte a/k/a America A. Fuerte, recorded under Instrument No. 20220000005945 (D.R.R.C.T.);

THENCE South 62 deg. 41 min. 50 sec. East, passing at a distance of 12.35 feet a ½ inch iron rod found on line for reference and continuing for a total distance of 200.00 feet to a ½ inch yellow-capped iron rod stamped "Burns Surveying" set in the Northwest line of said Eva Place, at the South corner of said Fuerte tract;

THENCE South 27 deg. 06 min. 13 sec. West, a distance of 89.67 feet to a 5/8 inch iron rod found for corner;

THENCE South 46 deg. 47 min. 00 sec. West, a distance of 66.31 feet to the PLACE OF BEGINNING and containing 29,737.58 square feet or 0.683 of an acre of land.

ELEVATION DATUM PER NAVD88.

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated.

TITLE AND ABSTRACTING WORK FURNISHED BY NOHA DAWIT
 THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 30'

Date: 06-12-2025

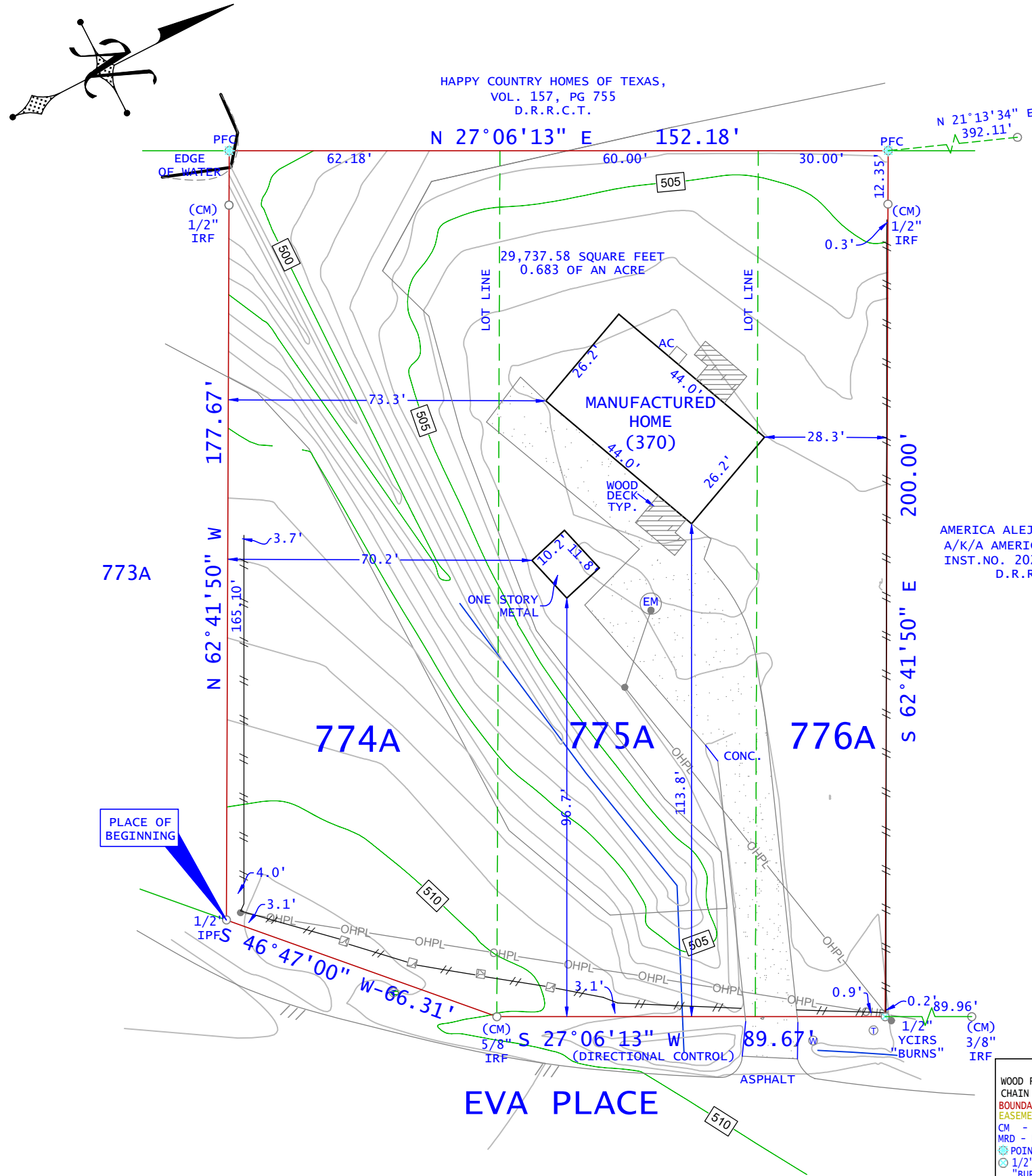
G. F. No.: N/A

Job no.: 202102597-01

Drawn by: BM

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR NOHA DAWIT



AMERICA ALEJANDRA FUERTE
 A/K/A AMERICA A. FUERTE
 INST.NO. 20220000005945
 D.R.R.C.T.

LEGEND

WOOD FENCE	///	IRON FENCE	///
CHAIN LINK	-o-	WIRE FENCE	-x-
BOUNDARY LINE	—		
EASEMENT/SETBACK	—		
CM - CONTROLLING MONUMENT		EM - ELECTRIC METER	
MRD - MONUMENT OF RECORD DIGNITY		E - ELECTRIC	
POINT FOR CORNER	●	PE - POOL EQUIP	
1/2" IRON ROD WITH CAP STAMPED "BURNS SURVEYING" SET	○	G - GAS METER	
X-CUT FOUND OR SET (AS NOTED)	✕	F - FIRE HYDRANT	
FENCE POST FOR CORNER	□	L - LIGHT POLE	
MONUMENT FOUND	○	M - MANHOLE	
C - CABLE	⊖	W - WATER METER	
CO - CLEAN OUT	⊕	WV - WATER VALVE	
G - GAS METER	⊙		
F - FIRE HYDRANT	⊕		
L - LIGHT POLE	⊖		
M - MANHOLE	⊙		
(UNLESS OTHERWISE NOTED)			



CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

**ORDER OF THE BOARD OF ADJUSTMENT
OF THE CITY OF ROCKWALL, TEXAS**

ORDER NO. BOA 2025-3-V

WHEREAS, the Board of Adjustment held a public hearing on the 9th day of October, 2025 consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

WHEREAS, the applicant requested a variance from the said code of ordinance to allow the expansion of a non-conforming structure to elevate the existing manufactured home above the Base Flood Elevation

WHEREAS, after due consideration and discussion it appears that the granting of such variances would not cause an adverse effect on the surrounding properties and would not be contrary to the public interest.

**NOW, THEREFORE BE IT ORDERED BY THE BOARD OF
ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS:**

Section 1. That all of the above premises are found and determined to be true and correct and are incorporated into the body of this order as if copied in their entirety.

Section 2. That the request from the applicant for this Board to grant a variance from Rockwall Code of ordinance, be and in the same is hereby granted so as to allow an Expansion of a Non-Conforming Structure. to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0 688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place

Section 3. That the Building Official of the City is hereby authorized and directed to issue the appropriate permits, if any, for the above described property under the terms and conditions of this Order.

Section 4. That this Order was passed by the concurring vote of at least four (4) members of the Board of Adjustment and is effective as of the 9th day of October, 2025.

ATTEST:


Secretary

APPROVED:


Chairman

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2025

PROJECT NUMBER: Z2025-066
PROJECT NAME: Amendment to PD-78
SITE ADDRESS/LOCATIONS:
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/22/2025	Approved w/ Comments

10/22/2025: Z2025-066; Amendment to Planned Development District 78 (PD-78)
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Zoning Change amending Planned Development District 78 (PD-78) [Ordinance No. 20-27] to change the Garage Orientation requirements for a 316.315-acre tract of land identified as: [1] Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, [2] Tract 2 of the R. K. Brisco Survey, Abstract No. 16, and [3] Lots 1-9, Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-10, Block D; and Lot 1, Block E, Discovery Lakes, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, and generally located at the northeast corner of SH-276 and Rochell Road.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2025-066) in the lower right-hand corner of all pages on future submittals.

M.4 Please review the attached draft ordinance prior to the October 28, 2025 Planning & Zoning Commission Work Session meeting, and provide staff with your markups by November 4, 2025. Please carefully read through this document as staff has incorporated changes from what was originally submitted.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 11, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.6 The projected City Council meeting dates for this case will be November 17, 2025 (1st Reading) and December 1, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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BUILDING	Craig Foshee	10/23/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved w/ Comments
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS None

SUBDIVISION Discovery Lakes and Discovery Lakes Phase I

LOT

BLOCK

GENERAL LOCATION 316.315 Acre tract near the NE corner of SH 276 and Rochelle Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-78

CURRENT USE Single Family Residential /Commercial

PROPOSED ZONING Amend PD-78, ordinance no. 20-27, specifically Garages, see Exhibit A

PROPOSED USE Single Family Residential /Commercial

ACREAGE 316.315 acres

LOTS [CURRENT]

31 existing lots

LOTS [PROPOSED]

428 (as stated in PD-78)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Discovery Lakes, LLC & Discovery Lakes Phase I, LLC

APPLICANT Alyson DiBlasi

CONTACT PERSON Alyson DiBlasi (See Exhibit B)

CONTACT PERSON Alyson DiBlasi

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alyson DiBlasi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 4,944.73 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

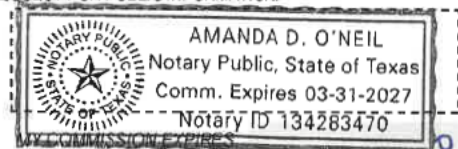
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 1st DAY OF October, 2025

OWNER'S SIGNATURE

A. DiBlasi

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Amanda D. O'Neil



03-31-2

**LIMITED LIABILITY COMPANY
AUTHORIZATION**

Discovery Lakes Phase I, LLC

The undersigned being the manager of Discovery Lakes Phase I, LLC, a Texas limited liability company (the "LLC"), hereby authorizes and appoints Alyson DiBlasi to act as an authorized representative of the LLC in connection with the sale of any of the platted lots in the Discovery Lakes Phase I, LLC, City of Rockwall, Rockwall County, Texas (the "Subdivision").

Such authorization and appointment to include, but not to be limited to, the authority to execute and deliver in the name of and on behalf of the LLC, a purchase and sale contract, together with all documents, certificates, affidavits, agreements, deeds, consents, receipts, waivers, notices, escrow funds, escrow agreements and closing statements, as an authorized representative of the LLC, in connection with the sale of any of the platted lots in the Subdivision.

The undersigned on behalf of the LLC, hereby ratifies, approves and confirms any actions taken by Alyson DiBlasi to negotiate, contract and sell any of the platted lots in the Subdivision.

EXECUTED AND DELIVERED this 5th day of MAY, 2023.

DISCOVERY LAKES PHASE I, LLC

A Texas limited liability company

By: 

Alberto Dal Cin, Manager

Discovery Lakes, LLC
Discovery Lakes Phase I, LLC
15400 Knoll Trail Dr.
Ste 230
Dallas, TX 75248

September 29, 2025

City of Rockwall
Attn: Ryan Miller, Director of Planning and Zoning
385 S. Goliad Street
Rockwall, TX 75087

To Whom It May Concern:

Re: Letter of Acknowledgement re: Amendment of PD-078

I, Qaiser Ali Kahn, as owner of Lot 1 Block A, 1645 Canyon Lake Rd., Rockwall County, TX, 75034, do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. I understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.

Sincerely,
Qaiser Ali Kahn

Signed by:


0422022000014141...

Discovery Lakes, LLC
Discovery Lakes Phase I, LLC
15400 Knoll Trail Dr.
Ste 230
Dallas, TX 75248

September 29, 2025

City of Rockwall
Attn: Ryan Miller, Director of Planning and Zoning
385 S. Goliad Street
Rockwall, TX 75087

To Whom It May Concern:

Re: Letter of Acknowledgement re: Amendment of PD-078

We, ADETOKUNBO DOUGLAS AND OSADEBAWMEN DOUGLAS, as owners of Lot 3 Block A, 1633 Canyon Lake Rd., Rockwall County, TX, 75034, do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. We understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.

Sincerely,

ADETOKUNBO DOUGLAS



OSADEBAWMEN DOUGLAS



Discovery Lakes, LLC
Discovery Lakes Phase I, LLC

15400 Knoll Trail Dr.
Ste 230
Dallas, TX 75248

September 29, 2025

City of Rockwall
Attn: Ryan Miller, Director of Planning and Zoning
385 S. Goliad Street
Rockwall, TX 75087

To Whom It May Concern:

Re: Letter of Acknowledgement re: Amendment of PD-078

We, HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES, as owners of Lot 3 Block C, 1515 Twin Lakes Blvd; Lot 1 Block B, 1644 Canyon Lake Dr.; Lot 3 Block B, 4601 Bear Lake Dr.; and Lot 2 Block C, 1509 Twin Lakes Blvd, Rockwall County, TX, 75034, do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. We understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.

Sincerely,

HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES,
a Texas limited liability company

By: 
Todd Miller, President

Date of Execution: 9/29/25

Discovery Lakes, LLC
Discovery Lakes Phase I, LLC
15400 Knoll Trail Dr.
Ste 230
Dallas, TX 75248

September 29, 2025

City of Rockwall
Attn: Ryan Miller, Director of Planning and Zoning
385 S. Goliad Street
Rockwall, TX 75087

To Whom It May Concern:

Re: Letter of Acknowledgement re: Amendment of PD-078

Double Cross 276, LLC, as owners of the 9.129-acre tract of land more particularly described in Exhibit "A", do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. We understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.

Sincerely,
Double Cross 276, LLC
a Texas limited liability company

By:  _____
DocuSigned by:
60D6739447884C3...

Printed Name: Kenny Huff

Title: Mr

Discovery Lakes, LLC
Discovery Lakes Phase I, LLC
15400 Knoll Trail Dr.
Ste 230
Dallas, TX 75248

September 29, 2025

City of Rockwall
Attn: Ryan Miller, Director of Planning and Zoning
385 S. Goliad Street
Rockwall, TX 75087

To Whom It May Concern:

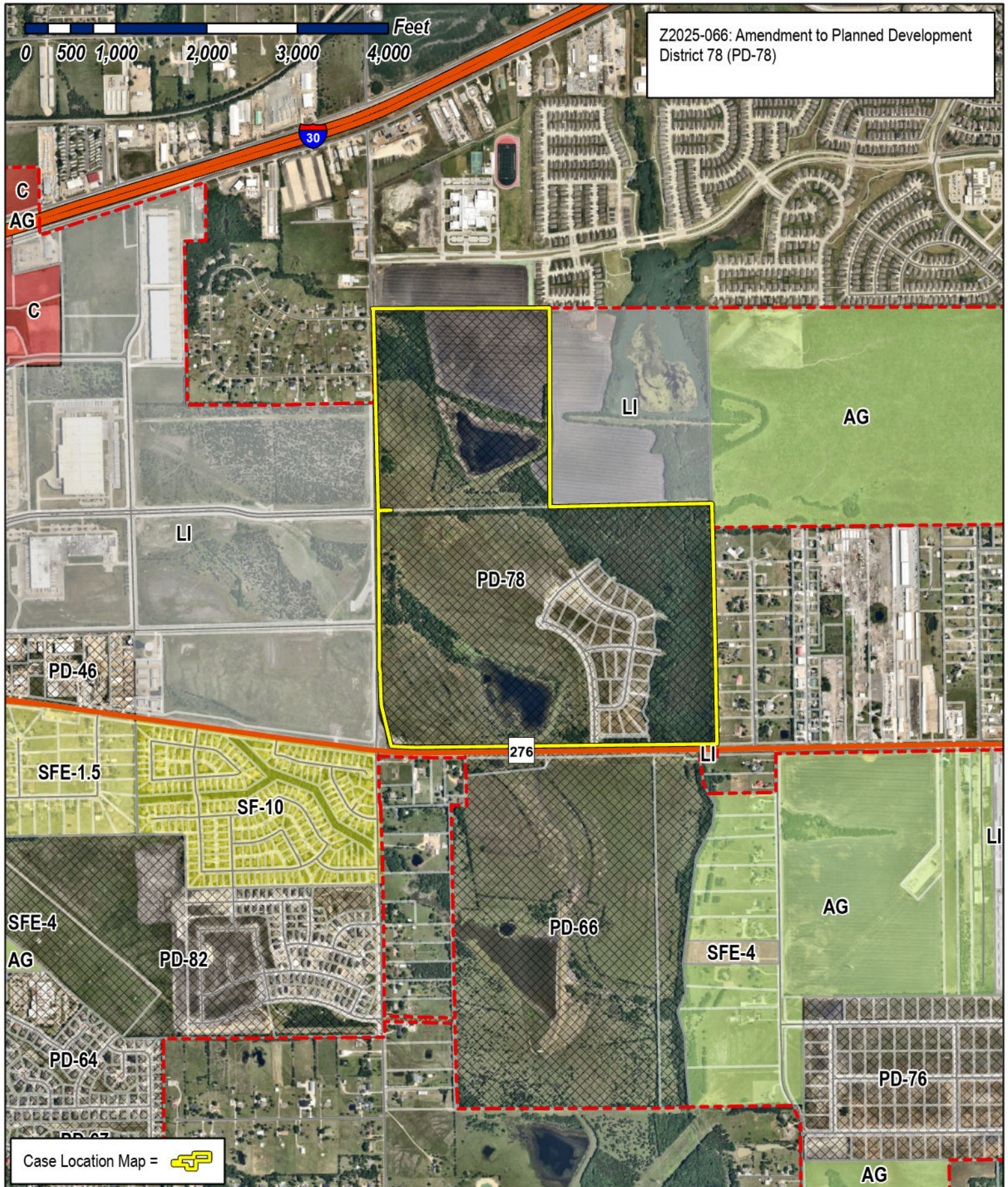
Re: Letter of Acknowledgement re: Amendment of PD-078

I, David Garcia, as owner of Lot 2 Block A, 1639 Canyon Lake Rd., Rockwall County, TX, 75034, do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. I understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.


Sincerely,

David Garcia





Z2025-066: Amendment to Planned Development District 78 (PD-78)

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

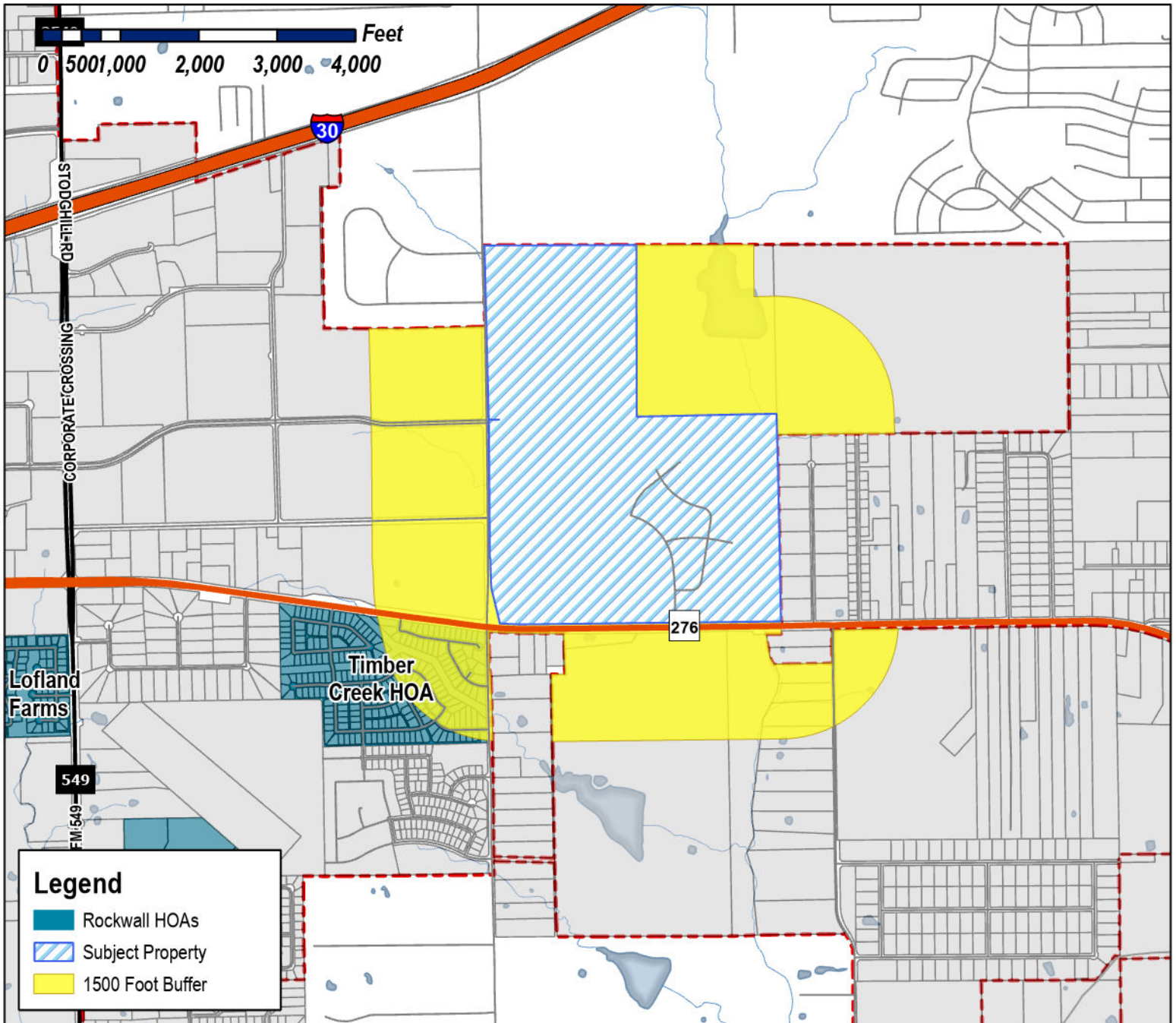




City of Rockwall

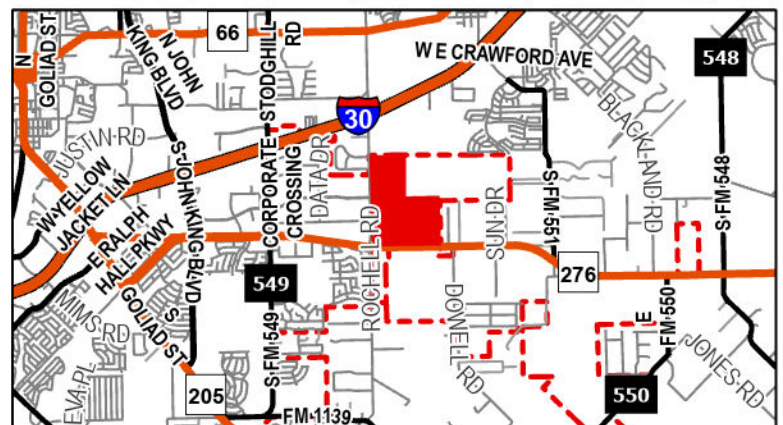
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2025-066
Case Name: Amendment to PD-78
Case Type: Zoning
Zoning: Planned Development District 78 (PD-78)
Case Address: Discovery Lakes Subdivision

Date Saved: 10/13/2025
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Zavala, Melanie
Sent: Wednesday, October 22, 2025 12:38 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2025-066]
Attachments: Public Notice (10.20.2025).pdf; HOA Map (10.13.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-066 : Amendment to PD-78

Hold a public hearing to discuss and consider a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes, Phase 1, LLC for the approval of a *Zoning Change* amending Planned Development District 78 (PD-78) [*Ordinance No. 20-27*] to change the *Garage Orientation* requirements for a 316.315-acre tract of land identified as: [1] Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, [2] Tract 2 of the R. K. Brisco Survey, Abstract No. 16, and [3] Lots 1-9, Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-10, Block D; and Lot 1, Block E, Discovery Lakes, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and Rochell Road, and take any action necessary.

Thank you,

Melanie Zavala

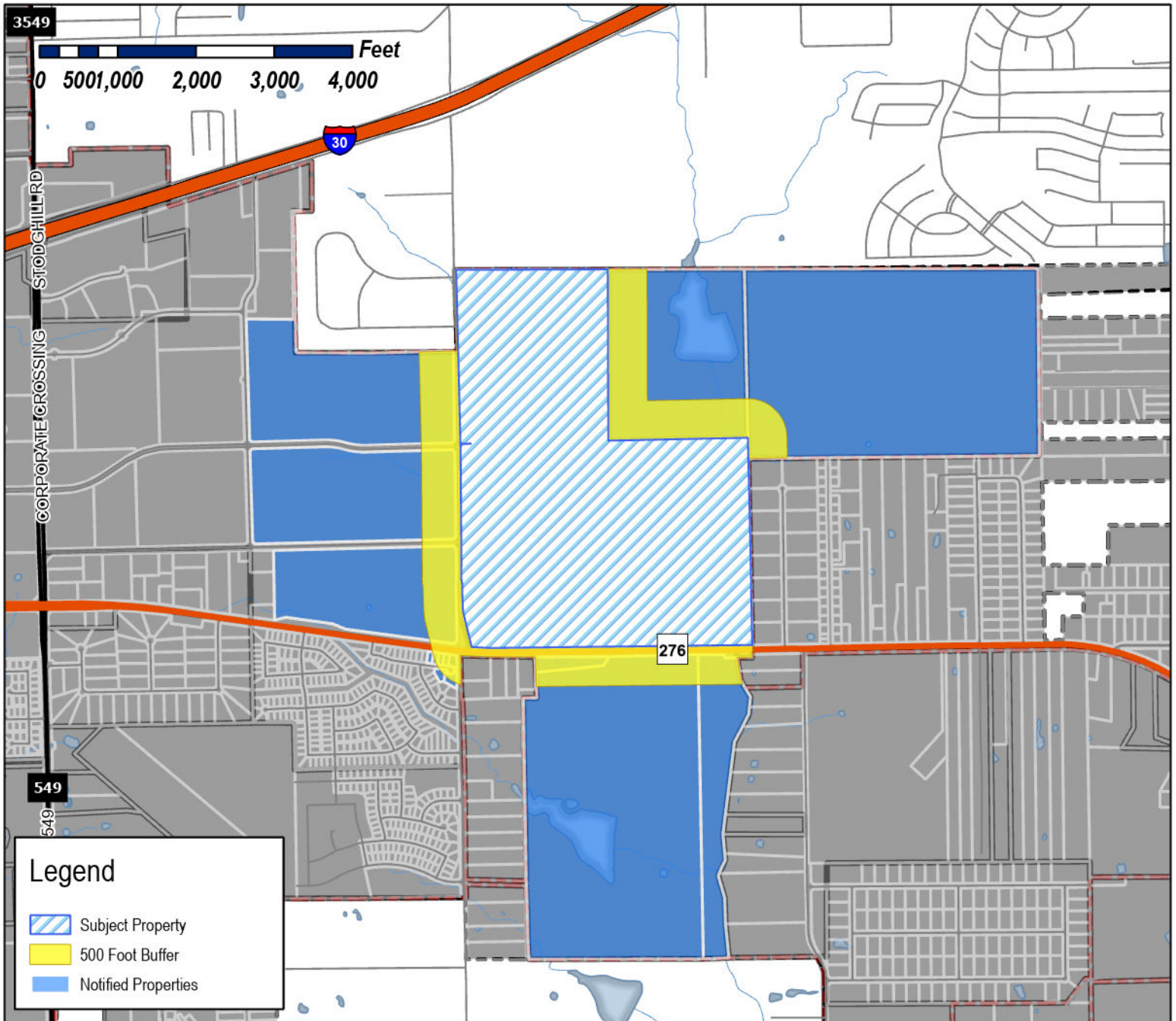
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

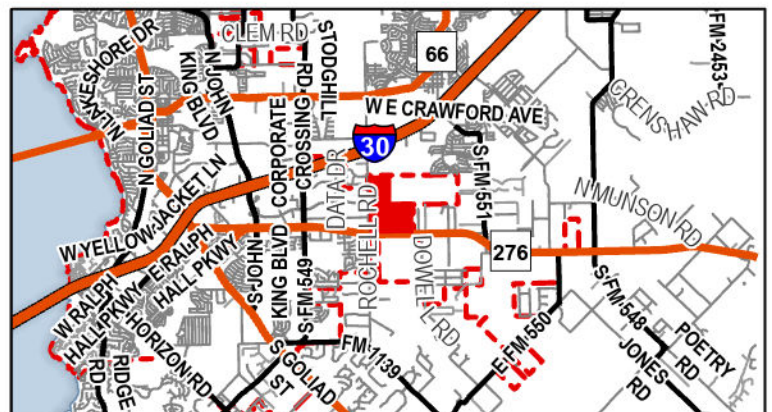
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Case Number: Z2025-066
Case Name: Amendment to PD-78
Case Type: Zoning
Zoning: Planned Development District 78 (PD-78) District
Case Address: Discovery Lakes Subdivision

Date Saved: 10/13/2025

For Questions on this Case Call: (972) 771-7745



GARCIA DAVID VANN
112 JEREMY DRIVE
FATE, TX 75189

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

RESIDENT
1500 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1501 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1503 TWIN LAKES BLVD
ROCKWALL, TX 75032

RESIDENT
1506 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1507 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1509 TWIN LAKES BLVD
ROCKWALL, TX 75032

RESIDENT
1512 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1513 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1515 TWIN LAKES BLVD
ROCKWALL, TX 75032

RESIDENT
1518 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1519 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1521 TWIN LAKES BLVD
ROCKWALL, TX 75032

RESIDENT
1524 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1525 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1531 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1537 SALT LAKE DR
ROCKWALL, TX 75032

DISCOVERY LAKES PHASE I LLC
15400 Knoll Trail Dr Ste 230
Dallas, TX 75248

RESIDENT
1543 SALT LAKE DR
ROCKWALL, TX 75032

RESIDENT
1603 CANYON LAKE RD
ROCKWALL, TX 75032

RESIDENT
1609 CANYON LAKE RD
ROCKWALL, TX 75032

RESIDENT
1615 CANYON LAKE RD
ROCKWALL, TX 75032

RESIDENT
1621 CANYON LAKE RD
ROCKWALL, TX 75032

RESIDENT
1627 CANYON LAKE RD
ROCKWALL, TX 75032

RESIDENT
1633 CANYON LAKE RD
ROCKWALL, TX 75032

RESIDENT
1634 CANYON LAKE RD
ROCKWALL, TX 75032

RESIDENT
1639 CANYON LAKE RD
ROCKWALL, TX 75032

RESIDENT
1644 CANYON LAKE RD
ROCKWALL, TX 75032

RESIDENT
1645 CANYON LAKE RD
ROCKWALL, TX 75032

SOUTH ROCKWALL HOLDINGS LP
C/O AD VALROEM TAX DEPT
2101 Cedar Springs Rd Ste 600
Dallas, TX 75201

ROCKWALL FUND I LLC
212 S Palm Ave Fl 2
Alhambra, CA 91801

HARLAN PROPERTIES INC
2404 Texas Dr Ste 103
Irving, TX 75062

HARLAN PROPERTIES INC
2404 Texas Dr Ste 103
Irving, TX 75062

HARLAN PROPERTIES INC
2404 Texas Dr Ste 103
Irving, TX 75062

HORTON CAPITAL PROPERTIES LLC
3120 SABRE DR STE 240
SOUTHLAKE, TX 76092

HORTON CAPITAL PROPERTIES LLC
3120 SABRE DR STE 240
SOUTHLAKE, TX 76092

HORTON CAPITAL PROPERTIES, LLC
3120 SABRE DR STE 240
SOUTHLAKE, TX 76092

HORTON CAPITAL PROPERTIES LLC
3120 SABRE DR STE 240
SOUTHLAKE, TX 76092

PACIFIC PHOENIX TRUST OF 2013
WALTER E & LINDA H MOELLER TRUSTEES
3330 TERRA GRANADA DRIVE #2A
WALNUT CREEK, CA 94595

DOUGLAS ADETOKUNBO AND OSADEBAWMEN
3810 Harlan Dr
Sachse, TX 75048

RESIDENT
3884 PINEBLUFF LN
ROCKWALL, TX 75032

RESIDENT
4010 PINEBLUFF LN
ROCKWALL, TX 75032

BARSOUM LINDSEY NICOLE
4010 PINEBLUFF LN
ROCKWALL, TX 75032

NWIGWE CHARLES & VANIECY
4015 PINEBLUFF LN
ROCKWALL, TX 75032

FIELDS RUTH A
4016 PINEBLUFF LN
ROCKWALL, TX 75032

RESIDENT
4022 PINEBLUFF LN
ROCKWALL, TX 75032

RESIDENT
4030 PINEBLUFF LN
ROCKWALL, TX 75032

TAURONE ANTHONY LEVI AND ALEXANDRIA
MAE
4035 PINEBLUFF LANE
ROCKWALL, TX 75032

RESIDENT
4601 BEAR LAKE DR
ROCKWALL, TX 75032

RESIDENT
4602 BEAR LAKE DR
ROCKWALL, TX 75032

RESIDENT
4607 BEAR LAKE DR
ROCKWALL, TX 75032

RESIDENT
4608 BEAR LAKE DR
ROCKWALL, TX 75032

RESIDENT
4613 BEAR LAKE DR
ROCKWALL, TX 75032

KAHN KAISER ALI
5905 CHURCHILL MEADOWS BLVD
MISSISSAUGU, ONTARIO 0

YAMASA CO LTD., A JAPANESE CORPORATION
PO BOX 4090
SCOTTSDALE, AZ 85261

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-066: Amendment to PD-78

Hold a public hearing to discuss and consider a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes, Phase 1, LLC for the approval of a Zoning Change amending Planned Development District 78 (PD-78) [Ordinance No. 20-27] to change the Garage Orientation requirements for a 316.315-acre tract of land identified as: [1] Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, [2] Tract 2 of the R. K. Brisco Survey, Abstract No. 16, and [3] Lots 1-9, Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-10, Block D; and Lot 1, Block E, Discovery Lakes, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and Rochell Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-066: Amendment to PD-78

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

EXHIBIT A

Exhibit 'D'

Page 11, Table 2 shall be amended to include in Garage Orientation, **Side-Entry**, for Lot Types A

Page 12, (c) (3), **Side-Entry** has been added as follows:

(3) Garage Orientation. Garages shall be provided as stipulated by Table 2: Lot Dimensional Requirements. Garages permitted for front entry maybe oriented toward the street in a Flat Front Entry format; however, the front facade of the garage must be situated a minimum of 25-feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. **Side Entry**, Swing, Traditional Swing or J-Swing garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the Swing configuration. **Side Entry garages are permitted on Lot Type A.**

Exhibit 'D':
Permitted Land Uses and Development Standards

District Development Standards, of the Unified Development Code. In addition, all residential development shall adhere to the following standards:

- (a) **Lot Composition and Layout.** The lot layout and composition of the *Subject Property* shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1* below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below; however, in no case shall the proposed development exceed 428 units.

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%
<i>Maximum Permitted Units:</i>			428	100.00%

The allocation of single-family dwellings among lot types may deviate from *Table 1* provided that the proposed lot composition meets the following criteria:

- (1) The total number of lots does not exceed 428 units; and,
 - (2) The average lot size for the total development is not less than 9,700 SF (*i.e. total square footage of all lots/total number of lots*); and,
 - (3) Lot Type "A" shall not be decrease below 40 lots; and,
 - (4) Lot Type "B" shall not be decreased below 38% of the total 428 lots; and,
 - (5) Lot Type "C" shall not be increased beyond 55% of the total 428 lots.
- (b) **Density and Dimensional Requirements.** The maximum permissible density for the *Subject Property* shall not exceed 1.40 dwelling units per gross acre of land; however, in no case should the proposed development exceed 428 units. All lots shall conform to the standards depicted in *Table 2* below and generally conform to *Exhibit 'C'* of this ordinance.

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A	B	C
Minimum Lot Width ⁽¹⁾ & ⁽⁴⁾ & ⁽⁷⁾	80'	70'	60'
Minimum Lot Depth	200'	110'	110'
Minimum Lot Area	32,670 SF	7,700 SF	6,600 SF
Minimum Front Yard Setback ⁽²⁾ , ⁽⁶⁾ , & ⁽⁸⁾	25'	20'	20'
Minimum Side Yard Setback	10'	5'	5'
Minimum Side Yard Setback (Adjacent to a Street) ⁽²⁾	20'	15'	15'
Minimum Length of Driveway Pavement	25'	20'	20'
Maximum Height ⁽³⁾	36'	36'	36'
Minimum Rear Yard Setback ⁽⁴⁾	20'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	3,200 SF	2,250 SF	2,000 SF
Garage Orientation ⁽⁵⁾	Side-Entry, J-Swing or Flat Front	J-Swing or Flat Front	J-Swing or Flat Front
Maximum Number of Front Entry Garages Permitted	17	58	137
Maximum Lot Coverage	65%	65%	65%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-family home.

Exhibit 'D':
Permitted Land Uses and Development Standards

- 4. As measured from the rear yard property line.
- 5. Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.
- 6. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property that increases the Front Yard Building Setback to 20-feet; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks (Adjacent to a Street) and shall not encroach into public right-of-way [a Sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces].
- 7. All lots with a *J-Swing* or *Traditional Swing* driveway require a minimum of a 65-foot lot width.
- 8. The minimum front yard setback for properties that have a *Flat Front Entry* garage format shall be 25-feet.

(c) *Building Standards.* All development shall adhere to the following building standards:

- (1) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable – to be determined by staff) shall be permitted to be used to meet up to 50% of the masonry requirement.
- (2) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch. *Type 'A'* lots may have a variable pitch to the roofs that may deviate from these specific standards when it is determined by staff to serve a particular architectural theme.
- (3) *Garage Orientation.* Garages shall be provided as stipulated by *Table 2: Lot Dimensional Requirements*. Garages permitted for front entry maybe oriented toward the street in a *Flat Front Entry* format; however, the front façade of the garage must be situated a minimum of 25-feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. *Side Entry, Swing, Traditional Swing* or *J-Swing* garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the *Swing* configuration. **Side-Entry Garages are permitted on Lot Type A.**

(ci) *Anti-Monotony Restrictions.* The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see the illustration on the following page).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	80' x 200'	(1), (2), (3), (5)
B	70' x 110'	(1), (2), (3), (4)
C	60' x 110'	(1), (2), (3), (4)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent

Exhibit 'B'

Discovery Lakes Lot Owner Information:

Lot	Block	Address	PURCHASER
1	A	1645 Canyon Lake Dr.	QAISER ALI KAHN
2	A	1639 Canyon Lake Dr.	DAVID GARCIA
3	A	1633 Canyon Lake Dr.	ADETOKUNBO DOUGLAS AND OSADEBAWMEN DOUGLAS
1	B	1644 Canyon Lake Dr.	HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES
3	B	4601 Bear Lake Dr.	HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES
2	C	1509 Twin Lakes Blvd.	HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES
3	C	1515 Twin Lakes Blvd.	HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES
Commercial Tract		9.129-acre tract of land	DOUBLE CROSS 276, LLC

CITY OF ROCKWALL

ORDINANCE NO. 20-27

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 78 (PD-78) [*ORDINANCE NO. 15-24*] AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF CHANGING THE CONCEPT PLAN AND DEVELOPMENT STANDARDS FOR A 316.315-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1 OF THE M. E. HAWKINS SURVEY, ABSTRACT NO. 100 AND TRACT 2 OF THE R. K. BRISCO SURVEY, ABSTRACT NO. 16, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Chris Cuny of Teague, Nall & Perkins on behalf of Nick DiGuseppe of Discovery Lakes, LLC for the approval of an amendment to Planned Development District 78 (PD-78) [*Ordinance No. 15-24*] for the purpose of changing the concept plan and development standards for a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 78 (PD-78) and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the Planned Development Concept Plan, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, shall be prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* of this ordinance, and that the *Master Parks and Open Space Plan* shall be considered for approval by the City Council following a recommendation by the *Parks and Recreation Board*.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Open Space Master Plan
 - (2) Master Plat
 - (3) PD Development Plan (*Required for Retail Areas Only*)
 - (4) PD Site Plan
 - (5) Preliminary Plat
 - (6) Final Plat
- (c) A *PD Development Plan* must be approved for the area designated on the *Planned Development Concept Plan* as *Retail* prior to submittal of a *PD Site Plan* application and/or preliminary plat application. No *Master Plat* is required for the area designated on the *Concept Plan* as *Retail*. A traffic impact analysis for the retail tract shall be submitted with the *PD Development Plan* to determine the extent and timing of any recommended facilities and/or improvements to the surrounding roadway network. The traffic impact analysis may be updated with each *PD Site Plan* for each retail development.
- (d) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Preliminary Plat Application* for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *PD Site Plan Application* for the development.

- (f) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

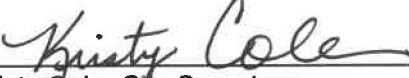
SECTION 12. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF AUGUST, 2020.**



Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: July 20, 2020

2nd Reading: August 3, 2020

Exhibit 'A':
Legal Description

Field notes for a 316.315-acre (13,778,691 square foot) tract of land situated in the M. E. Hawkins Survey, Abstract No. 100, and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County, Texas, and being all of that certain called 308.52-acre tract of land described in a Special Warranty Deed to 308 ON 276, L.P., as recorded in Volume 03662, Page 00315, of the Office Public Records of Rockwall County, Texas (O.P.R.R.C.T.) with said 316.315-acre (13, 778,691 square feet) tract of land being more particularly described by metes and bounds as follows:

BEGINNING a railroad spike set in asphalt marking the northwest corner of said 308 on 276, L.P. tract and the common southwest corner of that certain called 21. 935 acre tract of land described as Tract One in a Warranty Deed to Rockwall Fund I, L.L.C., as recorded in Volume 1 110, Page 190, of the Deed Records of Rockwall County, Texas (D.R.R.C.T.) , said point being in the approximate center of Rochell Road, a county road with an unspecified right-of- way (R. O. W.) width;

THENCE North 89 degrees 00 minutes 24 seconds East (South 89 degrees 12 minutes 02 seconds East - deed call), along the common northerly line of said 308 ON 276, L.P. tract and the common southerly line of said Tract One, passing at a distance of 30. 00 feet, a 5/8 inch iron rod set with a yellow plastic cap stamped "THE WALLACE GROUP " ("cap ") for reference, continuing along said common line, passing at a distance of 1,799. 04-feet, a ½-inch iron rod found marking the southeast corner of said Tract One, being common with the south west corner of that certain called 59.71-acre tract of land described in a Special Warranty Deed to Fate I- 30, L.P., as recorded in Volume 03542, Page 00039, O.P.R.R.C.T., continuing along the common northerly line of said 308 on 276, L.P. tract and the southerly line of said Fate I-30, L.P. tract, a total distance of 1,966.04 feet (1,902 .80 feet - deed call) to a 1/ 2 inch iron rod found marking the common most northerly northeast corner of said 308 on 276, L.P. tract and the north west corner of that certain called 85.479 acre tract of land described as Tract Two in the aforementioned Warranty Deed to Rockwall Fund I, L.L.C., as recorded in Volume 1 110, Page 190, O.R.R.C.T.;

THENCE South 01 degrees 59 minutes 29 seconds East (South 00 degrees 08 minutes 06 seconds West - deed call), along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said Tract Two, a distance of 2,204.26-feet (2,166.70-feet - deed call) to a ½ inch iron rod found marking an ell corner of said 308 ON 276, L.P. tract and the southwest corner of said Tract Two;

THENCE North 87 degrees 20 minutes 20 seconds East (North 89 degrees 12 minutes 02 seconds East - deed call), continuing along the common northerly line of said 308 on 276, L.P. tract and the southerly line said Tract Two, a distance of 1,691. 90 feet (1,782.53 feet - deed call) to a 5/8-inch iron rod set with "cap" marking the common most easterly northeast corner of said 308 on 276, L.P. tract and the southeast corner of said Tract Two, from which a ½-inch iron rod found bears North 87 degrees 20 minutes 20 seconds East at 10. 49 feet, said 5/8-inch iron rod set being on the west line of that certain called 212.25-acre tract of land described in a Special Warranty Deed to South Rock wall Holdings, L.P., as recorded in Volume 03625, Page 00034, O.P.R.R.C.T.;

THENCE South 01 degrees 34 minutes 35 seconds East, along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said South Rock wall Holdings tract, a distance of 309.68-feet to a 5/8-inch iron rod set with "cap " marking the southwest corner of said South Rock wall Holdings tract, being common with the northwest corner of Lot 8, Equestrian Estates, according to the plot thereof recorded in Cabinet A, Page 19 7, of the Plot Records of Rock wall County, Texas (P.R.R.C.T.);

THENCE South 00 degrees 50 minutes 42 seconds East, along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said Equestrian Estates, a distance of 2,301.71 feet (South 00 degrees 06 minutes 38 seconds West, a distance of 2,580.60 feet - overall deed call) to a 5/8 inch iron rod set with "cap " marking the common southeast corner of said 308 ON 276, L.P. tract and on ell corner of the north R.O.W. line of State Highway No. 276 (having a variable width R.O.W.);

THENCE South 89 degrees 29 minutes 00 seconds West (North 89 degrees 29 minutes 07 seconds West - deed call), along the common southerly line of said 308 ON 2 76, L.P. tract and said north R.O.W. line of State Highway No. 276, passing at a distance of 1.66 feet a found TxDOT concrete monument, continuing along said common line for a tot al distance of 117.50-feet (115.83-feet - deed call) to a 5/8-inch iron rod set with "cap " marking the common ell corner of said 308 ON 276, L.P. tract and the most easterly southeast corner of that certain called 2.503-acre tract of land described as on Easement for Highway Purposes to the State of Texas, recorded in Volume 82, Page 583 of the Real Property Records of Rockwall County, Texas (R.P.R.R.C.T.);

THENCE North 00 degrees 31 minutes 03 seconds West (North 00 degrees 30 Minutes 13 seconds East - deed call), along a common interior line of said 308 on 2 76, L.P. tract and the easterly line of said Easement for Highway Purposes tract, a distance of 50.31-feet (50-feet - deed call) to a 5/8-inch iron rod set with "cap" marking the common ell corner of said 308 ON 276, L.P. tract and the north east corner of said Easement for Highway

Exhibit 'A':
Legal Description

Purposes tract;

THENCE South 89 degrees 28 minutes 57 seconds West (North 89 degrees 29 minutes 47 seconds West - deed call), along the common southerly line of said 308 on 276, L.P. tract and the northerly line of said Easement for Highway Purposes tract, a distance of 543.40-feet (543.73-feet - deed call) to a 5/8-inch iron rod set with "cap " for corner;

THENCE South 89 degrees 13 minutes 58 seconds West (South 89 degrees 48 minutes 55 seconds West - deed call), continuing along the common southerly line of said 308 ON 276, L.P. tract and the northerly line of said Easement for Highway Purposes tract, a distance of 757.25-feet (756.93-feet - deed call) to a 5/8-inch iron rod found marking a common ell corner of said 308 ON 276, L.P. tract and the northwest corner of said Easement for Highway Purposes tract;

THENCE South 00 degrees 46 minutes 03 seconds East (South 00 degrees 11 minutes 05 seconds East - deed call), along a common interior line of said 308 ON 276, L.P. tract and the westerly line of said Easement for Highway Purposes tract, a distance of 90.30-feet (87.44-feet - deed call) to a 5/8-inch iron rod set with "cap " marking a common ell corner of said 308 ON 276, L.P. tract and the southwest corner of said Easement for Highway Purposes tract, said point being on said north R.O.W. line of State Highway No. 276;

THENCE South 89 degrees 13 minutes 57 seconds West (North 89 degrees 53 minutes 27 seconds West - deed call), along the common southerly line of said 308 ON 276, L.P. tract and said north R.O.W. line of State Highway No. 276, passing at a distance of 1,667.76-feet a 5/8-inch iron rod set with "cap " for reference, continuing along said common line for a total distance of 1,917.07-feet (1,917.34-feet - deed call) to a found TxDOT concrete monument, marking the transitional R.O.W. line from said north R.O.W. line of State Highway No. 276 to the east R.O.W. line of Springer Lane, on 80-foot wide R.O.W., (formerly F.M. No. 1143), said point being the beginning of a non-tangent curve to the right, with the radius point being situated North 21 degrees 40 minutes 52 seconds East, a distance of 533.69-feet;

THENCE Northerly along the common curving westerly line of said 308 ON 276, L.P. tract and said curving east R.O.W. line of Springer Lane, with said non-tangent curve to the right, through a central angle of 67 degrees 33 minutes 20 seconds (48 degrees 33 minutes 57 seconds - deed call), having a radius of 533.69-feet (613.69-feet - deed call), a tangent distance of 356.97-feet, a chord bearing North 34 degrees 32 minutes 28 seconds West (North 40 degrees 41 minutes 57 seconds West - deed call), at 593.43-feet, and an arc distance of 629.26-feet (520.18-feet - deed call) to a 5/8-inch iron rod set with "cap" at the end of said non-tangent curve;

THENCE North 00 degrees 53 minutes 56 seconds West (North 00 degrees 43 minutes 17 seconds West - deed call), continuing along the common westerly line of said 308 on 276, L.P. tract and said east R.O.W. line of Springer Lane, a distance of 294.21-feet (430.56-feet - deed call) to an axle found for the beginning of a non-tangent curve to the left, with the radius point being situated South 89 degrees 08 minutes 07 seconds West, a distance of 612.96-feet;

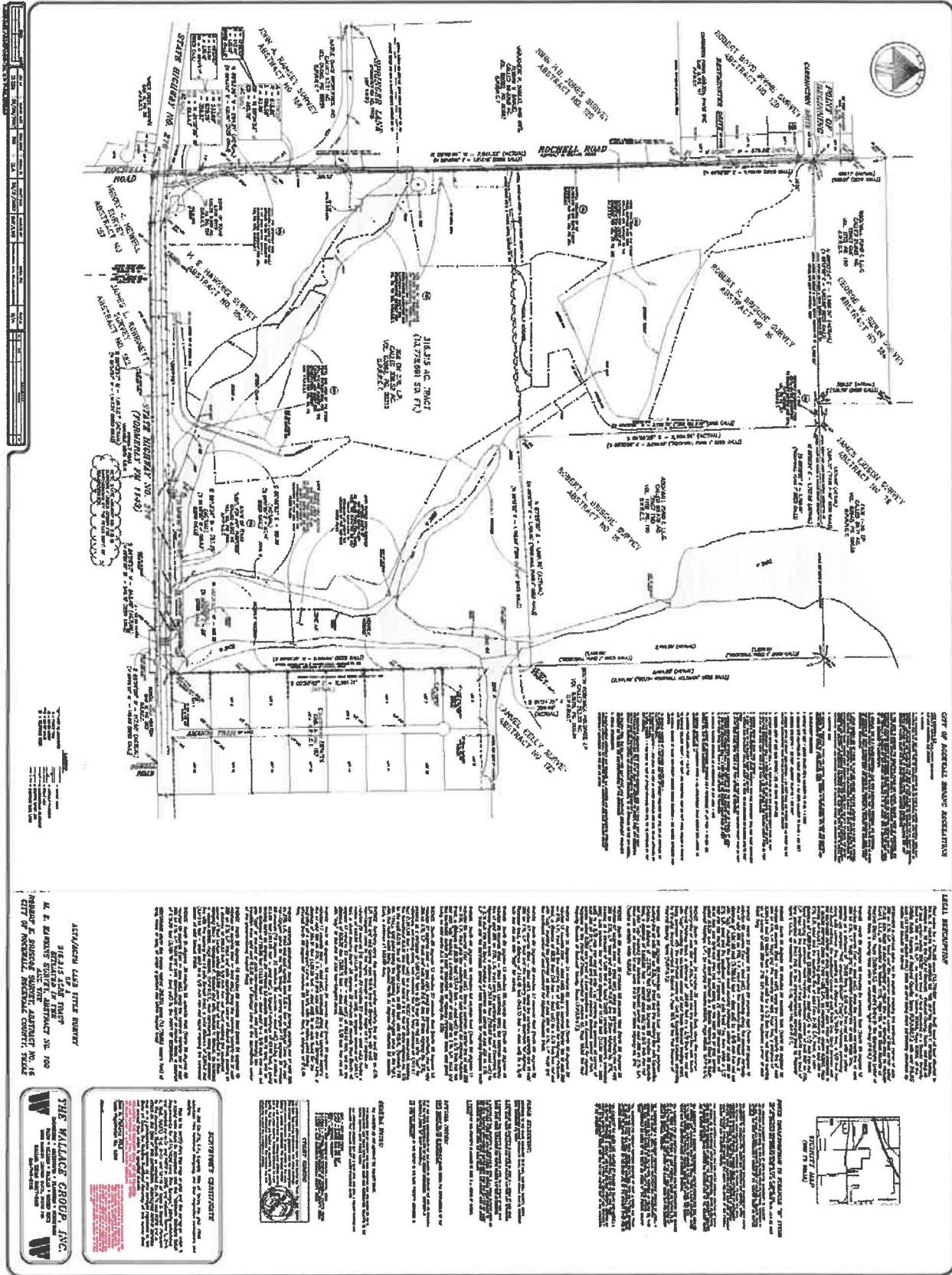
THENCE Northerly continuing along the common curving westerly line of said 308 ON 276, L.P. tract and said curving east R.O.W. line of Springer Lane, with said non-tangent curve to the left, through a central angle of 17 degrees 26 minutes 00 seconds (12 degrees 25 minutes 52 seconds - deed call), having a radius of 612.96-feet (613.69-feet - deed call), a tangent distance of 93.98 feet, a chord bearing North 09 degrees 34 minutes 53 seconds West at 185.78-feet, and an arc distance of 186.50-feet (133.15 feet - deed call) to a 5/8-inch iron rod set with "cap" at the end of said non-tangent curve, said point marking the transition from said east R.O.W. line of Springer Lane to the approximate center of the aforementioned Rochell Road;

THENCE North 00 degrees 49 minutes 05 seconds West (North 00 degrees 10 minutes 49 seconds East - deed call), along the common westerly line of said 308 ON 276, L.P. tract and said approximate center of Rochell Road, passing at a distance of 386.53-feet a 1/2-inch iron rod found marking the southeast corner of that certain called 60.3368-acre tract of land described in a Cash Warranty Deed to Varughese P. Samuel and wife, Remoni V. Samuel, as recorded in Volume 02002, Page 00062, O.P.R.R.C.T., then continuing along said common line with the easterly line of said Samuel tract, a total distance of 2,841.3-feet (1,613.15-feet - deed call) to a 1/2-inch iron rod found marking the northeast corner of said Samuel tract;

THENCE North 01 degrees 38 minutes 55 seconds West (North 00 degrees 08 minutes 06 seconds East - deed call), along the common westerly line of said 308 ON 276, L.P. tract and said approximate center of Rochell Road, a distance of 976.29-feet (2,166.70-feet - deed call) to the *POINT OF BEGINNING*.

CONTAINING within the metes recited 316.315-acres (13,778,692 square feet) of land, more or less, of which a portion lies within Rochell Road.

**Exhibit 'B':
Survey**



STATION/CH. LAST TIME SURVEY
 916315 140 1989
 M. & B. BROWN & SONS, SURVEY, ABSTRACT NO. 100
 CITY OF ROCKWALL, TEXAS, COUNTY OF COLLIN, TEXAS

THE WALLACE GROUP, INC.
 10000 WEST 10TH STREET, SUITE 100
 FORT WORTH, TEXAS 76132
 (817) 335-1111

EXHIBIT 'B' CERTIFICATE
 This is to certify that the survey shown on this page was prepared by the Surveyor General of the State of Texas, and that the same is a true and correct copy of the original survey on file in the office of the Surveyor General of the State of Texas.

ROCKWALL CITY
 This is to certify that the survey shown on this page was prepared by the Surveyor General of the State of Texas, and that the same is a true and correct copy of the original survey on file in the office of the Surveyor General of the State of Texas.

PLAT NO. 100
 This is to certify that the survey shown on this page was prepared by the Surveyor General of the State of Texas, and that the same is a true and correct copy of the original survey on file in the office of the Surveyor General of the State of Texas.

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**Exhibit 'C':
Area Map**



Exhibit 'D':
Permitted Land Uses and Development Standards

(A) PURPOSE

The purpose of this PD Zoning change is to allow for an area located at the southeastern portion of the property to be developed as a high-end custom home phase, with minimum one-acre single family residential lots. It is the desire of the owner to retain all the other non-conflicting entitlements on the property per the existing PD requirements and development standards with exceptions that will be noted throughout this document. The developer recognizes and accepts that the acreage utilized for this proposed custom phase will result in a loss of development density, from 507 single family homes to approximately 428 Single family homes. The owner requests the right and flexibility to replace smaller lot types with the 0.75-acre lot type throughout future phases of the development, without the need to rezone the Planned Development District as long as the general intent and layout of the approved revised concept plan is followed and the total number of lots does not increase.

To facilitate review of the proposed PD revisions, sections and development standards that are to be revised as a part of this re-zoning request will be highlighted in yellow throughout the document. All proposed revisions have been incorporated into the attached revised concept plan.

The Discovery Lakes Subdivision is located at the northeast corner of the intersection of SH-276 and Rochell Road. The *Subject Property* is a short walk or bike ride from the Rockwall Technology Park. The Discovery Lakes Subdivision will be a master planned residential neighborhood that will incorporate two (2) lakes, several acres of open space and ~2.6-miles of hiking/jogging/biking trails. The master plan calls for 428 single-family homes. There will be several view corridors strategically placed within the subdivision along with *front loaded* lots to provide for the enjoyment of the open space. A boulevard with 85-feet of right-of-way will connect SH-276 and be constructed up to the first round-about of the one (1) acre lots. The boulevard will have a 14-foot landscape median and a 25-foot travel lane on each side of the street. The residential streets will be 29-feet back-to-back, with a 10½-foot parkway on each side for a total of 50-feet of right-of-way. A *Community Center* with a pool will be provided to add increased amenity for the subdivision. Commencement of the Community Center and pool will take place at or before the final platting of the 201st residential lot or with the addition of additional *Type 'A'* lots. Additionally, the proposed development will incorporate nine (9) acres of commercial space that will be located at the hard corner of SH-276 and Rochell Road. This area will allow for neighborhood service types of uses and eating establishments. A maximum of one (1) hotel planned to service the needs of the subdivision and the Rockwall Technology Park. A 55-acre area adjacent to the northern lake will be dedicated as public parkland to serve Park District No. 31. The Discovery Lakes Subdivision will be a benefit to the community, allowing citizens of all ages the opportunity to live, work, and play in a connected master planned community.

(B) GENERAL REQUIREMENTS

Development Standards.

- (1) *Permitted Uses.* The following uses are permitted on the *Subject Property* in accordance with the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance.
 - (a) *Residential Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of

Exhibit 'D':

Permitted Land Uses and Development Standards

the Unified Development Code (UDC), shall be allowed for areas designated as *residential* on the *Concept Plan*.

(b) *Non-Residential*. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), shall be allowed for areas designated as *commercial* on the *Concept Plan*; however, the following conditions shall apply:

(i) The following additional uses shall be permitted as *by-right* uses on the *Subject Property*:

- Hotel, Hotel (*Full Service*) or Motel (*With a Maximum Height of Four [4] Stories*)¹
- Restaurant (*with Drive-Through or Drive-In*)²
- Retail Store (*with more than two [2] Gasoline Dispensers*)

Notes:

¹: A maximum of one (1) hotel/motel shall be permitted with this Planned Development District. The height requirement of four (4) stories is permitted to exceed 36-feet, but in no case shall exceed 60-feet.

²: A maximum of three (3) restaurants (despite the size of the restaurant) shall be permitted within this Planned Development District.

(ii) The following uses shall be prohibited on the *Subject Property*:

- Convent or Monastery
- Hotel, Residence
- Cemetery/Mausoleum
- Mortuary or Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (*Outside*)
- Gun Club, Skeet or Target Range (*Indoor*)
- Astrologer, Hypnotist, or Psychic Art and Science
- Garden Supply /Plant Nursery
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Car Wash, Self Service
- Mining and Extraction (Sand, Gravel, Oil and/or Other)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

(2) *Non-Residential Development*. The area designated as *commercial* on the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance shall be designed to be pedestrian-oriented, easily accessible, and integrated into the general design scheme of the adjacent neighborhood. This can be accomplished by removing the traditional barriers utilized to separate commercial and residential developments (*e.g. screening walls*) and incorporating landscape buffers/elements (*e.g. greenspace, parkways, and etcetera*) and urban design elements (*e.g. pathways, pergolas, and etcetera*) that can create compatibility with the adjacent single-family neighborhood. To better achieve this goal and in addition to the requirements of Section 4.1, *General Commercial District Standards*, and Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development*

Exhibit 'D':
Permitted Land Uses and Development Standards

Standards, of the Unified Development Code, all commercial development shall be required to adhere to the following supplemental standards:

- (a) *Retail Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within the retail development shall be a minimum of four (4) caliper inches in size and all *Accent/Oriental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless otherwise provided within this document.
- (b) *Retail Landscape Buffers*. All landscape and plantings located within the buffers shall be maintained by the property owner.

- (1) *Landscape Buffer (Residential Adjacency)*. Where residential and retail uses share a direct adjacency, a minimum of a 30-foot landscape buffer shall be provided by the retail property adjacent to the residential property. This area shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the adjacency. This area should also incorporate pedestrian-oriented design elements (*e.g. pathways*) that allow access between the two (2) uses. Shrubby utilized in this area shall have a minimum height of 30-inches and a maximum height of 48-inches. Additionally, trees should be incorporated in this area to break up the façades of any commercial buildings.

- (2) *Landscape Buffer and Sidewalks (SH-276)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-276, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. All buffer-strip planting requirements shall conform to the requirements of Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code.

- (3) *Landscape Buffer (Rochell Road Retail)*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Rochell Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.

- (c) *Sidewalks*.

- i) *Sidewalk Adjacent to Rochell Road and SH-276*. The developer shall be responsible for the construction of a five (5) foot sidewalk that meanders through the required 20-foot landscape buffer adjacent to Rochell Road and SH-276.

- (3) *Residential Development Standards*. Except as modified by these *Development Standards*, the residential uses depicted in *Exhibit 'C'* of this ordinance shall be subject to the development standards for a Single Family 10 (SF-10) District as stipulated by Section 3.1, *General Residential District Standards*; Section 3.4, *Single-Family Residential (SF-10) District*; and Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V,

Exhibit 'D':

Permitted Land Uses and Development Standards

District Development Standards, of the Unified Development Code. In addition, all residential development shall adhere to the following standards:

- (a) *Lot Composition and Layout*. The lot layout and composition of the *Subject Property* shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1* below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below; however, in no case shall the proposed development exceed 428 units.

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%
<i>Maximum Permitted Units:</i>			428	100.00%

The allocation of single-family dwellings among lot types may deviate from *Table 1* provided that the proposed lot composition meets the following criteria:

- (1) The total number of lots does not exceed 428 units; and,
- (2) The average lot size for the total development is not less than 9,700 SF (*i.e. total square footage of all lots/total number of lots*); and,
- (3) Lot Type "A" shall not be decrease below 40 lots; and,
- (4) Lot Type "B" shall not be decreased below 38% of the total 428 lots; and,
- (5) Lot Type "C" shall not be increased beyond 55% of the total 428 lots.

- (b) *Density and Dimensional Requirements*. The maximum permissible density for the *Subject Property* shall not exceed 1.40 dwelling units per gross acre of land; however, in no case should the proposed development exceed 428 units. All lots shall conform to the standards depicted in *Table 2* below and generally conform to *Exhibit 'C'* of this ordinance.

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A	B	C
<i>Minimum Lot Width</i> ^{(1) & (5) & (7)}	80'	70'	60'
<i>Minimum Lot Depth</i>	200'	110'	110'
<i>Minimum Lot Area</i>	32,670 SF	7,700 SF	6,600 SF
<i>Minimum Front Yard Setback</i> ^{(2), (6), & (8)}	25'	20'	20'
<i>Minimum Side Yard Setback</i>	10'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ⁽²⁾	20'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	25'	20'	20'
<i>Maximum Height</i> ⁽³⁾	36'	36'	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	20'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	3,200 SF	2,250 SF	2,000 SF
<i>Garage Orientation</i> ⁽⁶⁾	J-Swing or Flat Front	J-Swing or Flat Front	J-Swing or Flat Front
<i>Maximum Number of Front Entry Garages Permitted</i>	17	58	137
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-family home.

Exhibit 'D':
Permitted Land Uses and Development Standards

- 4. As measured from the rear yard property line.
- 5. Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.
- 6. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property that increases the Front Yard Building Setback to 20-feet; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks (Adjacent to a Street) and shall not encroach into public right-of-way [a Sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces].
- 7. All lots with a *J-Swing* or *Traditional Swing* driveway require a minimum of a 65-foot lot width.
- 8. The minimum front yard setback for properties that have a *Flat Front Entry* garage format shall be 25-feet.

(c) *Building Standards.* All development shall adhere to the following building standards:

- (1) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 50% of the masonry requirement.
- (2) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch. *Type 'A'* lots may have a variable pitch to the roofs that may deviate from these specific standards when it is determined by staff to serve a particular architectural theme.
- (3) *Garage Orientation.* Garages shall be provided as stipulated by *Table 2: Lot Dimensional Requirements*. Garages permitted for front entry maybe oriented toward the street in a *Flat Front Entry* format; however, the front façade of the garage must be situated a minimum of 25-feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. *Swing, Traditional Swing* or *J-Swing* garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the *Swing* configuration.

(d) *Anti-Monotony Restrictions.* The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see the illustration on the following page).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	80' x 200'	(1), (2), (3), (5)
B	70' x 110'	(1), (2), (3), (4)
C	60' x 110'	(1), (2), (3), (4)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent

Exhibit 'D':

Permitted Land Uses and Development Standards

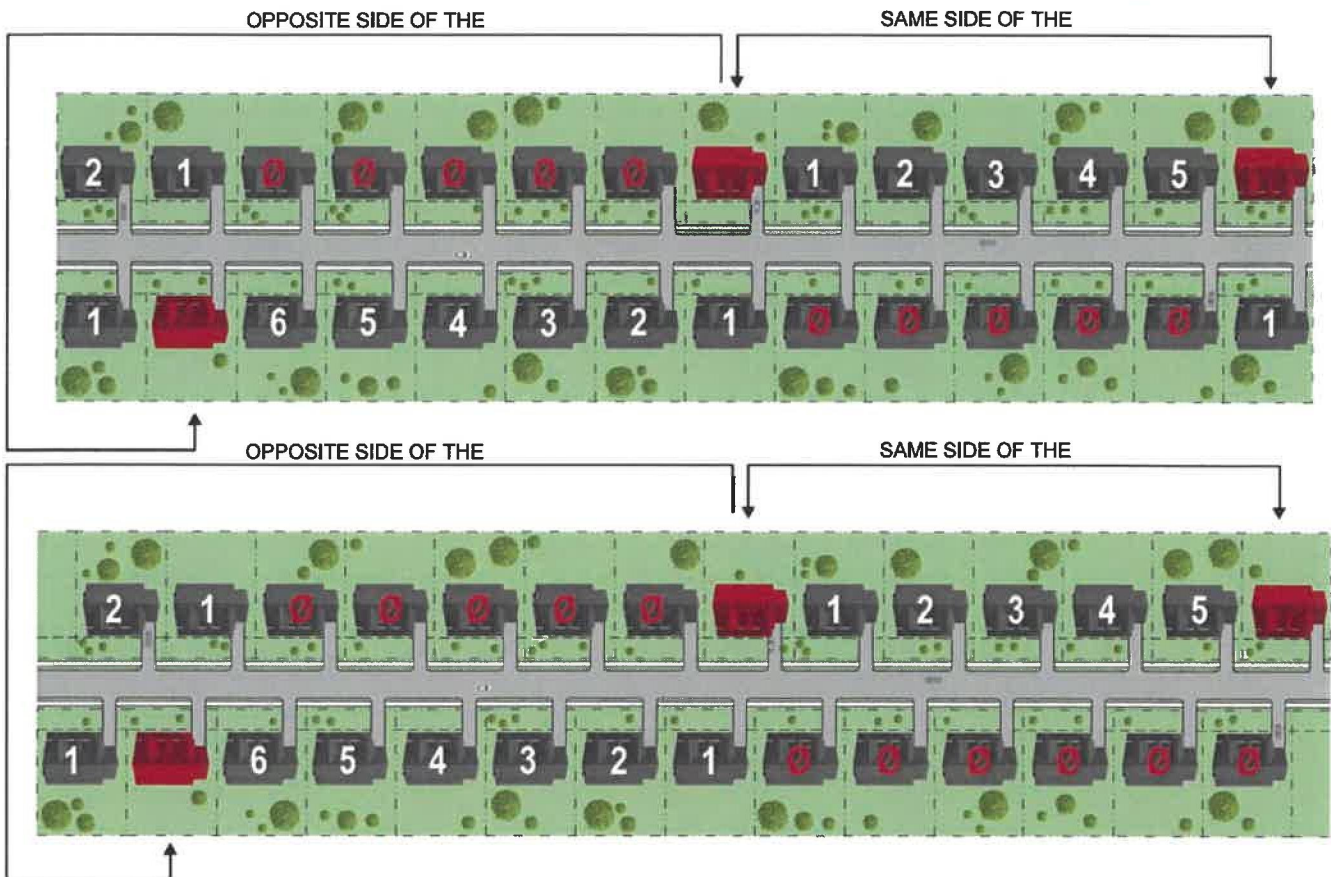
- property and six (6) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on SH-276 or Rochelle Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
 - (3) Permitted encroachment (*i.e. porches*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
 - (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).
 - (5) *Type 'A'* lots may use slate, imitation slate, tile, concrete tile, imitation tile, standing seam metal, or other high-end type roof materials.

Continued on Next Page...

Exhibit 'D':
Permitted Land Uses and Development Standards

Illustration 1: Anti-Monotony Exhibit

 SUBJECT
 # INTERVENING
 EXCLUDED



(e) *Fencing Standards.* All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

- (1) *Wood Fences.* All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited. All solid fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.

Exhibit 'D':

Permitted Land Uses and Development Standards

- (2) *Wrought Iron/Tubular Steel*. Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of eight (8) feet in height.
 - (3) *Corner Lots*. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of eight (8) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (4) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (f) *Landscape and Hardscape Standards*.
- (1) *Residential Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within the residential development shall be a minimum of three (3) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless otherwise provided within this document.
 - (2) *Single Family Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO) all single-family lots shall conform to the following:
 - i) *Interior Lots*. All interior lots shall include a minimum of two (2) trees with a diameter at breast height (dbh) [*i.e. the diameter in inches of a tree as measured through the main trunk at a point of four and one-half (4½) inches above the natural ground level*] of three (3) inches shall be planted in the front yard, and two (2) additional trees of the same caliper inch shall be planted in the side yard facing the street for corner lots.

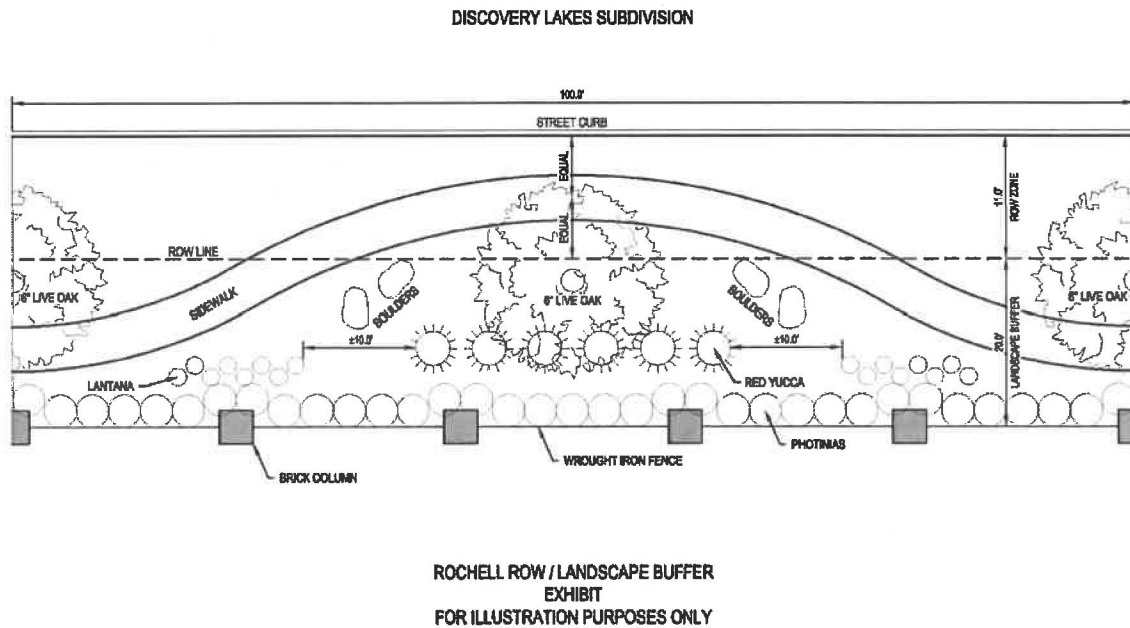
Note: For the purposes of this section only, the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.
 - ii) *Corner Lots*. All corner lots shall include a minimum of two (2) trees with a diameter at breast height (dbh) [*i.e. the diameter in inches of a tree as measured through the main trunk at a point of four and one-half (4½) inches above the natural ground level*] of three (3) inches shall be planted in the front yard of an interior lot.
 - (3) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (a) *Landscape Buffer and Sidewalks (Discovery Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of Discovery Boulevard, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a

Exhibit 'D':
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maximum height of 48-inches. In addition, at least one (1) canopy tree shall be planted per 30-feet of linear frontage.

- (b) *Landscape Buffer (Rochell Road)*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Rochell Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Shrubbbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The landscape buffer along Rochell Road shall general conform to the following illustration [*i.e. Illustration 3*].

Illustration 2: Landscape Buffer along Rochell Road.



- (c) *Landscape Buffer (SH-276)*. A minimum of a 25-foot landscape buffer shall be provided along the frontage of SH-276, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Shrubbbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. In addition, all buffer-strip planting requirements shall conform to the requirements of Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (*i.e. minimum four [4] inch caliper trees required*).

- (4) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or

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landscape architect and shall be maintained by the Homeowner's Association (HOA).

- (5) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
- (g) *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (h) *Sidewalks*.
- i) *Internal Sidewalks*. All sidewalks adjacent to an interior residential street shall begin 5½-feet from the back of curb and be five (5) feet in overall width.
- ii) *Sidewalks Adjacent to Rochell Road and Discovery Boulevard*. All sidewalks adjacent Rochell Road and Discovery Boulevard shall begin two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (i) *Open Space*. The development shall consist of a minimum of 20% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. Existing floodplain shall be counted at a rate of ½-acre for every acre provided (*e.g., 10-acres of floodplain would count as 5-acres of open space*). The Homeowner's Association (HOA) shall maintain all open space areas.
- (j) *Temporary On-Site Sanitary Sewer (OSSF)*. On-Site Sanitary Sewer (OSSF) systems shall only be allowed on *Type 'A'* lots that contain a minimum of 32,670 SF. OSSF's shall be designed by a State of Texas registered Professional Engineer, and each design shall specify an aerobic type system with drip (*underground*) irrigation system. All systems shall meet the minimum standards of the Texas Commission on Environmental Quality (TCEQ) and each installed system shall be inspected by a third-party licensed inspector and be paid for by the developer. Operation and maintenance of each individual OSSF shall be the responsibility of the property owner and the City will not assume any responsibility to the proper design, installation, operation, and maintenance of the system. In addition to the installation of the OSSF's for *Type 'A'* lots, each constructed home must provide a secondary connection that will allow the resident to disconnect and abandon the OSSF and connect to the future -- *developer provided* -- sanitary sewer system when it is made available. The *Developer*, during the development/construction of any phase of the subdivision, will be responsible for constructing the required sanitary sewer infrastructure (*i.e. mains and laterals*) as required by the City's Master Wastewater Plan. The *Developer* shall be responsible for escrowing the required impact fees for all lots utilizing an OSSF. A *Facilities Agreement* addressing how this money will be escrowed will be required to be drafted prior to the *Developer* submitting a preliminary plat with the City of Rockwall. This *Facilities Agreement* and the preliminary plat can be considered concurrently by the City Council; however, an approved, signed, and executed *Facilities Agreement* shall be a condition of approval of the preliminary plat. In addition, the *Developer* will be required to provide an appropriate disclosure statement regarding the obligation to connect to the City's wastewater system and any additional perceived costs to the

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homeowner associated with this connection in all real-estate contracts between the developer, homebuilder, and homeowner.

- (k) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
 - (l) *Community Center.* A site plan, landscape plan and building elevations shall be required for the proposed *Community Center* and shall be subject to site plan approval by the Planning and Zoning Commission prior to construction. The community center shall commence construction prior to the platting of the 201st residential lot, unless additional *Type 'A'* lots -- *above and beyond what is shown on the Concept Plan contained in Exhibit 'C' of this ordinance* -- are requested; in which case, the developer shall commence construction of the community center as part of the phase that proposes the additional *Type 'A'* lots.
 - (m) *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the Subdivision Regulations contained within the *Municipal Code of Ordinances* of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.
- (4) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (5) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 78 (PD-78) [ORDINANCE NO. 20-27] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF CHANGING THE DEVELOPMENT STANDARDS FOR A 316.315-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1 OF THE M. E. HAWKINS SURVEY, ABSTRACT NO. 100 AND TRACT 2 OF THE R. K. BRISCO SURVEY, ABSTRACT NO. 16, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes Phase 1, LLC for the approval of an amendment to Planned Development District 78 (PD-78) [Ordinance No. 20-27] for the purpose of changing development standards for a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 78 (PD-78) [Ordinance No. 20-27] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the Planned Development Concept Plan, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the

Development Standards, described in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, shall be prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* of this ordinance, and that the *Master Parks and Open Space Plan* shall be considered for approval by the City Council following a recommendation by the *Parks and Recreation Board*.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Open Space Master Plan
 - (2) Master Plat
 - (3) PD Development Plan (*Required for Retail Areas Only*)
 - (4) PD Site Plan
 - (5) Preliminary Plat
 - (6) Final Plat
- (c) A *PD Development Plan* must be approved for the area designated on the *Planned Development Concept Plan* as *Retail* prior to submittal of a *PD Site Plan* application and/or preliminary plat application. No *Master Plat* is required for the area designated on the *Concept Plan* as *Retail*. A traffic impact analysis for the retail tract shall be submitted with the *PD Development Plan* to determine the extent and timing of any recommended facilities and/or improvements to the surrounding roadway network. The traffic impact analysis may be updated with each *PD Site Plan* for each retail development.
- (d) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Preliminary Plat Application* for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *PD Site Plan Application* for the development.
- (f) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 12. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF DECEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 17, 2025

2nd Reading: December 1, 2025

Exhibit 'A':
Legal Description

Field notes for a 316.315-acre (13,778,691 square foot) tract of land situated in the M. E. Hawkins Survey, Abstract No. 100, and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County, Texas, and being all of that certain called 308.52-acre tract of land described in a Special Warranty Deed to 308 ON 276, L.P., as recorded in Volume 03662, Page 00315, of the Office Public Records of Rockwall County, Texas (O.P.R.R.C.T.) with said 316.315-acre (13, 778,691 square feet) tract of land being more particularly described by metes and bounds as follows:

BEGINNING a railroad spike set in asphalt marking the northwest corner of said 308 on 276, L.P. tract and the common southwest corner of that certain called 21. 935 acre tract of land described as Tract One in a Warranty Deed to Rockwall Fund I, L.L.C., as recorded in Volume 1 110, Page 190, of the Deed Records of Rockwall County, Texas (D.R.R.C.T.) , said point being in the approximate center of Rochell Road, a county road with an unspecified right-of- way (R. O. W.) width;

THENCE North 89 degrees 00 minutes 24 seconds East (South 89 degrees 12 minutes 02 seconds East - deed call), along the common northerly line of said 308 ON 276, L.P. tract and the common southerly line of said Tract One, passing at a distance of 30. 00 feet, a 5/8 inch iron rod set with a yellow plastic cap stamped "THE WALLACE GROUP " ("cap ") for reference, continuing along said common line, passing at a distance of 1,799. 04-feet, a ½-inch iron rod found marking the southeast corner of said Tract One, being common with the south west corner of that certain called 59.71-acre tract of land described in a Special Warranty Deed to Fate I- 30, L.P., as recorded in Volume 03542, Page 00039, O.P.R.R.C.T., continuing along the common northerly line of said 308 on 276, L.P. tract and the southerly line of said Fate I-30, L.P. tract, a total distance of 1,966.04 feet (1,902 .80 feet - deed call) to a 1/ 2 inch iron rod found marking the common most northerly northeast corner of said 308 on 276, L.P. tract and the north west corner of that certain coiled 85.479 acre tract of land described as Tract Two in the aforementioned Warranty Deed to Rockwall Fund I, L.L.C., as recorded in Volume 1 110, Page 190, O.R.R.C.T.;

THENCE South 01 degrees 59 minutes 29 seconds East (South 00 degrees 08 minutes 06 seconds West - deed call), along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said Tract Two, a distance of 2,204.26-feet (2,166.70-feet - deed call) to a ½ inch iron rod found marking an ell corner of said 308 ON 276, L.P. tract and the southwest corner of said Tract Two;

THENCE North 87 degrees 20 minutes 20 seconds East (North 89 degrees 12 minutes 02 seconds East - deed call), continuing along the common northerly line of said 308 on 276, L.P. tract and the southerly line said Tract Two, a distance of 1,691. 90 feet (1,782.53 feet - deed call) to a 5/8-inch iron rod set with "cap" marking the common most easterly northeast corner of said 308 on 276, L.P. tract and the southeast corner of said Tract Two, from which a ½-inch iron rod found bears North 87 degrees 20 minutes 20 seconds East at 10. 49 feet, said 5/8-inch iron rod set being on the west line of that certain called 212.25-acre tract of land described in a Special Warranty Deed to South Rock wall Holdings, L.P., as recorded in Volume 03625, Page 00034, O.P.R.R.C.T.;

THENCE South 01 degrees 34 minutes 35 seconds East, along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said South Rock wall Holdings tract, a distance of 309.68-feet to a 5/8-inch iron rod set with "cap " marking the southwest corner of said South Rock wall Holdings tract, being common with the northwest corner of Lot 8, Equestrian Estates, according to the plot thereof recorded in Cabinet A, Page 19 7, of the Plot Records of Rock wall County, Texas (P.R.R.C.T.);

THENCE South 00 degrees 50 minutes 42 seconds East, along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said Equestrian Estates, a distance of 2,301.71 feet (South 00 degrees 06 minutes 38 seconds West, a distance of 2,580.60 feet - overall deed call) to a 5/8 inch iron rod set with "cap " marking the common southeast corner of said 308 ON 276, L.P. tract and on ell corner of the north R.O.W. line of State Highway No. 276 (having a variable width R.O.W.);

THENCE South 89 degrees 29 minutes 00 seconds West (North 89 degrees 29 minutes 07 seconds West - deed call), along the common southerly line of said 308 ON 2 76, L.P. tract and said north R.O.W. line of State Highway No. 276, passing at a distance of 1.66 feet a found TxDOT concrete monument, continuing along said common line for a tot al distance of 117.50-feet (115.83-feet - deed call) to a 5/8-inch iron rod set with "cap " marking the common ell corner of said 308 ON 276, L.P. tract and the most easterly southeast corner of that certain called 2.503-acre tract of land described as on Easement for Highway Purposes to the State of Texas, recorded in Volume 82, Page 583 of the Real Property Records of Rockwall County, Texas (R.P.R.R.C.T.);

THENCE North 00 degrees 31 minutes 03 seconds West (North 00 degrees 30 Minutes 13 seconds East - deed call), along a common interior line of said 308 on 2 76, L.P. tract and the easterly line of said Easement for Highway Purposes tract, a distance of 50.31-feet (50-feet - deed call) to a 5/8-inch iron rod set with "cap" marking the common ell corner of said 308 ON 276, L.P. tract and the north east corner of said Easement for Highway

Exhibit 'A':
Legal Description

Purposes tract;

THENCE South 89 degrees 28 minutes 57 seconds West (North 89 degrees 29 minutes 47 seconds West - deed call), along the common southerly line of said 308 on 276, L.P. tract and the northerly line of said Easement for Highway Purposes tract, a distance of 543.40-feet (543.73-feet - deed call) to a 5/8-inch iron rod set with "cap" for corner;

THENCE South 89 degrees 13 minutes 58 seconds West (South 89 degrees 48 minutes 55 seconds West - deed call), continuing along the common southerly line of said 308 ON 276, L.P. tract and the northerly line of said Easement for Highway Purposes tract, a distance of 757.25-feet (756.93-feet - deed call) to a 5/8-inch iron rod found marking a common ell corner of said 308 ON 276, L.P. tract and the northwest corner of said Easement for Highway Purposes tract;

THENCE South 00 degrees 46 minutes 03 seconds East (South 00 degrees 11 minutes 05 seconds East - deed call), along a common interior line of said 308 ON 276, L.P. tract and the westerly line of said Easement for Highway Purposes tract, a distance of 90.30-feet (87.44-feet - deed call) to a 5/8-inch iron rod set with "cap" marking a common ell corner of said 308 ON 276, L.P. tract and the southwest corner of said Easement for Highway Purposes tract, said point being on said north R.O.W. line of State Highway No. 276;

THENCE South 89 degrees 13 minutes 57 seconds West (North 89 degrees 53 minutes 27 seconds West - deed call), along the common southerly line of said 308 ON 276, L.P. tract and said north R.O.W. line of State Highway No. 276, passing at a distance of 1,667.76-feet a 5/8-inch iron rod set with "cap" for reference, continuing along said common line for a total distance of 1,917.07-feet (1,917.34-feet - deed call) to a found TxDOT concrete monument, marking the transitional R.O.W. line from said north R.O.W. line of State Highway No. 276 to the east R.O.W. line of Springer Lane, on 80-foot wide R.O.W., (formerly F.M. No. 1143), said point being the beginning of a non-tangent curve to the right, with the radius point being situated North 21 degrees 40 minutes 52 seconds East, a distance of 533.69-feet;

THENCE Northerly along the common curving westerly line of said 308 ON 276, L.P. tract and said curving east R.O.W. line of Springer Lane, with said non-tangent curve to the right, through a central angle of 67 degrees 33 minutes 20 seconds (48 degrees 33 minutes 57 seconds - deed call), having a radius of 533.69-feet (613.69-feet - deed call), a tangent distance of 356.97-feet, a chord bearing North 34 degrees 32 minutes 28 seconds West (North 40 degrees 41 minutes 57 seconds West - deed call), at 593.43-feet, and an arc distance of 629.26-feet (520.18-feet - deed call) to a 5/8-inch iron rod set with "cap" at the end of said non-tangent curve;

THENCE North 00 degrees 53 minutes 56 seconds West (North 00 degrees 43 minutes 17 seconds West - deed call), continuing along the common westerly line of said 308 on 276, L.P. tract and said east R.O.W. line of Springer Lane, a distance of 294.21-feet (430.56-feet - deed call) to an axle found for the beginning of a non-tangent curve to the left, with the radius point being situated South 89 degrees 08 minutes 07 seconds West, a distance of 612.96-feet;

THENCE Northerly continuing along the common curving westerly line of said 308 ON 276, L.P. tract and said curving east R.O.W. line of Springer Lane, with said non-tangent curve to the left, through a central angle of 17 degrees 26 minutes 00 seconds (12 degrees 25 minutes 52 seconds - deed call), having a radius of 612.96-feet (613.69-feet - deed call), a tangent distance of 93.98 feet, a chord bearing North 09 degrees 34 minutes 53 seconds West at 185.78-feet, and an arc distance of 186.50-feet (133.15 feet - deed call) to a 5/8-inch iron rod set with "cap" at the end of said non-tangent curve, said point marking the transition from said east R.O.W. line of Springer Lane to the approximate center of the aforementioned Rochell Road;

THENCE North 00 degrees 49 minutes 05 seconds West (North 00 degrees 10 minutes 49 seconds East - deed call), along the common westerly line of said 308 ON 276, L.P. tract and said approximate center of Rochell Road, passing at a distance of 386.53-feet a 1/2-inch iron rod found marking the southeast corner of that certain called 60.3368-acre tract of land described in a Cash Warranty Deed to Varughese P. Samuel and wife, Remoni V. Samuel, as recorded in Volume 02002, Page 00062, O.P.R.R.C.T., then continuing along said common line with the easterly line of said Samuel tract, a total distance of 2,841.3-feet (1,613.15-feet - deed call) to a 1/2-inch iron rod found marking the northeast corner of said Samuel tract;

THENCE North 01 degrees 38 minutes 55 seconds West (North 00 degrees 08 minutes 06 seconds East - deed call), along the common westerly line of said 308 ON 276, L.P. tract and said approximate center of Rochell Road, a distance of 976.29-feet (2,166.70-feet - deed call) to the *POINT OF BEGINNING*.

CONTAINING within the metes recited 316.315-acres (13,778,692 square feet) of land, more or less, of which a portion lies within Rochell Road.

Exhibit 'B': Survey

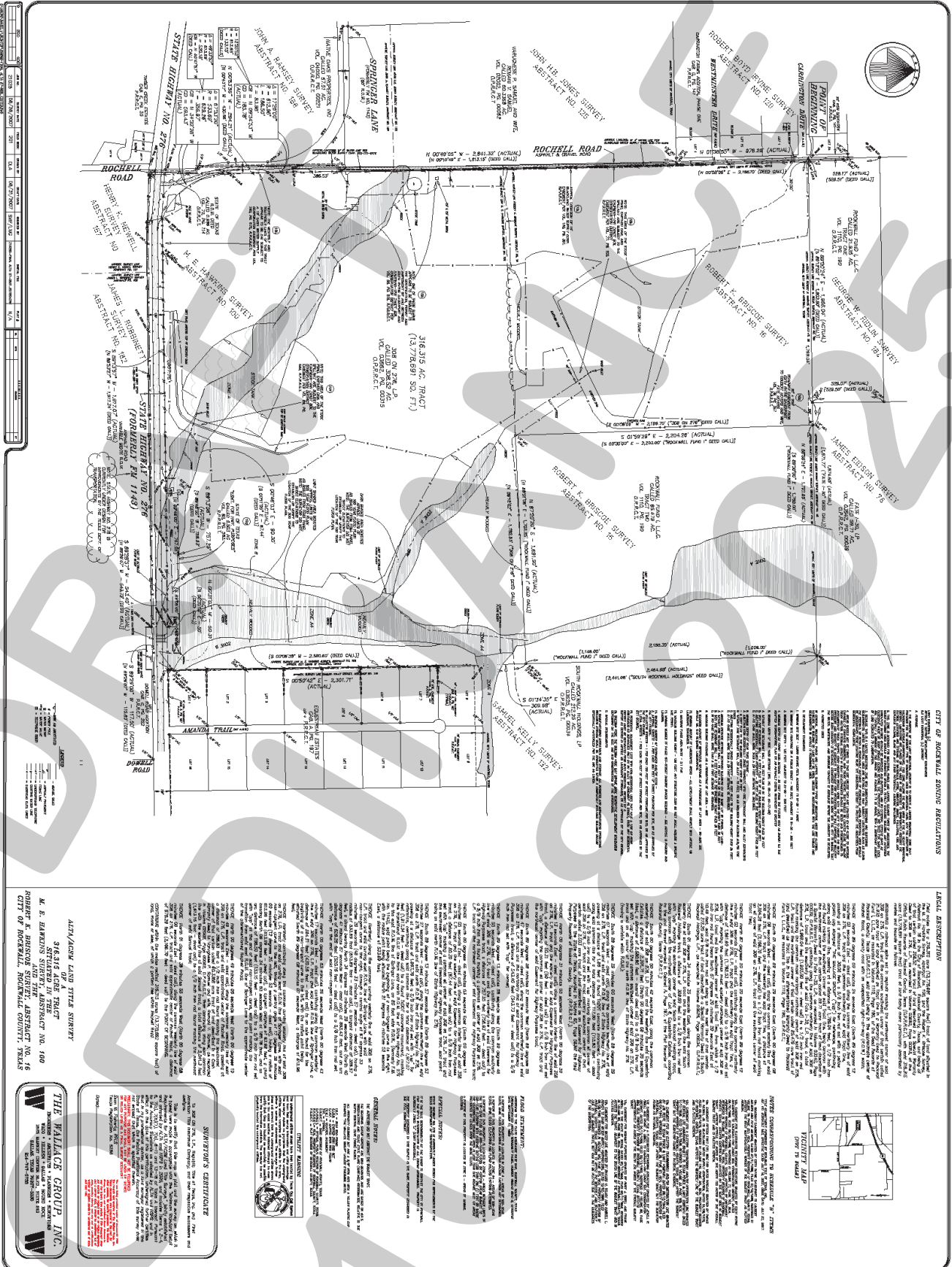
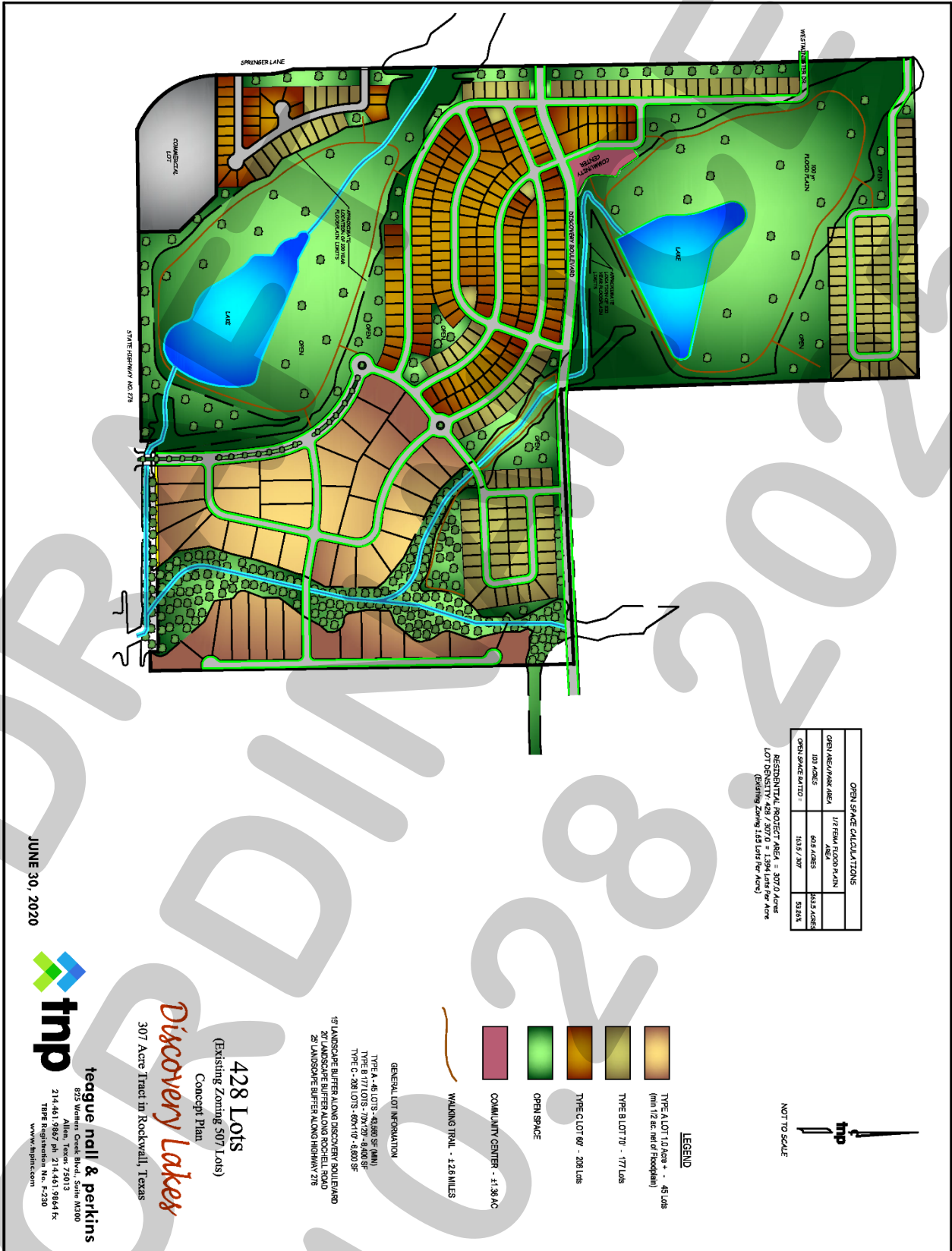


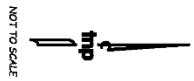
Exhibit 'C':
Area Map



OPEN SPACE CALCULATIONS

OPEN SPACE/PAVE AREA	1/2 FIRM FLOOD PLAIN AREA
109 ACRES	60.8 ACRES
OPEN SPACE RATIO =	15.5 / 297
	53.2%

RESIDENTIAL PROJECT AREA = 307.0 Acres
 LOT DENSITY: 428 / 307.0 = 1.394 Lots Per Acre
 (Starting Density: 153 Lots Per Acre)



NOT TO SCALE

LEGEND

- TYPE A LOT 1.0 Acres + - .45 Lots
(min 1/2 ac. net of floodplain)
- TYPE B LOT 70' - 77' Lots
- TYPE C LOT 60' - 206 Lots
- OPEN SPACE
- COMMUNITY CENTER - 1.38 AC
- WALKING TRAIL - 1.28 MILES

GENERAL LOT INFORMATION

- TYPE A - 46 LOTS - 43,800 SF (MIN)
- TYPE B - 177 LOTS - 77x20' - 8,400 SF
- TYPE C - 206 LOTS - 60x10' - 6,000 SF
- 15' LANDSCAPE BUFFER ALONG DISCOVERY BOULEVARD
- 30' LANDSCAPE BUFFER ALONG ROCKWELL ROAD
- 25' LANDSCAPE BUFFER ALONG HIGHWAY 278

428 Lots
 (Existing Zoning 507 Lots)
 Concept Plan
Discovery Lakes
 307 Acre Tract in Rockwall, Texas

JUNE 30, 2020

teague nail & perkins
 825 Westwood Blvd., Suite 100
 Rockwall, TX 75087
 214.461.9887 or 214.461.9844 fx
 TBP# Registration No. 1-220
 www.tnpinc.com

Exhibit 'D':
Permitted Land Uses and Development Standards

(A) PURPOSE

The purpose of this PD Zoning change is to allow for an area located at the southeastern portion of the property to be developed as a high-end custom home phase, with minimum one-acre single family residential lots. It is the desire of the owner to retain all the other non-conflicting entitlements on the property per the existing PD requirements and development standards with exceptions that will be noted throughout this document. The developer recognizes and accepts that the acreage utilized for this proposed custom phase will result in a loss of development density, from 507 single family homes to approximately 428 Single family homes. The owner requests the right and flexibility to replace smaller lot types with the 0.75-acre lot type throughout future phases of the development, without the need to rezone the Planned Development District as long as the general intent and layout of the approved revised concept plan is followed and the total number of lots does not increase.

To facilitate review of the proposed PD revisions, sections and development standards that are to be revised as a part of this re-zoning request will be highlighted in yellow throughout the document. All proposed revisions have been incorporated into the attached revised concept plan.

The Discovery Lakes Subdivision is located at the northeast corner of the intersection of SH-276 and Rochell Road. The *Subject Property* is a short walk or bike ride from the Rockwall Technology Park. The Discovery Lakes Subdivision will be a master planned residential neighborhood that will incorporate two (2) lakes, several acres of open space and ~2.6-miles of hiking/jogging/biking trails. The master plan calls for 428 single-family homes. There will be several view corridors strategically placed within the subdivision along with *front loaded* lots to provide for the enjoyment of the open space. A boulevard with 85-feet of right-of-way will connect SH-276 and be constructed up to the first round-about of the one (1) acre lots. The boulevard will have a 14-foot landscape median and a 25-foot travel lane on each side of the street. The residential streets will be 29-feet back-to-back, with a 10½-foot parkway on each side for a total of 50-feet of right-of-way. A *Community Center* with a pool will be provided to add increased amenity for the subdivision. Commencement of the Community Center and pool will take place at or before the final platting of the 201st residential lot or with the addition of additional *Type 'A'* lots. Additionally, the proposed development will incorporate nine (9) acres of commercial space that will be located at the hard corner of SH-276 and Rochell Road. This area will allow for neighborhood service types of uses and eating establishments. A maximum of one (1) hotel planned to service the needs of the subdivision and the Rockwall Technology Park. A 55-acre area adjacent to the northern lake will be dedicated as public parkland to serve Park District No. 31. The Discovery Lakes Subdivision will be a benefit to the community, allowing citizens of all ages the opportunity to live, work, and play in a connected master planned community.

(B) GENERAL REQUIREMENTS

Development Standards.

(1) *Permitted Uses.* The following uses are permitted on the *Subject Property* in accordance with the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance.

(a) *Residential Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of

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the Unified Development Code (UDC), shall be allowed for areas designated as *residential* on the *Concept Plan*.

(b) *Non-Residential*. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), shall be allowed for areas designated as *commercial* on the *Concept Plan*; however, the following conditions shall apply:

(i) The following additional uses shall be permitted as *by-right* uses on the *Subject Property*:

- Hotel, Hotel (*Full Service*) or Motel (*With a Maximum Height of Four [4] Stories*) ¹
- Restaurant (*with Drive-Through or Drive-In*) ²
- Retail Store (*with more than two [2] Gasoline Dispensers*)

Notes:

¹: A maximum of one (1) hotel/motel shall be permitted with this Planned Development District. The height requirement of four (4) stories is permitted to exceed 36-feet, but in no case shall exceed 60-feet.

²: A maximum of three (3) restaurants (despite the size of the restaurant) shall be permitted within this Planned Development District.

(ii) The following uses shall be prohibited on the *Subject Property*:

- Convent or Monastery
- Hotel, Residence
- Cemetery/Mausoleum
- Mortuary of Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (*Outside*)
- Gun Club, Skeet or Target Range (*Indoor*)
- Astrologer, Hypnotist, or Psychic Art and Science
- Garden Supply /Plant Nursery
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Car Wash, Self Service
- Mining and Extraction (Sand, Gravel, Oil and/or Other)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

(2) *Non-Residential Development*. The area designated as *commercial* on the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance shall be designed to be pedestrian-oriented, easily accessible, and integrated into the general design scheme of the adjacent neighborhood. This can be accomplished by removing the traditional barriers utilized to separate commercial and residential developments (e.g. *screening walls*) and incorporating landscape buffers/elements (e.g. *greenspace, parkways, and etcetera*) and urban design elements (e.g. *pathways, pergolas, and etcetera*) that can create compatibility with the adjacent single-family neighborhood. To better achieve this goal and in addition to the requirements of Section 4.1, *General Commercial District Standards*, and Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development*

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Standards, of the Unified Development Code, all commercial development shall be required to adhere to the following supplemental standards:

(a) *Retail Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within the retail development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless otherwise provided within this document.

(b) *Retail Landscape Buffers*. All landscape and plantings located within the buffers shall be maintained by the property owner.

(1) *Landscape Buffer (Residential Adjacency)*. Where residential and retail uses share a direct adjacency, a minimum of a 30-foot landscape buffer shall be provided by the retail property adjacent to the residential property. This area shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the adjacency. This area should also incorporate pedestrian-oriented design elements (e.g. *pathways*) that allow access between the two (2) uses. Shrubby utilized in this area shall have a minimum height of 30-inches and a maximum height of 48-inches. Additionally, trees should be incorporated in this area to break up the façades of any commercial buildings.

(2) *Landscape Buffer and Sidewalks (SH-276)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-276, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. All buffer-strip planting requirements shall conform to the requirements of Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code.

(3) *Landscape Buffer (Rochell Road Retail)*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Rochell Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.

(c) *Sidewalks*.

i) *Sidewalk Adjacent to Rochell Road and SH-276*. The developer shall be responsible for the construction of a five (5) foot sidewalk that meanders through the required 20-foot landscape buffer adjacent to Rochell Road and SH-276.

(3) *Residential Development Standards*. Except as modified by these *Development Standards*, the residential uses depicted in *Exhibit 'C'* of this ordinance shall be subject to the development standards for a Single Family 10 (SF-10) District as stipulated by Section 3.1, *General Residential District Standards*; Section 3.4, *Single-Family Residential (SF-10) District*; and Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V,

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District Development Standards, of the Unified Development Code. In addition, all residential development shall adhere to the following standards:

- (a) *Lot Composition and Layout*. The lot layout and composition of the *Subject Property* shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1* below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below; however, in no case shall the proposed development exceed 428 units.

Table 1: Lot Composition

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%
<i>Maximum Permitted Units:</i>			428	100.00%

The allocation of single-family dwellings among lot types may deviate from *Table 1* provided that the proposed lot composition meets the following criteria:

- (1) The total number of lots does not exceed 428 units; and,
- (2) The average lot size for the total development is not less than 9,700 SF (*i.e. total square footage of all lots/total number of lots*); and,
- (3) *Lot Type "A"* shall not be decrease below 40 lots; and,
- (4) *Lot Type "B"* shall not be decreased below 38% of the total 428 lots; and,
- (5) *Lot Type "C"* shall not be increased beyond 55% of the total 428 lots.

- (b) *Density and Dimensional Requirements*. The maximum permissible density for the *Subject Property* shall not exceed 1.40 dwelling units per gross acre of land; however, in no case should the proposed development exceed 428 units. All lots shall conform to the standards depicted in *Table 2* below and generally conform to *Exhibit 'C'* of this ordinance.

Table 2: Lot Dimensional Requirements

<i>Lot Type (see Concept Plan) ▶</i>	A	B	C
<i>Minimum Lot Width</i> ^{(1) & (5) & (7)}	80'	70'	60'
<i>Minimum Lot Depth</i>	200'	110'	110'
<i>Minimum Lot Area</i>	32,670 SF	7,700 SF	6,600 SF
<i>Minimum Front Yard Setback</i> ^{(2), (6), & (8)}	25'	20'	20'
<i>Minimum Side Yard Setback</i>	10'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ⁽²⁾	20'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	25'	20'	20'
<i>Maximum Height</i> ⁽³⁾	36'	36'	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	20'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	3,200 SF	2,250 SF	2,000 SF
<i>Garage Orientation</i> ⁽⁸⁾	<i>J-Swing, Flat Front or Side Entry</i>	<i>J-Swing, Flat Front or Side Entry</i>	<i>J-Swing, Flat Front or Side Entry</i>
<i>Maximum Number of Front Entry Garages Permitted</i>	17	58	137
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- 1: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-

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family home.

4. As measured from the rear yard property line.
5. Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.
6. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property that increases the Front Yard Building Setback to 20-feet; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks (Adjacent to a Street) and shall not encroach into public right-of-way [a Sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces].
7. All lots with a *J-Swing* or *Traditional Swing* driveway require a minimum of a 65-foot lot width.
8. The minimum front yard setback for properties that have a *Flat Front Entry* garage format shall be 25-feet.

(c) **Building Standards.** All development shall adhere to the following building standards:

- (1) **Masonry Requirement.** The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and/or stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) shall be permitted to be used to meet up to 50% of the masonry requirement.
- (2) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch. *Type 'A'* lots may have a variable pitch to the roofs that may deviate from these specific standards when it is determined by staff to serve a particular architectural theme.
- (3) **Garage Orientation.** Garages shall be provided as stipulated by *Table 2: Lot Dimensional Requirements*. Garages permitted for front entry maybe oriented toward the street in a *Flat Front Entry* format; however, the front façade of the garage must be situated a minimum of 25-feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. *Side Entry, Traditional Swing, or J-Swing* garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the *Swing* configuration.

(d) **Anti-Monotony Restrictions.** The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (*for spacing requirements see the illustration on the following page*).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	80' x 200'	(1), (2), (3), (5)
B	70' x 110'	(1), (2), (3), (4)
C	60' x 110'	(1), (2), (3), (4)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent

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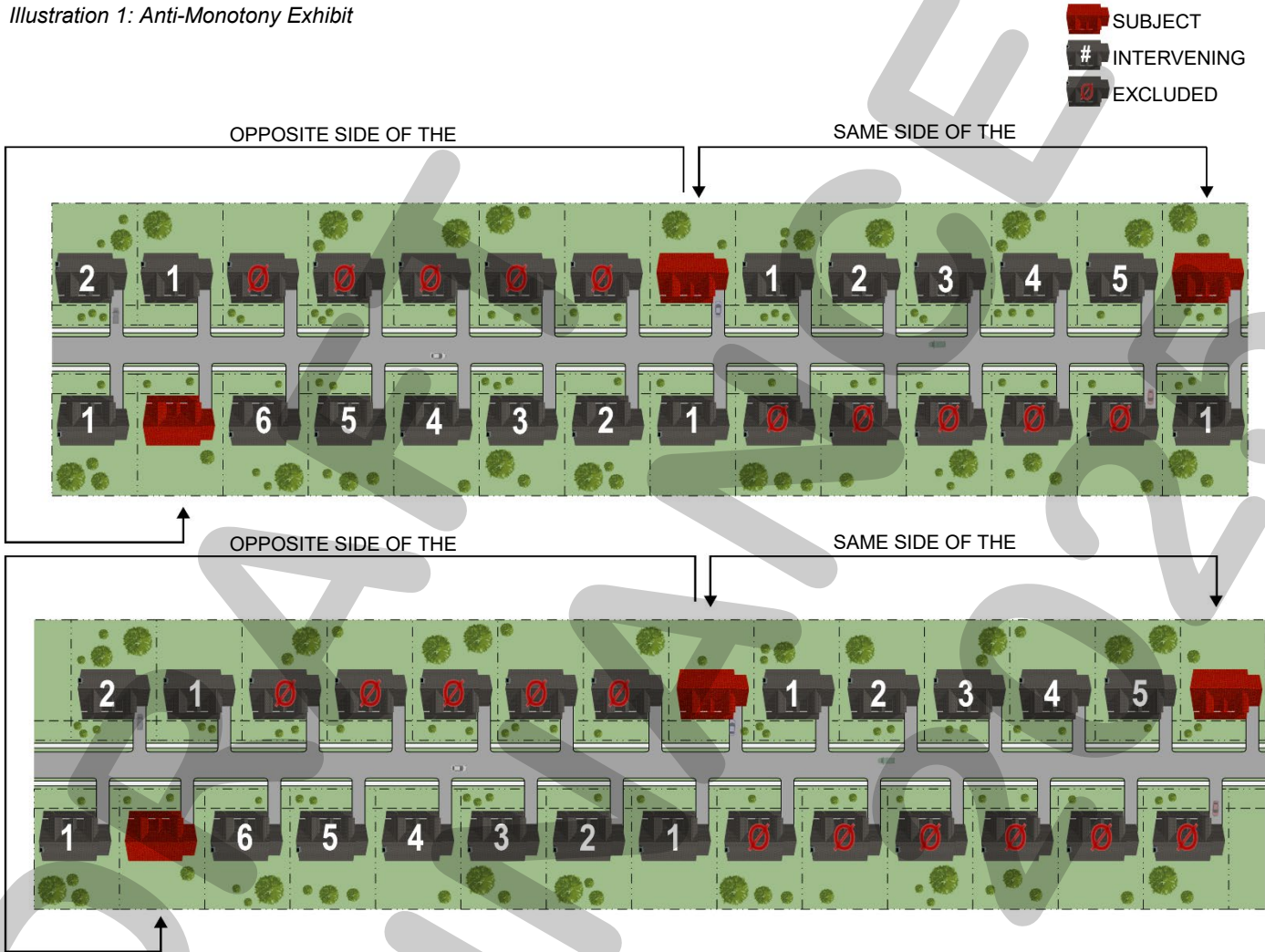
property and six (6) intervening homes of differing materials on the opposite side of the street.

- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on SH-276 or Rochelle Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
- (3) Permitted encroachment (*i.e. porches*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).
- (5) *Type 'A'* lots may use slate, imitation slate, tile, concrete tile, imitation tile, standing seam metal, or other high-end type roof materials.

Continued on Next Page...

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Illustration 1: Anti-Monotony Exhibit



(e) *Fencing Standards.* All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

(1) *Wood Fences.* All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited. All solid fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.

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- (2) *Wrought Iron/Tubular Steel*. Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of eight (8) feet in height.
- (3) *Corner Lots*. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of eight (8) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (4) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

(f) *Landscape and Hardscape Standards.*

- (1) *Residential Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within the residential development shall be a minimum of three (3) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless otherwise provided within this document.
- (2) *Single Family Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO) all single-family lots shall conform to the following:

- i) *Interior Lots*. All interior lots shall include a minimum of two (2) trees with a diameter at breast height (dbh) [*i.e. the diameter in inches of a tree as measured through the main trunk at a point of four and one-half (4½) inches above the natural ground level*] of three (3) inches shall be planted in the front yard, and two (2) additional trees of the same caliper inch shall be planted in the side yard facing the street for corner lots.

Note: For the purposes of this section only, the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

- ii) *Corner Lots*. All corner lots shall include a minimum of two (2) trees with a diameter at breast height (dbh) [*i.e. the diameter in inches of a tree as measured through the main trunk at a point of four and one-half (4½) inches above the natural ground level*] of three (3) inches shall be planted in the front yard of an interior lot.

- (3) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

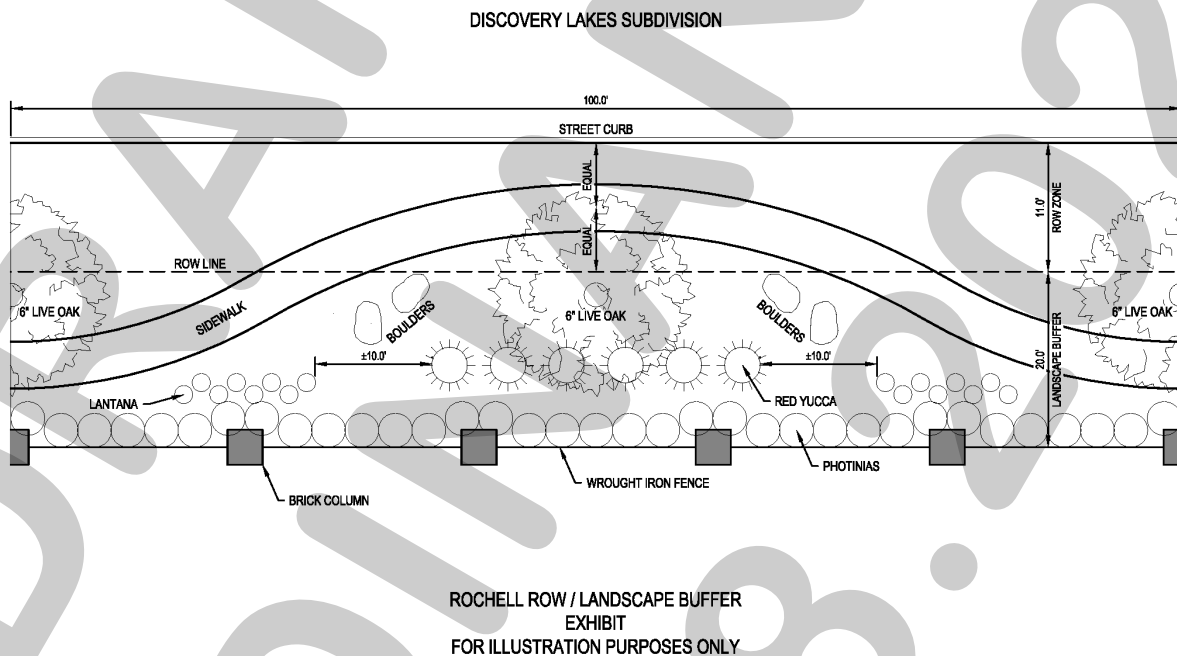
- (a) *Landscape Buffer and Sidewalks (Discovery Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of Discovery Boulevard, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a

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maximum height of 48-inches. In addition, at least one (1) canopy tree shall be planted per 30-feet of linear frontage.

- (b) *Landscape Buffer (Rochell Road)*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Rochell Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Shrubby shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The landscape buffer along Rochell Road shall general conform to the following illustration [*i.e. Illustration 3*].

Illustration 2: Landscape Buffer along Rochell Road.



- (c) *Landscape Buffer (SH-276)*. A minimum of a 25-foot landscape buffer shall be provided along the frontage of SH-276, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Shrubby shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. In addition, all buffer-strip planting requirements shall conform to the requirements of Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (*i.e. minimum four [4] inch caliper trees required*).

- (4) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or

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landscape architect and shall be maintained by the Homeowner's Association (HOA).

- (5) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
- (g) *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (h) *Sidewalks*.
- i) *Internal Sidewalks*. All sidewalks adjacent to an interior residential street shall begin 5½-feet from the back of curb and be five (5) feet in overall width.
 - ii) *Sidewalks Adjacent to Rochell Road and Discovery Boulevard*. All sidewalks adjacent Rochell Road and Discovery Boulevard shall begin two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (i) *Open Space*. The development shall consist of a minimum of 20% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. Existing floodplain shall be counted at a rate of ½-acre for every acre provided (*e.g., 10-acres of floodplain would count as 5-acres of open space*). The Homeowner's Association (HOA) shall maintain all open space areas.
- (j) *Temporary On-Site Sanitary Sewer (OSSF)*. On-Site Sanitary Sewer (OSSF) systems shall only be allowed on *Type 'A'* lots that contain a minimum of 32,670 SF. OSSF's shall be designed by a State of Texas registered Professional Engineer, and each design shall specify an aerobic type system with drip (*underground*) irrigation system. All systems shall meet the minimum standards of the Texas Commission on Environmental Quality (TCEQ) and each installed system shall be inspected by a third-party licensed inspector and be paid for by the developer. Operation and maintenance of each individual OSSF shall be the responsibility of the property owner and the City will not assume any responsibility to the proper design, installation, operation, and maintenance of the system. In addition to the installation of the OSSF's for *Type 'A'* lots, each constructed home must provide a secondary connection that will allow the resident to disconnect and abandon the OSSF and connect to the future -- *developer provided* -- sanitary sewer system when it is made available. The *Developer*, during the development/construction of any phase of the subdivision, will be responsible for constructing the required sanitary sewer infrastructure (*i.e. mains and laterals*) as required by the City's Master Wastewater Plan. The *Developer* shall be responsible for escrowing the required impact fees for all lots utilizing an OSSF. A *Facilities Agreement* addressing how this money will be escrowed will be required to be drafted prior to the *Developer* submitting a preliminary plat with the City of Rockwall. This *Facilities Agreement* and the preliminary plat can be considered concurrently by the City Council; however, an approved, signed, and executed *Facilities Agreement* shall be a condition of approval of the preliminary plat. In addition, the *Developer* will be required to provide an appropriate disclosure statement regarding the obligation to connect to the City's wastewater system and any additional perceived costs to the

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homeowner associated with this connection in all real-estate contracts between the developer, homebuilder, and homeowner.

- (k) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
 - (l) *Community Center.* A site plan, landscape plan and building elevations shall be required for the proposed *Community Center* and shall be subject to site plan approval by the Planning and Zoning Commission prior to construction. The community center shall commence construction prior to the platting of the 201st residential lot, unless additional *Type 'A' lots -- above and beyond what is shown on the Concept Plan contained in Exhibit 'C' of this ordinance --* are requested; in which case, the developer shall commence construction of the community center as part of the phase that proposes the additional *Type 'A' lots*.
 - (m) *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the Subdivision Regulations contained within the *Municipal Code of Ordinances* of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.
- (4) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (5) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2025

PROJECT NUMBER: Z2025-067
PROJECT NAME: SUP for a Child Care Center
SITE ADDRESS/LOCATIONS: John King & E. Quail Run

CASE CAPTION: Hold a public hearing to discuss and consider a request by Lisa Brooks and Renee Holland of Makeway, LLC for the approval of a Specific Use Permit (SUP) for a Daycare Facility Exceeding the Maximum Building Size in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/23/2025	Approved w/ Comments

10/23/2025: Z2025-067; SUP for a Daycare that Exceeds the Maximum Square footage in a Neighborhood Services (NS) District
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for a Daycare Facility Exceeding the Maximum Building Size in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2025-067) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 07.03, Non-Residential District Development Standards, of Article 5, District Development Standards, of the Unified Development Code (UDC), the Neighborhood Services (NS) District has "(a) maximum building size of 5,000 sf in area, unless otherwise approved through a sup by the Planning and Zoning commission and City Council. In this case, the proposed building is 11,114 SF which is 6,114 SF over the maximum building size permitted in the Neighborhood Services (NS) District.

M.5 A 20-foot landscape buffer -- exclusive of existing or proposed easements -- with 3-tiered screening is required along E. Old Quail Run Road. Three (3) tiered screening consists of distinct rows of each of the following: [1] canopy trees on 20-foot centers, [2] accent trees, [3] and scrubs [5 gallon on 36" Centers, 24" tall at the time of planting] (Subsection 05.02 (B), of Article 08, of the Unified Development Code [UDC]). Currently the site plan is showing only a ten (10) foot landscape buffer, please revise accordingly.

M.6 A 20-foot landscape buffer -- exclusive of existing or proposed easements -- is required along John King Boulevard with a meandering ten (10) foot hike and bike trail. (John King Boulevard Trail Plan) Currently the proposed site plan is showing only a ten (10) foot landscape buffer with a linear ten (10) foot hike and bike trail, please revise accordingly.

M.7 Dumpster Enclosures are required to be eight (8) foot tall in the Overlay Districts. Change the comment on the concept plan to show eight (8)-foot tall instead of the current six (6)-foot callout. (Subsection 06.02(7), Article 05, UDC)

M.8 The current location of the dumpster enclosure does not allow for room for the trash truck to turn around. Please revise the layout accordingly. This may require a call to Republic Trash Services. Staff would suggest moving the dumpster location

M.9 Building Elevations:

1. According to Subsection 06.02, General Overlay District Standards, of Article 05, Of the Unified Development Code (UDC), a minimum of 20% natural or quarried stone is required on all building façades. Currently, the proposed building elevations do not show a minimum of 20% stone on each façade.

2. According to Subsection 06.02 General Overlay District Standards, of Article 5, Of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building."

3. The proposed building does not meet the primary and secondary façade articulation requirements for a commercial building. Please provide an exhibit showing the correct calculations and conformance to the requirement, or this will require a variance to the four (4) sided architecture requirement. (Subsection 04.01(C), Article 05, District Development Standards, of the UDC)

M.10 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

1) The development of a Daycare Facility on the Subject Property shall generally conform to the Site Plan as depicted in Exhibit 'B' of this ordinance.

2) The construction of a Daycare Facility on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of this ordinance.

3) A 20-foot landscape buffer with 3-tiered screening is required along E. Old Quail Run Road.

4) The development of the subject property shall generally conform to the Conceptual Building Elevations contained in Exhibit 'C' of this ordinance; however, the proposed Daycare Facility shall be subject to all of the General Overlay District Standards as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC). Review for conformance to these requirements shall be completed with the site plan submittal. In addition, a recommendation by the Architecture Review Board (ARB) shall be required prior to approval of the building elevations by the Planning and Zoning Commission. The approval of this Specific Use Permit (SUP) shall not constitute the approval of variances or exceptions to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the Daycare Facility.

5) The proposed Daycare Facility shall not exceed 11,200 SF.

M.11 Please review the attached Draft Ordinance prior to the October 28, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than November 4, 2025.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 11, 2025 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 28, 2025.

I.13 The projected City Council meeting dates for this case will be November 17, 2025 (1st Reading) and December 1, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

10/23/2025: 1. Please be advised the parking space striping must be 20' deep, so there is technically no overhang allowed.

2. Drive-thru area must be 12' wide.

3. There is an existing 30' sanitary sewer easement along both frontages with an existing 10" sewer main. You are not permitted to put any improvements or landscaping within this existing 30' easement.

4. No landscape berms or trees allowed in easement.

5. Min 200'

General Items:

General Items:

- Must meet City's 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
- The site will need to be platted.
- No signage is allowed within easements or ROW. No structures or fences within easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Additional comments may be provided at time of Site Plan and Engineering.
- Dumpsters may not directly face a roadway.

Drainage Items:

- Detention is required. Detention is based on zoning, not specific land area use.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at freeboard elevation. No vertical walls are allowed in detention easement.
- Detention pond is required to have an emergency spillway.
- Existing flow patterns must be maintained.
- No water or sewer lines can be in detention easement.
- Detention ponds must be irrigated.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is an existing 12" water main along E Old Quail Run available for use.
- Minimum public sewer is 8".
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is an existing 10" sewer main along John King Blvd and E Quail Run Road available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- \$872.73/acre sewer pro-rata due.

Roadway Paving Items:

- All driveways must meet City spacing requirements.
- All parking, storage, drive aisles must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.

- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.
- Culverts (if needed) must be engineer designed, 18" minimum, and reinforced concrete pipe with safety end treatments.
- TIA is required. Review fees shall apply
- Install 10' trail along John King.
- Install 5' sidewalk along E. Quail Run Road.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved
No Comments			

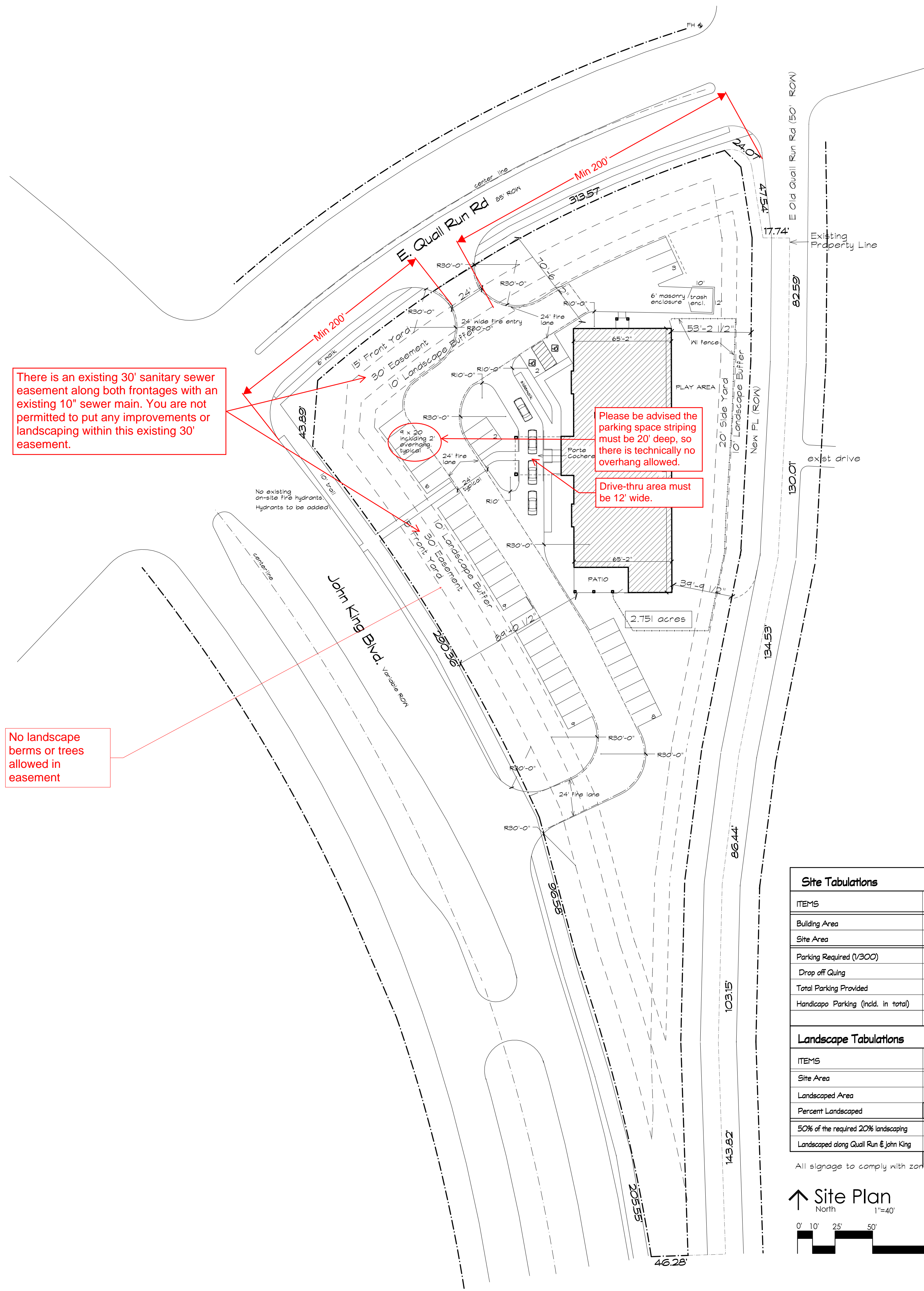
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved
No Comments			

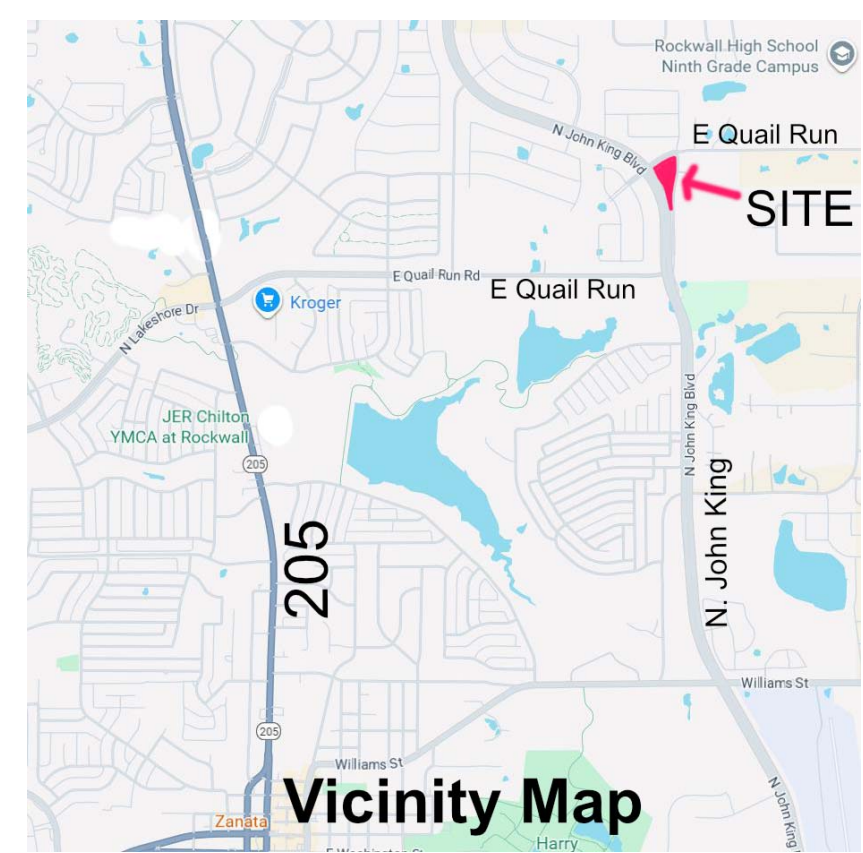
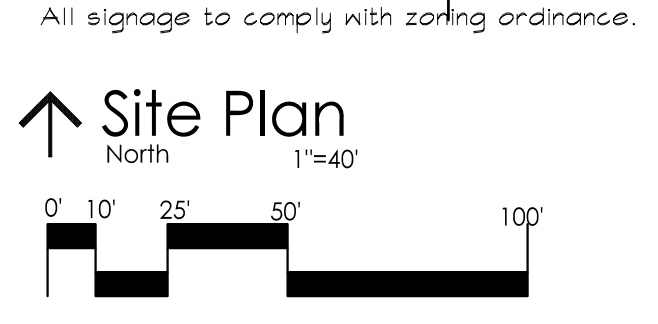
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved
No Comments			

- General Items:**
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 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
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 - All utilities must be underground.
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 - Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
 - Detention easement required at freeboard elevation. No vertical walls are allowed in detention easement.
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 - Existing flow patterns must be maintained.
 - No water or sewer lines can be in detention easement.
 - Detention ponds must be irrigated.
 - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
 - No grate inlets allowed.
 - FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
 - All dumpster areas shall drain to an oil/water separator and then into the storm system.
- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - There is an existing 12" water main along E Old Quail Run available for use.
 - Minimum public sewer is 8".
 - All commercial sewer connections must be made by a proposed or existing manhole.
 - There is an existing 10" sewer main along John King Blvd and E Quail Run Road available for use.
 - Water and sanitary sewer and storm sewer must be 10' apart.
 - All public utilities must be centered in an easement. Min 20' utility easements.
 - Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
 - \$872.73/acre sewer pro-rata due.
- Roadway Paving Items:**
- All driveways must meet City spacing requirements.
 - All parking, storage, drive aisles must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
 - No gravel or asphalt allowed in any area.
 - All Parking to be 20'x9' minimum.
 - No dead-end parking allowed without an City approved turnaround.
 - Drive isles to be 24' wide.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Fire lane to be in a platted easement.
 - Culverts (if needed) must be engineer designed, 18" minimum, and reinforced concrete pipe with safety end treatments.
 - TIA is required. Review fees shall apply
 - Install 10' trail along John King.
 - Install 5' sidewalk along E. Quail Run Road.
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape berms or tree plantings shall be located on top of City utilities or within easements.



Site Tabulations	
ITEMS	
Building Area	11,114 sq.ft.
Site Area	119,877 sq.ft.
Parking Required (1/300)	37
Drop off Guling	4
Total Parking Provided	39 + 4
Handicapo Parking (Incl. in total)	2

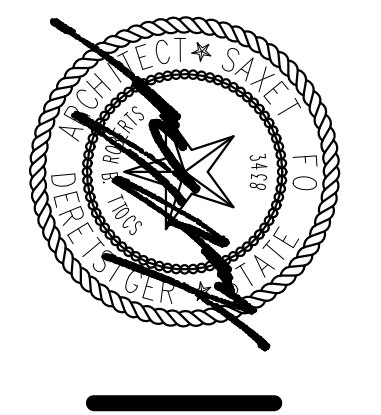
Landscape Tabulations	
ITEMS	
Site Area	119,877 sq.ft.
Landscape Area	83,381 sq.ft.
Percent Landscaped	69.5 %
50% of the required 20% landscaping	11,988 sf
Landscaped along Quail Run & John King	32,135



HARVEST ACADEMY CHILD CARE CENTER	
Owner/Developer	Lot/Block
Lisa Brooks / Renee Holland 7215 Ridge Row Rockwall, Texas 75087 214-402-22349 aalcbrooks@yahoo.com	Tract 1-04 of the S. R. Barnes Row, Abstract No 13 City of Rockwall, Rockwall County, Texas 2.751 Acres

(SUP Request) Z2025-006 (orig. zoning case)

revisions:



creativearchitects
scott b. roberts, architect

1026 creekwood drive
garland, texas 75044
972-530-4872
www.creative-architect.com
scott@cr-ar.com

Site

2025204
october 15, 2024

© copyright 2025
creative architects



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
 MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
 FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
 REPLAT (\$300.00 + \$20.00 ACRE)¹
 AMENDING OR MINOR PLAT (\$150.00)
 PLAT REINSTATEMENT REQUEST (\$100.00)
SITE PLAN APPLICATION FEES:
 SITE PLAN (\$250.00 + \$20.00 ACRE)¹
 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:
 ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
OTHER APPLICATION FEES:
 TREE REMOVAL (\$75.00)
 VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²
NOTES:
¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **JOHN KING / E. QUAIL RUN / OLD QUAIL RUN**
SUBDIVISION **TRACT 1-04 (S.R. Barnes Survey)** LOT BLOCK
GENERAL LOCATION **ABSTRACT No. 13, ROCKWALL COUNTY**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Comm- NS** CURRENT USE **NA**
PROPOSED ZONING **NS + SUP** PROPOSED USE **CHILD CARE CENTER**
ACREAGE **2.75** LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **LISA BROOKS** APPLICANT **RENEE HOLLAND**
CONTACT PERSON **LISA BROOKS** CONTACT PERSON **RENEE HOLLAND**
ADDRESS **1215 RIDGE RD W** ADDRESS **805 EAGLE PASS**

CITY, STATE & ZIP **ROCKWALL, TX 75087** CITY, STATE & ZIP **HEATH, TX 75032**
PHONE **214.402.2349** PHONE **214.402.6511**
E-MAIL **aalcbrooks@yahoo.com** E-MAIL **jholland1977@yahoo**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

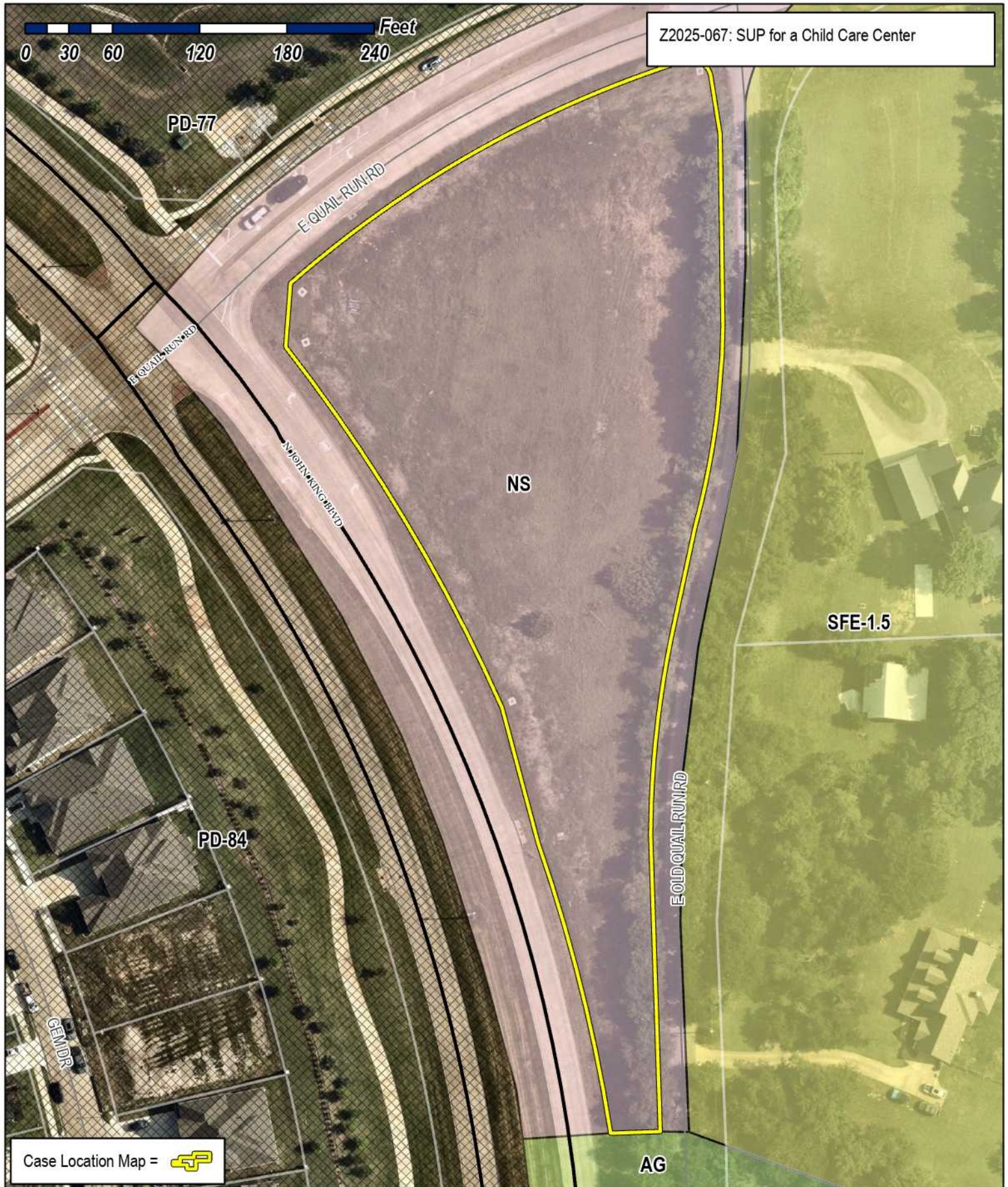
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES



Z2025-067: SUP for a Child Care Center

0 30 60 120 180 240 Feet

PD-77

EQUAIL-RUN RD

EQUAIL-RUN RD

S JOHN WING RD

NS

SFE-1.5

E OLD QUAL RUN RD

PD-84

GENOR

AG

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

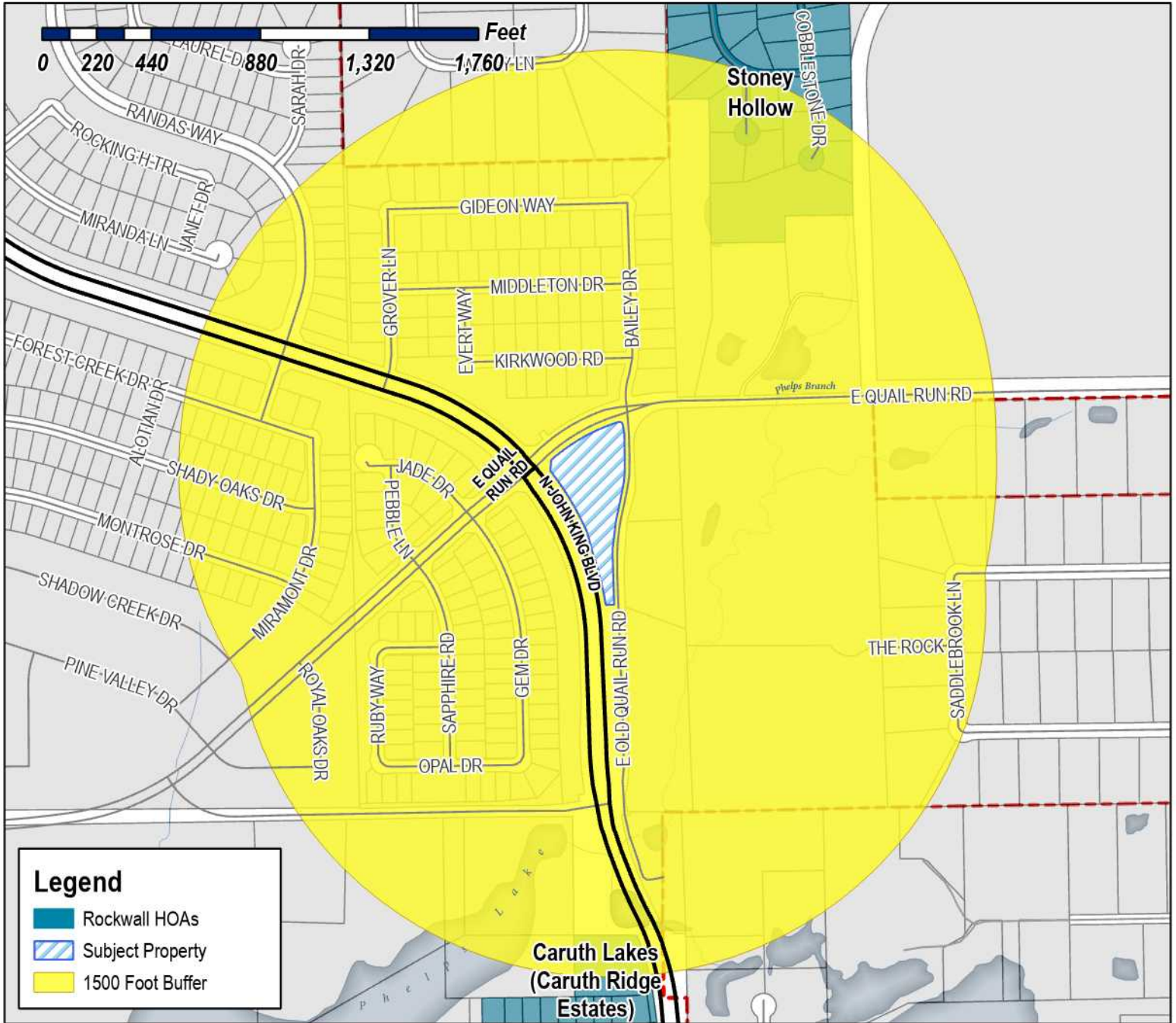




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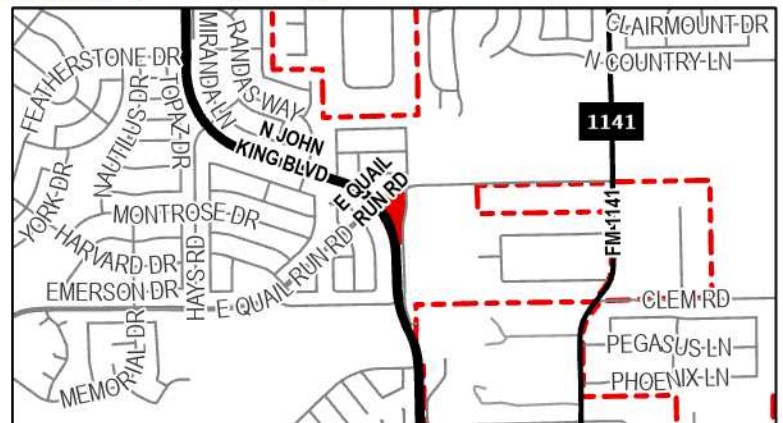


Legend

- Rockwall HOAs
- Subject Property
- 1500 Foot Buffer

Case Number: Z2025-067
Case Name: SUP for a Child Care Center
Case Type: Zoning
Zoning: Neighborhood Service (NS) District
Case Address: SE Corner of N John King and Quail Run Road

Date Saved: 10/16/2025
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Zavala, Melanie
Sent: Wednesday, October 22, 2025 12:41 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2025-067]
Attachments: Public Notice (10.20.2025).pdf; HOA Map (10.16.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-067: SUP for a Daycare Facility Exceeding the Maximum Building Size

Hold a public hearing to discuss and consider a request by Lisa Brooks and Renee Holland of Makeway, LLC for the approval of a Specific Use Permit (SUP) for a Daycare Facility Exceeding the Maximum Building Size in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

Thank you,

Melanie Zavala

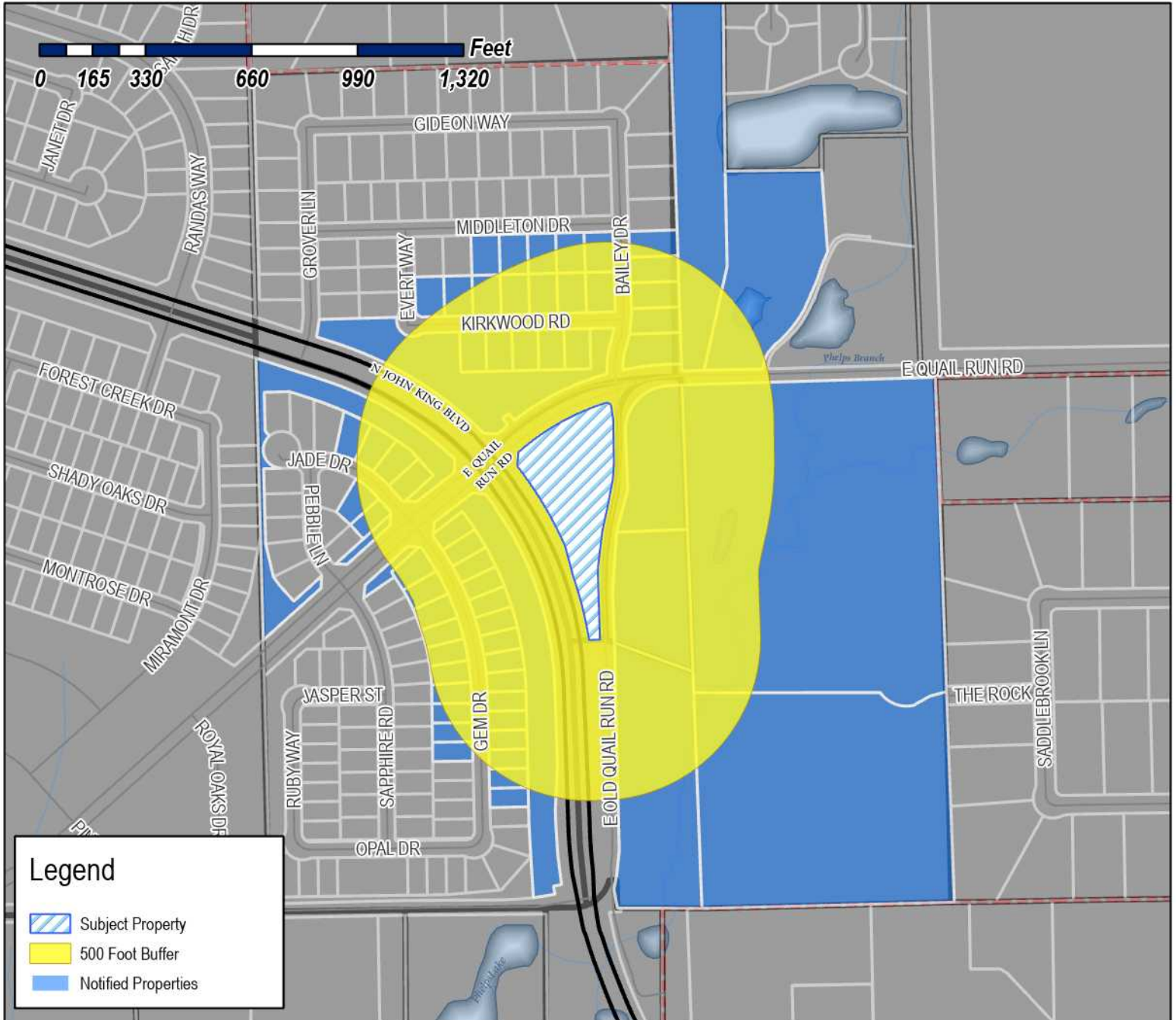
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-067
Case Name: SUP for a Child Care Center
Case Type: Zoning
Zoning: Neighborhood Service (NS) District
Case Address: SE Corner of N John King and Quail Run Road

Date Saved: 10/16/2025

For Questions on this Case Call: (972) 771-7745



GIDEON GROVE HOMEOWNERS ASSOCIATION
INC
1024 S Greenville Ave Ste 230
Allen, TX 75002

HUNTER MICHELLE ZERBE AND
TRACY GIL HUNTER
1304 KIRKWOOD ROAD
ROCKWALL, TX 75087

VALENCIA BRANDON AND AMANDA
1308 KIRKWOOD ROAD
ROCKWALL, TX 75087

SMITH SAMUEL CURTIS & CHRISTEN
SWEARENGIN
1309 Kirkwood Rd
Rockwall, TX 75087

ABU BAKR BILAL & NADIA BILAL
1311 MIDDLETON DRIVE
ROCKWALL, TX 75087

MCDANIEL TIMMY E & SHIRLEY G
1312 KIRKWOOD RD
ROCKWALL, TX 75087

WOLFGRAM FAMILY LIVING TRUST
MARK WOLFGRAM AND TIFFANY WOLFGRAM -
TRUSTEES
1313 KRIKWOOD ROAD
ROCKWALL, TX 75087

RESIDENT
1315 MIDDLETON DRIVE
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT AND ANDREA
KRISTINA
1316 KIRKWOOD RD
ROCKWALL, TX 75087

WATTS RICKY & JACQUELINE
1317 KIRKWOOD RD
ROCKWALL, TX 75087

FARRELL SALLY A AND JOHN T
1319 MIDDLETON DRIVE
ROCKWALL, TX 75087

FARRELL ERIN ELIZABETH AND TIMOTHY DANIEL
1320 KIRKWOOD ROAD
ROCKWALL, TX 75087

RUTTER KENT DOUGLAS AND MARIA ELENA
1321 KIRKWOOD ROAD
ROCKWALL, TX 75087

JORDAN RAYSHAWN AND LANDRIA
1323 MIDDLETON DRIVE
ROCKWALL, TX 75087

BOLES GEORGE AND JANET
1324 KIRKWOOD ROAD
ROCKWALL, TX 75087

KANDIMALLA RAHUL
1325 KIRKWOOD
ROCKWALL, TX 75087

SMALLWOOD GENE R AND SHIRLEY J
1327 MIDDLETON DR
ROCKWALL, TX 75087

LAMPI MATTHEW OLAVI AND LISA CHARMAGNE
1328 KIRKWOOD RD
ROCKWALL, TX 75087

KOUVELIS HILDA & PETER
1415 E QUAIL RUN RD
ROCKWALL, TX 75087

LARRIVIERE MICHAEL R & LISA J
1425 E QUAIL RUN RD
ROCKWALL, TX 75087

PACESETTER HOMES LLC
14400 THE LAKES BLVD BUILDING C SUITE 200
PFLUGERVILLE, TX 78660

TYLER WILLIAM L AND VANITA RAE
1501 THE ROCK
ROCKWALL, TX 75087

LEFERE MARCY NICOLE AND ALIDOR PHILLIP IV
1691 E Quail Run Rd
Rockwall, TX 75087

AZBILL THOMAS &
CHRISTINA CHEW
1714 GEM DR
ROCKWALL, TX 75087

BONNER URSULA L
1720 Gem Dr
Rockwall, TX 75087

HOLLOWAY BETTYE
1726 GEM DR
ROCKWALL, TX 75087

BOGISAM VENKATA RAMESHBABU &
SIREESHA KANDULA
1727 GEM DR
ROCKWALL, TX 75087

GIBSON JASON M & CAMIE
1732 GEM DR
ROCKWALL, TX 75087

RESIDENT
1733 GEM DR
ROCKWALL, TX 75087

JONES CHRISTOPHER JR & JUSTICE JONES
1738 Gem Dr
Rockwall, TX 75087

RESIDENT
1739 GEM DR
ROCKWALL, TX 75087

SKINNER PATRICIA KAY
1744 Gem Dr
Rockwall, TX 75087

RESIDENT
1745 GEM DR
ROCKWALL, TX 75087

VAIRAGYAM RAHUL & LAKSHMI
NARAYANACHARI SRIRAMACHARI
1745 Gem Dr
Rockwall, TX 75087

PICHARDO ROGER FRANCISCO AND COURTNEY
RAE
1751 E QUAIL RUN
ROCKWALL, TX 75087

RESIDENT
1800 E QUAIL RUN RD
ROCKWALL, TX 75087

JENNINGS RYNE THOMAS
1804 GEM DR
ROCKWALL, TX 75087

RESIDENT
1805 GEM DR
ROCKWALL, TX 75087

NGUYEN JASON &
KATHY HOANG DOAN
1810 GEM DR
ROCKWALL, TX 75087

RESIDENT
1815 E OLD QUAIL RUN RD
ROCKWALL, TX 75087

GREWAL MANJINDER S MANJIT K GREWAL
1815 Gem Dr
Rockwall, TX 75087

SAMUEL JOY C & DICKSON I
1816 GEM DR
ROCKWALL, TX 75087

RESIDENT
1822 GEM DR
ROCKWALL, TX 75087

MERTENS ANDREW & JENNIFER LOUISE
SIFUENTES
1823 GEM DR
ROCKWALL, TX 75087

RESIDENT
1828 GEM DR
ROCKWALL, TX 75087

RESIDENT
1831 GEM DR
ROCKWALL, TX 75087

GRACEVILLA BLESSY KUNJUMON
1832 Gem Dr
Rockwall, TX 75087

RESIDENT
1837 GEM DR
ROCKWALL, TX 75087

SCHULZE KYLER W AND
JANETTE SCHULZE
1838 GEM DR
ROCKWALL, TX 75087

PITTI VIKRAM AND
PRATHIBHA ANKALA
1844 GEM DR
ROCKWALL, TX 75087

RESIDENT
1845 GEM DR
ROCKWALL, TX 75087

RESIDENT
1850 GEM DR
ROCKWALL, TX 75087

RESIDENT
1906 JADE DR
ROCKWALL, TX 75087

RESIDENT
1907 JADE DR
ROCKWALL, TX 75087

JARAMILLO JOE & NORA
1912 JADE DR
ROCKWALL, TX 75087

BRUMFIELD ADRIENNE & STANLEY BRUMFIELD
1913 Jade Dr
Rockwall, TX 75087

LOPEZ MICHAEL A & TYLER C SMOCK-LOMBARDI
1918 Jade Dr
Rockwall, TX 75087

SIMMONS LAKEYA
1924 Jade Dr
Rockwall, TX 75087

BERHE MERHAWI
2002 BAILEY DRIVE
ROCKWALL, TX 75087

GARDNER-NEWELL FAMILY TRUST
JAMES K GARDNER JR AND KARIN B NEWELL-
COTRUSTEES
2006 BAILEY DRIVE
ROCKWALL, TX 75087

DEAPEN RICHARD AND ALICIA
2010 BAILEY DRIVE
ROCKWALL, TX 75087

HARRIS ALBERT G AND JENNIFER O
2014 BAILEY DRIVE
ROCKWALL, TX 75087

WIMPEE JAKE M AND REBECCA K
2018 BAILEY DRIVE
ROCKWALL, TX 75087

SHANE HOMES INC
325 N SAINT ST STE 3100 #2901
DALLAS, TX 75201

STOCK EDWARD J
3951 VZ COUNTY ROAD 3415
WILLS POINT, TX 75169

WINDSOR HOMES CUMBERLAND LLC
5310 Harvest Hill Rd Ste 162
Dallas, TX 75230

DFW FARMLAND ESTATES LLC
7105 N Cherokee Xing W
Warr Acres, OK 73132

MAKEWAY LLC
805 EAGLE PASS
HEATH, TX 75032

COX GERALD GLEN AND ROSALBA CARRASCO
815 T L Townsend Dr Ste 101
Rockwall, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-066: SUP for a Daycare Facility Exceeding the Maximum Building Size

Hold a public hearing to discuss and consider a request by Lisa Brooks and Renee Holland of Makeway, LLC for the approval of a *Specific Use Permit (SUP)* for a Daycare Facility Exceeding the Maximum Building Size in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-066: SUP for a Daycare Facility Exceeding the Maximum Building Size

Please place a check mark on the appropriate line below:

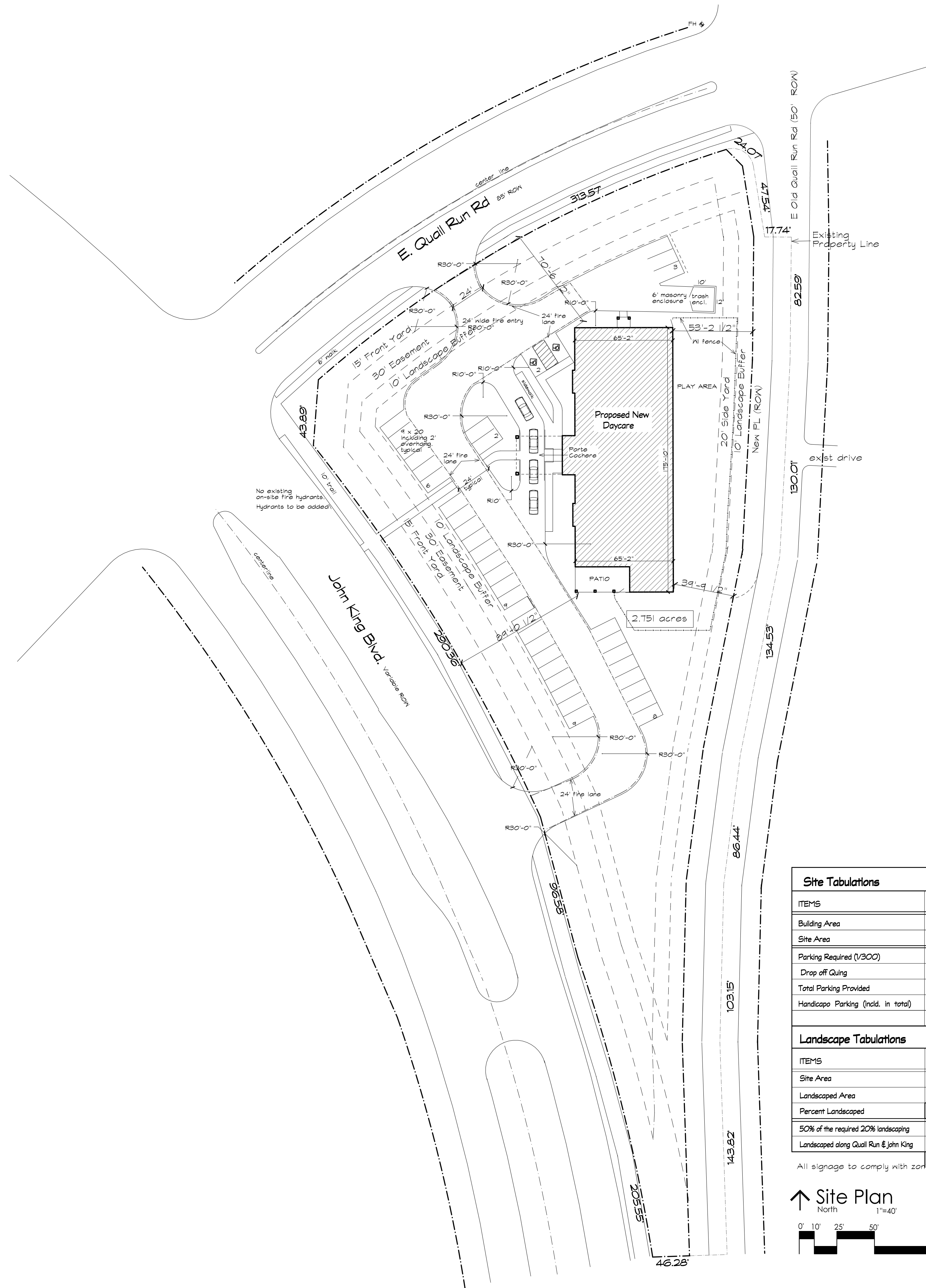
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

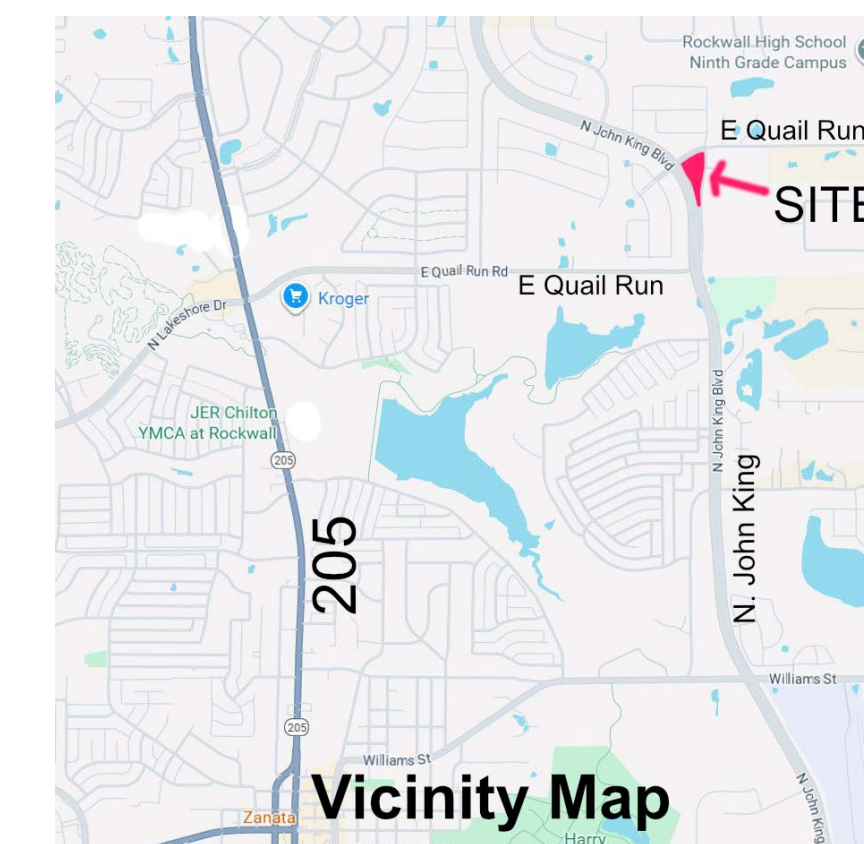
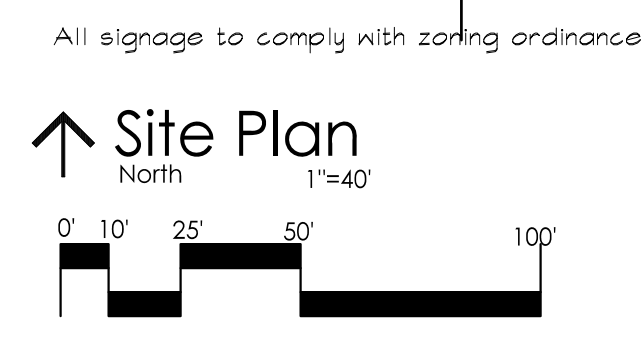
Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Site Tabulations	
ITEMS	
Building Area	11,114 sq.ft.
Site Area	119,877 sq.ft.
Parking Required (1/300)	37
Drop off Guling	4
Total Parking Provided	39 + 4
Handicapo Parking (Incl. In total)	2
Landscape Tabulations	
ITEMS	
Site Area	119,877 sq.ft.
Landscaped Area	83,381 sq.ft.
Percent Landscaped	69.5 %
50% of the required 20% landscaping	11,988 sf
Landscaped along Quail Run & John King	32,135



HARVEST ACADEMY CHILD CARE CENTER

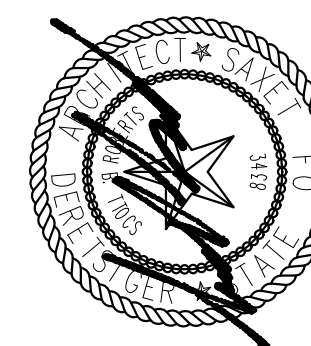
Owner/Developer	Lot/Block
Lisa Brooks / Renee Holland 7215 Ridge Row Rockwall, Texas 75087 214-402-22349 aalbrooks@yahoo.com	Tract 1-04 of the S. R. Barnes Surey, Abstract No 13 City of Rockwall, Rockwall County, Texas 2.751 Acres

(SUP Request) Z2025-006 (orig. zoning case)

revisions:

—

—



—

creativearchitects
scott b. roberts, architect

—

1026 creekwood drive
garland, Texas 75044
972-530-4872
www.creative-architect.com
scott@cr-ar.com

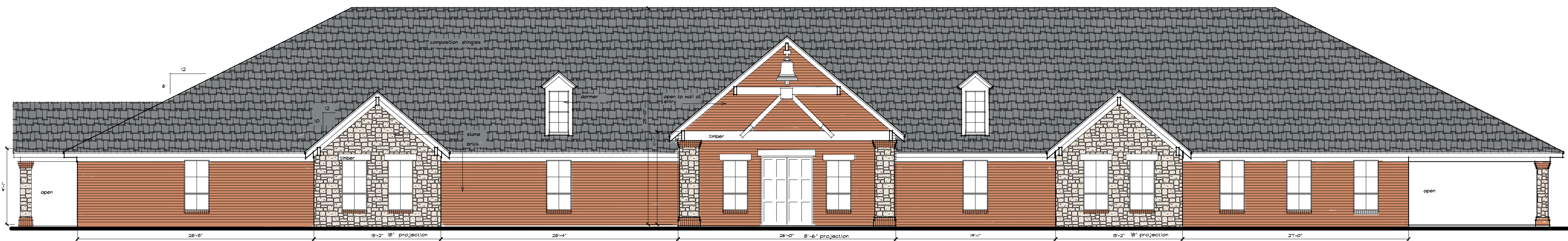
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Site

2025204
october 15, 2024

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creative architects

revisions:

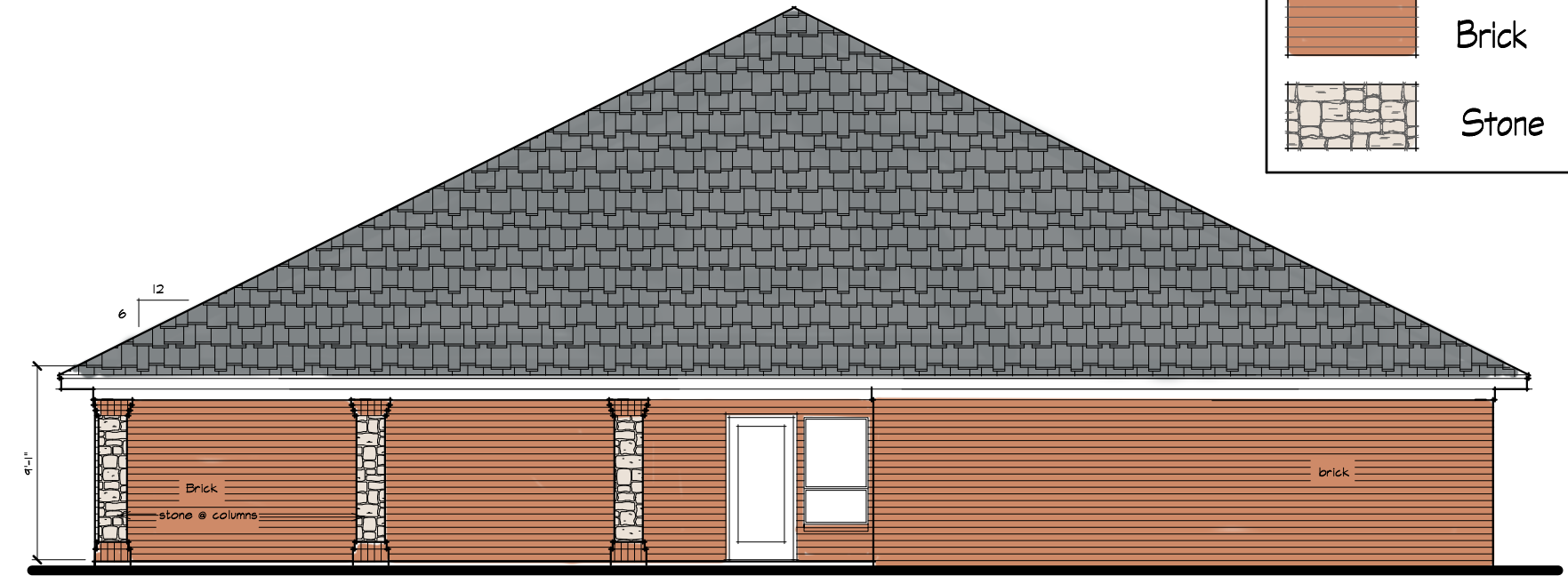


Front Elev. (West - John King Blvd.) 1/4" = 1'-0"
printed on 11" x 17" paper - 1/8" x 1'-0"

Material Legend	
	Composition Shingles
	Brick
	Stone

Masonry Tabulation				
AREAS	MASONRY SF.	SIDING SF.	TOTAL SF.	% MASONRY
FRONT	1,339	0	1,339	100
LEFT	442	0	442	100
REAR	1,163	0	1,163	100
RIGHT	488	0	488	100
TOTALS	3,432 SF.	0 SF.	3,432 SF.	100 %

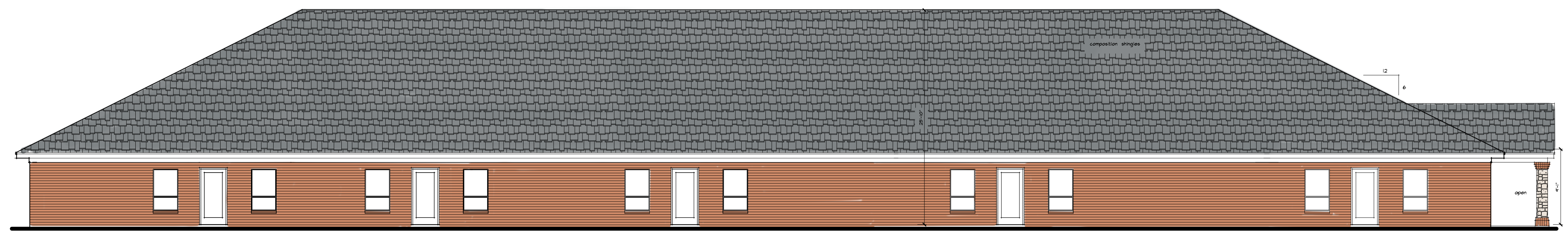
Square footages do not include doors & windows.



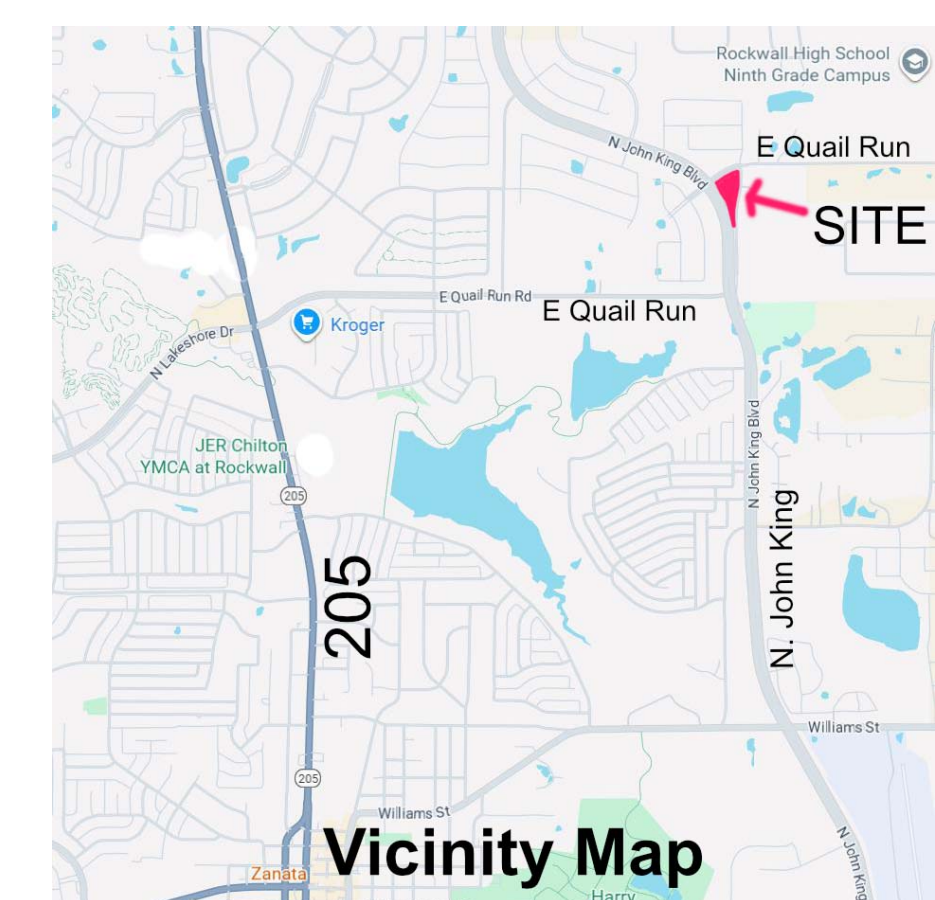
Right Elev. (South) 1/4" = 1'-0"
printed on 11" x 17" paper - 1/8" x 1'-0"



Left Elev. (West - East Quail Run Rd.) 1/4" = 1'-0"
printed on 11" x 17" paper - 1/8" x 1'-0"



Rear Elev. (E. Old Quail Run) 1/4" = 1'-0"
printed on 11" x 17" paper - 1/8" x 1'-0"



HARVEST ACADEMY CHILD CARE CENTER	
Owner/Developer	Lot/Block
Lisa Brooks / Renee Holland 7215 Ridge Row Rockwall, Texas 75087 214-402-22349 aalbrooks@yahoo.com	Tract 1-04 of the S. R. Barnes Surety, Abstract No 13 City of Rockwall, Rockwall County, Texas 2.751 Acres

(SUP Request) Z2025-006 (orig. zoning case)



creativearchitects
 scott b. roberts, architect

1026 creekwood drive
 garland, texas 75044
 972-530-4872
 www.creative-architect.com
 scott@cr-ar.com

elevations

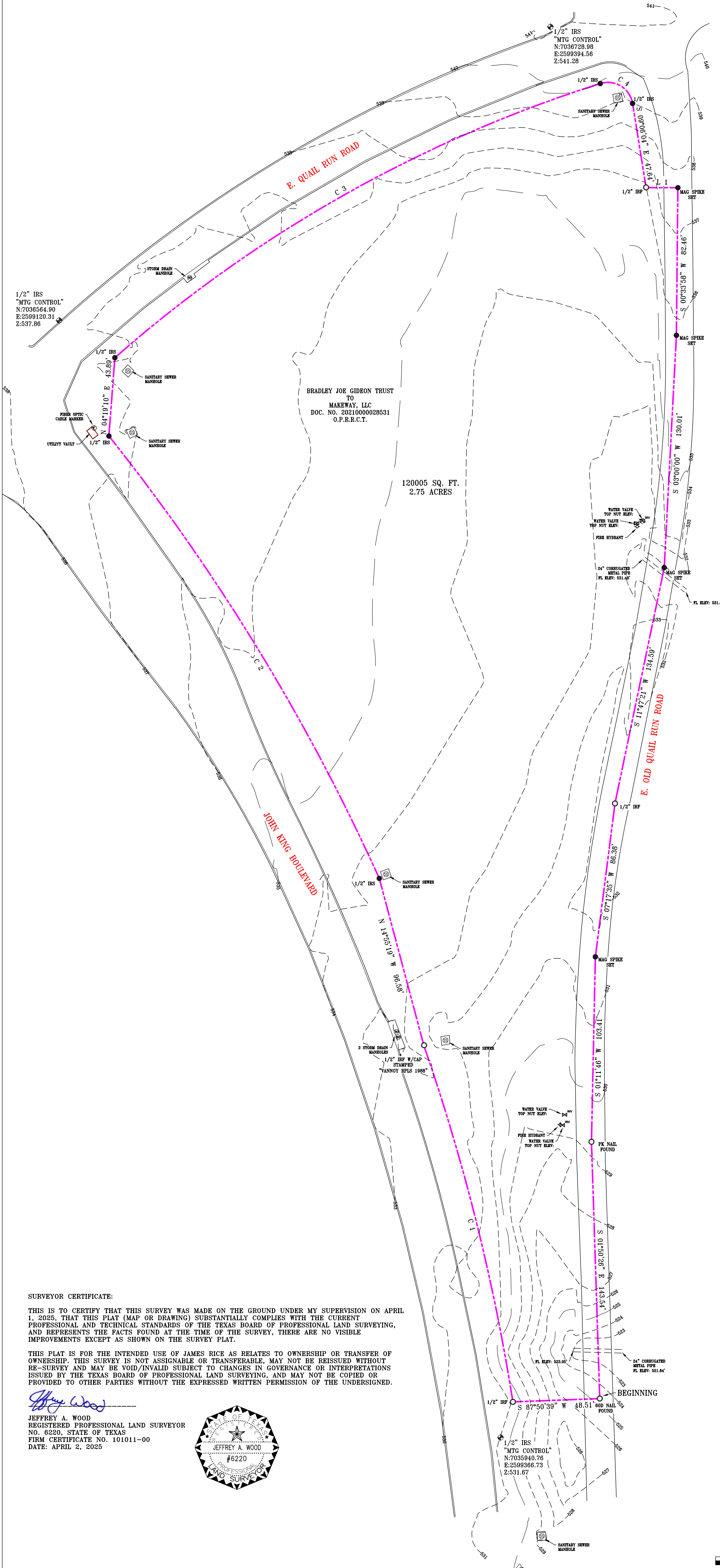
2025204
 october 15, 2024

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 creative architects

S.R. BARNES HEADRIGHT SURVEY, ABSTRACT 13

LINE	BEARING	DISTANCE
L 1	S 89°52'55" E	17.75'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C 1	1160.00'	205.55'	10°09'10"	N 14°01'14" W	205.28'
C 2	1171.00'	290.36'	14°12'25"	N 31°25'08" W	289.62'
C 3	757.50'	313.57'	23°43'04"	N 60°31'28" E	311.94'
C 4	14.00'	24.07'	98°30'28"	S 58°21'18" E	21.21'



PROPERTY DESCRIPTION
 120005 SQ. FT.
 2.75 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY

All that certain lot, tract or parcel of land situated in the S.R. Barnes Headright Survey, City of Rockwall, Rockwall County, Texas, being all of that certain tract of land described in the deed from Bradley Joe Gideon Trust to Makeway, LLC, as recorded in Document Number 20210000028531 of the Official Public Records of Rockwall County, Texas (hereinafter called Subject Tract) and being more particularly described by metes and bounds as follows:

BEGINNING at a 60d nail found for a corner lying in E. Old Quail Run Road, said corner being the Southeast corner of the said Subject Tract and an outside ell of John King Boulevard;

THENCE S. 87 deg. 50 min. 39 sec. W. a distance of 48.51 feet along the North Right-of-Way line of the said John King Boulevard and the South line of the said Subject Tract to a 1/2" iron rod found for a corner at the beginning of a circular curve to the left, said corner being the Southwest corner of the said Subject Tract;

THENCE in a Northwesterly direction along the arc of the said circular curve to the left a distance of 205.55 feet, with a radius of 1160.00 feet, a central angle of 10 deg. 09 min. 10 sec., a chord bearing of N. 14 deg. 01 min. 14 sec. W. and a chord distance of 205.28 feet along the East Right-of-Way line of the said John King Boulevard and the West line of the said Subject Tract to a 1/2" iron rod with cap stamped "VANNON RPLS 1988" found for a corner at the end of the said circular curve to the left;

THENCE N. 14 deg. 55 min. 19 sec. W. a distance of 96.58 feet along the East Right-of-Way line of the said John King Boulevard and the West line of the said Subject Tract to a 1/2" iron rod set with plastic cap stamped "MTG ENG" set (hereinafter called 1/2" iron rod set) for a corner at the beginning of a circular curve to the left;

THENCE in a Northwesterly direction along the arc of the said circular curve to the left a distance of 290.36 feet, with a radius of 1171.00 feet, a central angle of 14 deg. 12 min. 25 sec., a chord bearing of N. 31 deg. 25 min. 08 sec. W. and a chord distance of 289.62 feet along the East Right-of-Way line of the said John King Boulevard and the West line of the said Subject Tract to a 1/2" iron rod set for a corner at the end of the said circular curve to the left;

THENCE N. 04 deg. 19 min. 10 sec. E. a distance of 43.89 feet along the East Right-of-Way line of the said John King Boulevard and the West line of the said Subject Tract to a 1/2" iron rod set for a corner of the intersection of the East Right-of-Way line of the said John King Boulevard and the South Right-of-Way line of E. Quail Run Road and at the beginning of a circular curve to the right, said corner being the Northwest corner of the said Subject Tract;

THENCE in a Northeasterly direction along the arc of the said circular curve to the right a distance of 313.57 feet, with a radius of 757.50 feet, a central angle of 23 deg. 43 min. 04 sec., a chord bearing of N. 60 deg. 31 min. 28 sec. E. and a chord distance of 311.94 feet along the South Right-of-Way line of the said E. Quail Run Road to a 1/2" iron rod set for a corner at the end of the said circular curve to the right and at the beginning of a circular curve to the right;

THENCE in a Southeasterly direction along the arc of the said circular curve to the right a distance of 24.07 feet, with a radius of 14.00 feet, a central angle of 98 deg. 30 min. 28 sec., a chord bearing of S. 58 deg. 21 min. 18 sec. E. and a chord distance of 21.21 feet along the Southwest Right-of-Way line of the said E. Quail Run Road and the Northeast line of the said Subject Tract to a 1/2" iron rod set for a corner at the end of the said circular curve to the right;

THENCE S. 09 deg. 06 min. 04 sec. E. a distance of 47.64 feet along the West Right-of-Way line of the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point;

THENCE S. 89 deg. 52 min. 55 sec. E. a distance of 17.75 feet along the South Right-of-Way line of the said E. Quail Run Road and the North line of the said Subject Tract to a mag spike set for a corner lying in the said E. Old Quail Run Road, said corner being the Northeast corner of the said Subject Tract;

THENCE S. 00 deg. 33 min. 58 sec. W. a distance of 82.46 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a mag spike set for a corner at an angle point;

THENCE S. 03 deg. 00 min. 00 sec. W. a distance of 130.01 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a mag spike set for a corner at an angle point;

THENCE S. 11 deg. 47 min. 21 sec. W. a distance of 134.59 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod found for a corner at an angle point;

THENCE S. 07 deg. 17 min. 35 sec. W. a distance of 86.38 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a mag spike set for a corner at an angle point;

THENCE S. 01 deg. 11 min. 46 sec. W. a distance of 103.41 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a pk nail found for a corner at an angle point;

THENCE S. 01 deg. 50 min. 26 sec. E. a distance of 143.54 feet to the POINT OF BEGINNING and containing 120005 square feet, 2.75 acres of land.

SURVEYOR CERTIFICATE:

THIS IS TO CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION ON APRIL 1, 2025, THAT THIS PLAT (MAP OR DRAWING) SUBSTANTIALLY COMPLIES WITH THE CURRENT PROFESSIONAL AND TECHNICAL STANDARDS OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY, THERE ARE NO VISIBLE IMPROVEMENTS EXCEPT AS SHOWN ON THE SURVEY PLAT.

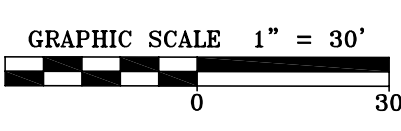
THIS PLAT IS FOR THE INTENDED USE OF JAMES RICE AS RELATES TO OWNERSHIP OR TRANSFER OF OWNERSHIP. THIS SURVEY IS NOT ASSIGNABLE OR TRANSFERABLE, MAY NOT BE REISSUED WITHOUT RE-SURVEY AND MAY BE VOID/INVALID SUBJECT TO CHANGES IN GOVERNANCE OR INTERPRETATIONS ISSUED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND MAY NOT BE COPIED OR PROVIDED TO OTHER PARTIES WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE UNDERSIGNED.

JEFFREY A. WOOD
 REGISTERED PROFESSIONAL LAND SURVEYOR
 NO. 6220, STATE OF TEXAS
 FIRM CERTIFICATE NO. 101011-00
 DATE: APRIL 2, 2025



- NOTE:
- 1) BEARING SOURCE: BEARINGS BASED UPON THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NAD-83
 - 2) ELEVATIONS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
 - 3) STORM AND SEWER MANHOLES ARE LOCKED, AND ACCESS COULD NOT BE OBTAINED.
 - 4) ALL IRON RODS SET ARE CAPPED WITH PLASTIC CAPS STAMPED "MTG ENG"
 - 5) SURVEY PREPARED WITHOUT THE BENEFIT OF TITLE COMMITMENT, SURVEYOR DID NOT RESEARCH EASEMENTS OF RECORDED OR NOT OF RECORDED.

BOUNDARY SURVEY		MTG ENGINEERS & SURVEYORS
S.R. BARNES HEADRIGHT SURVEY ABSTRACT NO. 13 FOR: MAKEWAY LLC		
Drawn By JB	Checked By JW	Project No. 250033
Dwg. Date 04/02/2025	File No. 250033	Sheet No. 250033



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A SPECIFIC USE PERMIT (SUP) FOR A DAYCARE FACILITY EXCEEDING THE MAXIMUM BUILDING SIZE IN A NEIGHBORHOOD SERVICES (NS) DISTRICT FOR A 2.751-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-04 OF THE S. R. BARNES SURVEY, ABSTRACT NO. 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Lisa Brooks and Rene'e Holland of Makeway, LLC for the approval of a *Specific Use Permit (SUP)* for a *Daycare Facility Exceeding the Maximum Building Size in a Neighborhood Services (NS) District* on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to *Exceed the Maximum Building Size in a Neighborhood Services (NS) District* in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.03, *Neighborhood Services (NS) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Daycare Facility that Exceeds the Maximum Building Size in a Neighborhood Services (NS) District* and conformance to these operational conditions are required:

- 1) The development of a *Daycare Facility* on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The development of the subject property shall generally conform to the Conceptual Building Elevations contained in *Exhibit 'C'* of this ordinance; however, the proposed *Daycare Facility* shall be subject to all of the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). Review for conformance to these requirements shall be completed with the site plan submittal. In addition, a recommendation by the Architecture Review Board (ARB) shall be required prior to approval of the building elevations by the Planning and Zoning Commission. The approval of this Specific Use Permit (SUP) shall not constitute the approval of variances or exceptions to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the *Daycare Facility*.
- 3) A 20-foot landscape buffer with three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) is required along E. Old Quail Run Road.
- 4) The proposed *Daycare Facility* shall not exceed 11,200 SF.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not

to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF DECEMBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

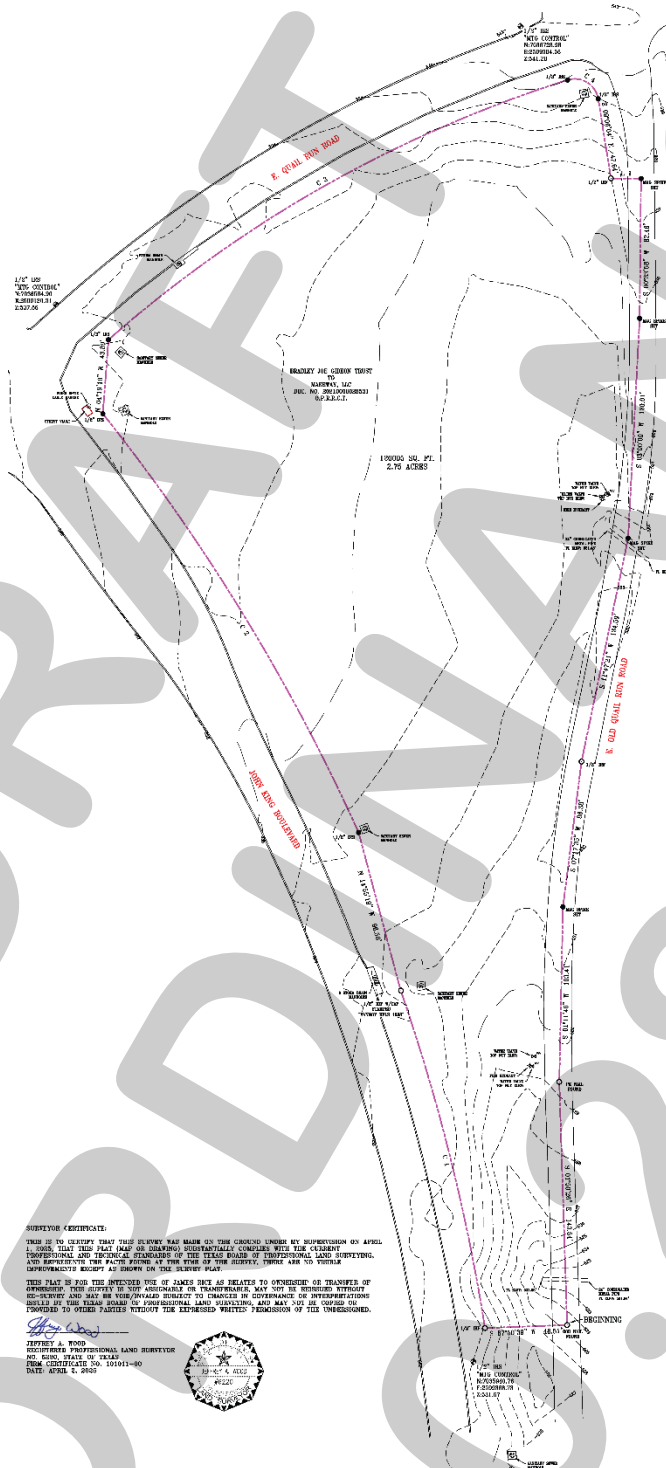
1st Reading: November 17, 2025

2nd Reading: December 1, 2025

Exhibit 'A'
Survey

S.R. BARNES HEADRIGHT SURVEY, ABSTRACT 13

Table with 6 columns: LINE, BEARING, DISTANCE, CORNER, BEARING, DISTANCE. It lists survey points and bearings.



PROPERTY DESCRIPTION
12000 SQ. FT.
CITY OF ROCKWALL, ROCKWALL COUNTY

All that certain lot, tract or parcel of land situated in the S.R. Barnes Headright Survey, City of Rockwall, Tarrant County, Texas, containing 12,000 square feet of land, more or less, as shown on the plat of said survey, and as more particularly described by meter and bounds as follows:

BOUNDARY as a 1/2" iron rod found for a corner lying to the East of the East Side Road, said corner being the Southern corner of the said Subject Tract and to outside of the East Side Road.

TRVERSE S 87 deg. 05 min. 59 sec. W a distance of 48.61 feet along the North Right-of-Way line of the said East Side Road and the West line of the said Subject Tract to a 1/2" iron rod found for a corner at the beginning of a circular curve to the left, said corner being the Southern corner of the said Subject Tract.

TRVERSE is a Northwesterly direction along the arc of the said circular curve to the left a distance of 204.3 feet with a radius of 118.0 feet, a central angle of 11.5 deg. 19 min. 19 sec. a chord bearing of N 19 deg. 01 min. 14 sec. W and a chord distance of 202.28 feet along the North Right-of-Way line of the said East Side Road and the West line of the said Subject Tract to a 1/2" iron rod with cap stamped "ANNON 1943" found for a corner at the end of the said circular curve to the left.

TRVERSE N 14 deg. 05 min. 19 sec. W a distance of 36.56 feet along the North Right-of-Way line of the said East Side Road and the East line of the said Subject Tract to a 1/2" iron rod with cap stamped "MTG ENG" an (Inscribed) called 1/2" iron rod set for a corner at the beginning of a circular curve to the left.

TRVERSE is a Northwesterly direction along the arc of the said circular curve to the left a distance of 248.28 feet with a radius of 117.0 feet, a central angle of 13 deg. 12 min. 25 sec. a chord bearing of N 19 deg. 01 min. 14 sec. W and a chord distance of 246.28 feet along the North Right-of-Way line of the said East Side Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at the end of the said circular curve to the left.

TRVERSE N 14 deg. 19 min. 19 sec. E a distance of 48.89 feet along the North Right-of-Way line of the said East Side Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at the intersection of the East Right-of-Way line of the said East Side Road and the South Right-of-Way line of the said East Side Road and at the beginning of a circular curve to the right, said corner being the Northeast corner of the said Subject Tract.

TRVERSE is a Northwesterly direction along the arc of the said circular curve to the right a distance of 315.31 feet with a radius of 157.50 feet, a central angle of 23 deg. 23 min. 41 sec. a chord bearing of N 49 deg. 31 min. 28 sec. E and a chord distance of 311.21 feet along the North Right-of-Way line of the said East Side Road and the North line of the said Subject Tract to a 1/2" iron rod set for a corner at the end of the said circular curve to the right.

TRVERSE S 80 deg. 06 min. 04 sec. E a distance of 47.84 feet along the North Right-of-Way line of the said East Side Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 80 deg. 02 min. 02 sec. E a distance of 17.76 feet along the North Right-of-Way line of the said East Side Road and the North line of the said Subject Tract to a 1/2" iron rod set for a corner lying to the East of the East Side Road, said corner being the Northeast corner of the said Subject Tract.

TRVERSE S 80 deg. 25 min. 02 sec. W a distance of 82.43 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 80 deg. 00 min. 09 sec. W a distance of 158.61 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 87 deg. 17 min. 25 sec. W a distance of 66.28 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 87 deg. 11 min. 48 sec. W a distance of 102.41 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 91 deg. 22 min. 28 sec. E a distance of 148.14 feet to the POINT OF BEGINNING and commencing thence south 270 acres of land.

SUBJECT CERTIFICATE

THIS IS TO CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION ON APRIL 1, 2025, THAT THE FACTS HEREON SHOWN SUBSTANTIALLY COMPLY WITH THE CURRENT PROFESSIONAL AND TECHNICAL STANDARDS OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND ACCORDING TO THE FACTS FOUND AT THE TIME OF THIS SURVEY, THERE ARE NO OTHER APPROXIMATE EXCEPT AS SHOWN ON THE SURVEY.

THIS PLAN IS FOR THE PURPOSE OF THE JAMES BEET AS RELATES TO OPERATIONS OR TRANSFER OF OPERATIONS. THIS SURVEY IS NOT ASSIGNABLE OR TRANSFERABLE, AND MAY NOT BE REPRODUCED WITHOUT PERMISSION AND MAY BE REVOKED SUBJECT TO CHANGES IN CONFORMANCE OF REGULATIONS ISSUED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND MAY NOT BE COPIED OR FORWARDED TO OTHER PARTIES WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE UNDERSIGNED.

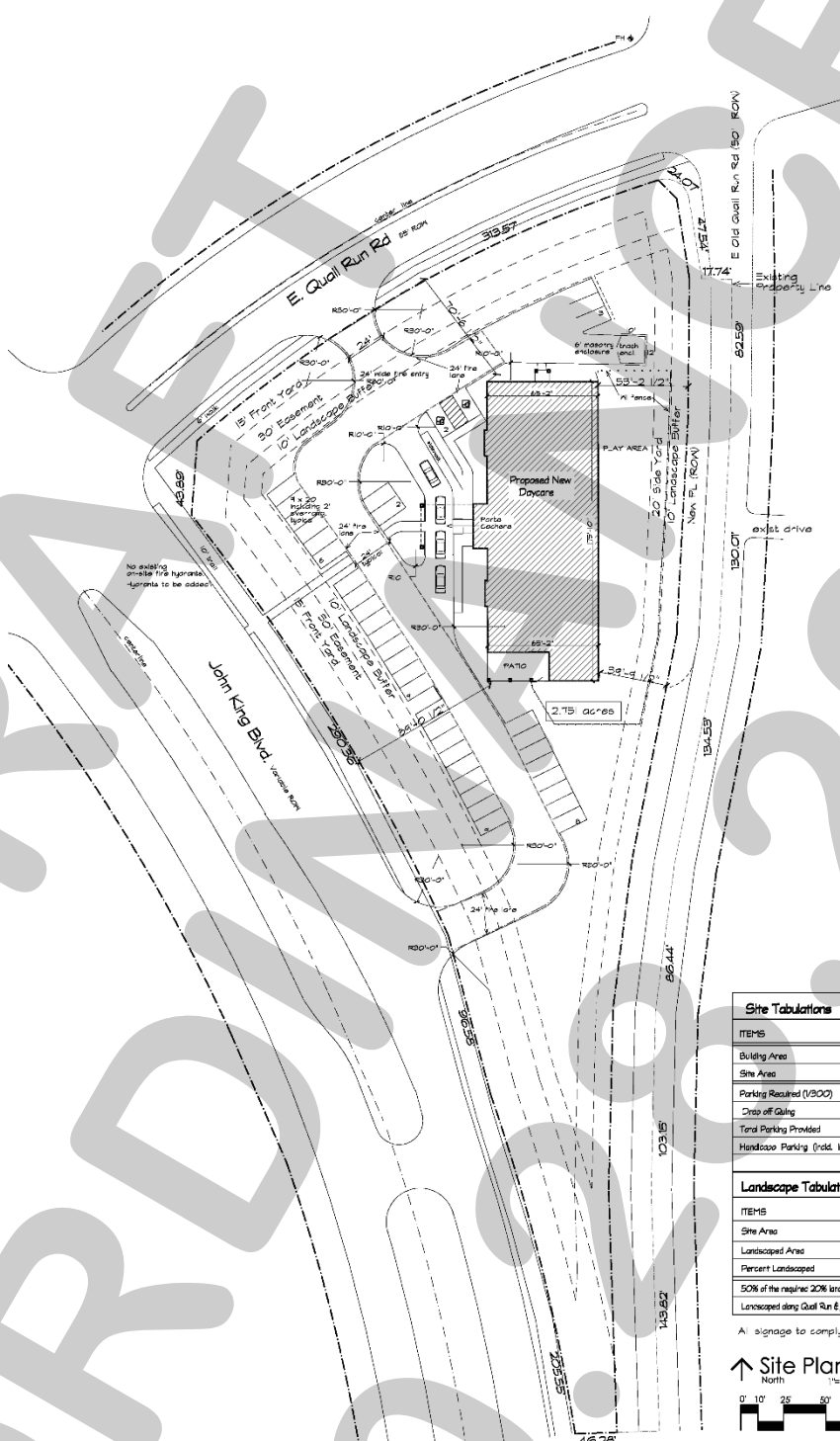
JEFFREY A. POOD
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 123456789
EXPIRES 01/01/2028
DATE: APRIL 1, 2025

- NOTE:
- 1) BEARING ANGLES MEASURED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS STATE CENTRAL ZONE 43E, NAD-83
 - 2) MEASUREMENTS MADE FROM THE NORTH AMERICAN VERTICAL DATUM OF 1988 (VDAT88)
 - 3) STONE AND IRON NAIL MARKERS AND SIGNALS, AND ANGLES WERE NOT MEASURED
 - 4) ALL DISTANCES ARE IN FEET, UNLESS OTHERWISE SPECIFIED
 - 5) SURVEY INSTRUMENTS USED: SOUTHERN INSTRUMENTS, SOUTHERN INSTRUMENTS, SOUTHERN INSTRUMENTS
 - 6) BEARING ANGLES WERE MEASURED BY THE FOLLOWING METHOD: SOUTHERN INSTRUMENTS, SOUTHERN INSTRUMENTS, SOUTHERN INSTRUMENTS

BOUNDARY SURVEY
S. R. BARNES HEADRIGHT SURVEY
J. A. POOD
APRIL 1, 2025
GRAPHIC SCALE 1" = 50'

Z2025-067, Special Use Permit (SOP) for a
Daycare Facility
Ordinance No. 25-XX, S-3XX

Exhibit 'B'
Concept Plan



Site Tabulations	
ITEMS	
Building Area	11,114 sq.ft.
Site Area	119,877 sq.ft.
Parking Required (1/300)	37
Drop off/ Pick up	4
Total Parking Provided	39 + 4
Handicap Parking (req'd. in total)	2

Landscape Tabulations	
ITEMS	
Site Area	119,877 sq.ft.
Landscape Area	63,381 sq.ft.
Percent Landscaped	69.5 %
50% of the required 20% landscaping	1,858 sf
Landscape along Quail Run & John King	32,195

All signage to comply with zoning ordinance.

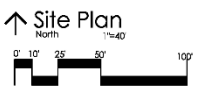
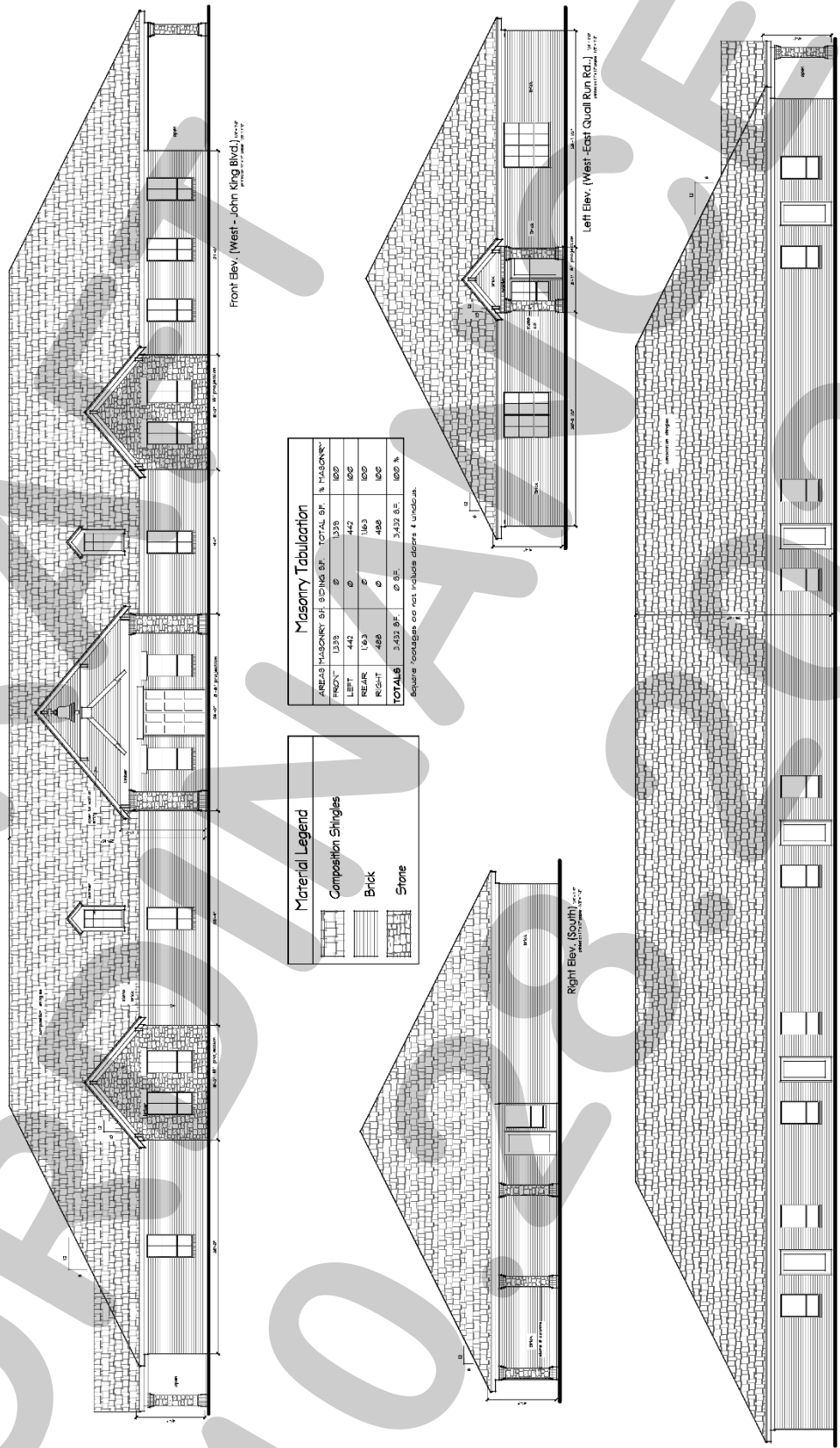


Exhibit 'C'

Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2025

PROJECT NUMBER: Z2025-068
PROJECT NAME: SUP for a Recording Studio
SITE ADDRESS/LOCATIONS: 206 E. Washington Street

CASE CAPTION: Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a Specific Use Permit (SUP) to allow a Recording Studio on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/24/2025	Approved w/ Comments

10/24/2025: Z2025-068; Specific Use Permit (SUP) for a Recording Studio
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) to allow a Recording Studio on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2025-068) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.02(K)(15), Recording Studio, of Article 13, Definitions, of the Unified Development Code (UDC), states that a Recording Studio is a "...facility that provides an environment for the purposes of writing, collaborating, performing, instruction, preparing, or completing audio recordings."
- I.5 The subject property is zoned Downtown (DT) District. In the Downtown (DT) District the Recording Studio land use is permitted by Specific Use Permit (SUP). The SUP process allows "...discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In addition, the Specific Use Permit (SUP) allows the Planning and Zoning Commission and City Council the discretion to consider certain land uses to mitigate for the proliferation of one (1) land use within close proximity to each other.
- I.6 The subject property was formally used as a Music Studio (i.e. School of Rock) and the applicant is now opening a new Music Studio. As part of this business, the applicant has indicated that they would like the flexibility of incorporating a Recording Studio as an accessory to the primary land use of a Music Studio.
- I.7 The proposed Recording Studio shall be required to follow the Noise Requirements outlined in Article IV, Noise, of Chapter 16, Environment, of the Municipal Code of Ordinances.
- M.8 Ordinances. Please review the attached draft ordinance prior to the October 28, 2025 Planning & Zoning Commission Work Session meeting, and provide staff with your markups by November 4, 2025.

I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 11, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 28, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on November 11, 2025.

I.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be November 17, 2025 (1st Reading) and December 1, 2025 (2nd Reading).

I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. Please note that the applicant or a representative will need to be present for the case to be considered by the Planning and Zoning Commission or City Council.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 206 E Washington St.

SUBDIVISION _____ LOT 213 BLOCK 5

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE music & office

PROPOSED ZONING _____ PROPOSED USE Add Recording Studio

ACREAGE .012 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Kevin Lafere</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Randy Lee Aragon</u>
CONTACT PERSON	<u>klafere@zanatas.com</u>	CONTACT PERSON	<u>Randy Lee Aragon</u>
ADDRESS	_____	ADDRESS	<u>206 E Washington</u>
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	<u>Rockwall, TX, 75087</u>
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

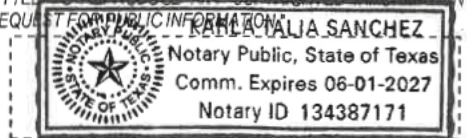
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Lafere [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

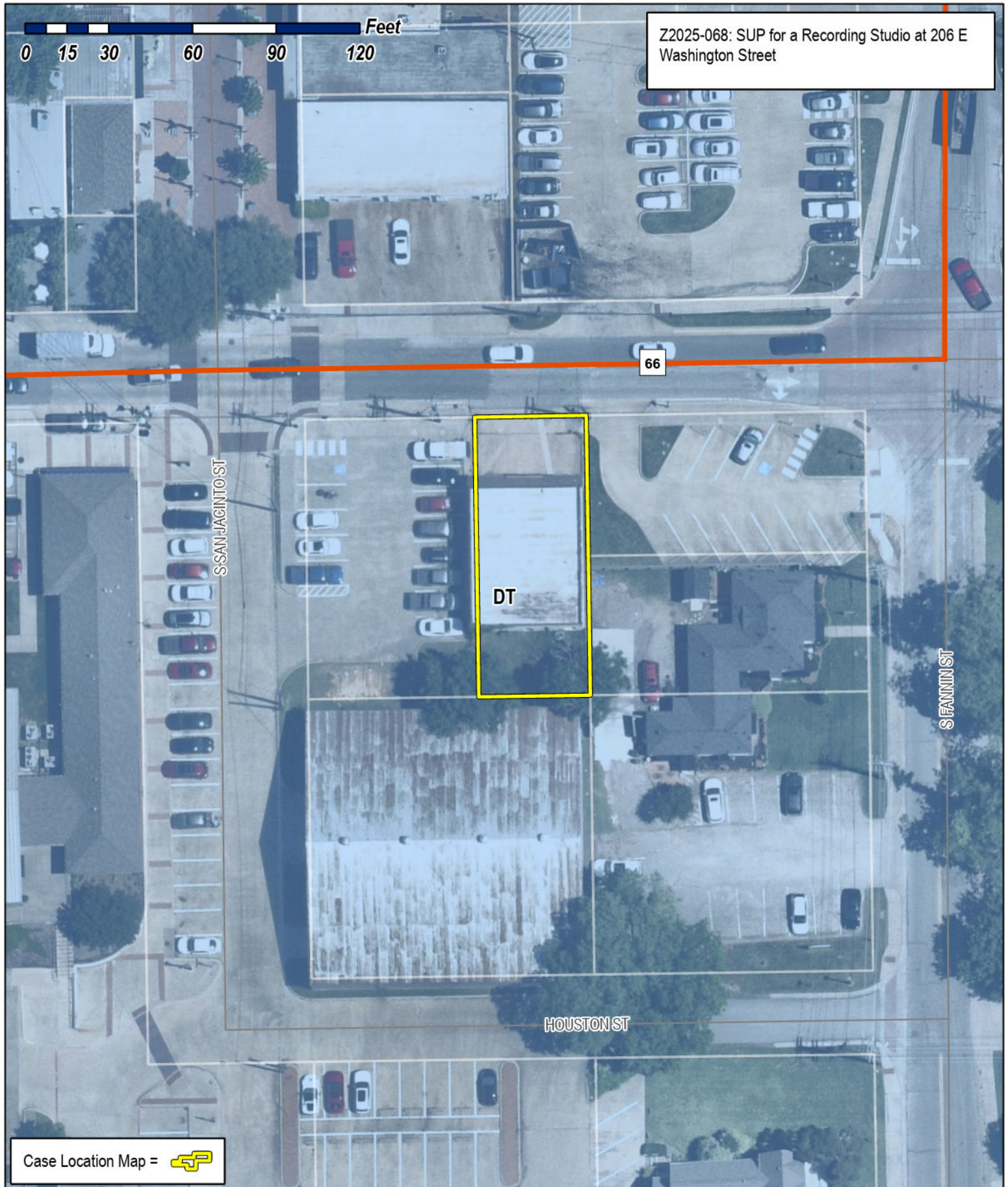
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF October, 2025

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 6-1-27



Z2025-068: SUP for a Recording Studio at 206 E Washington Street

DT

S SAN JACINTO ST

HOUSTON ST

S FANNIN ST

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

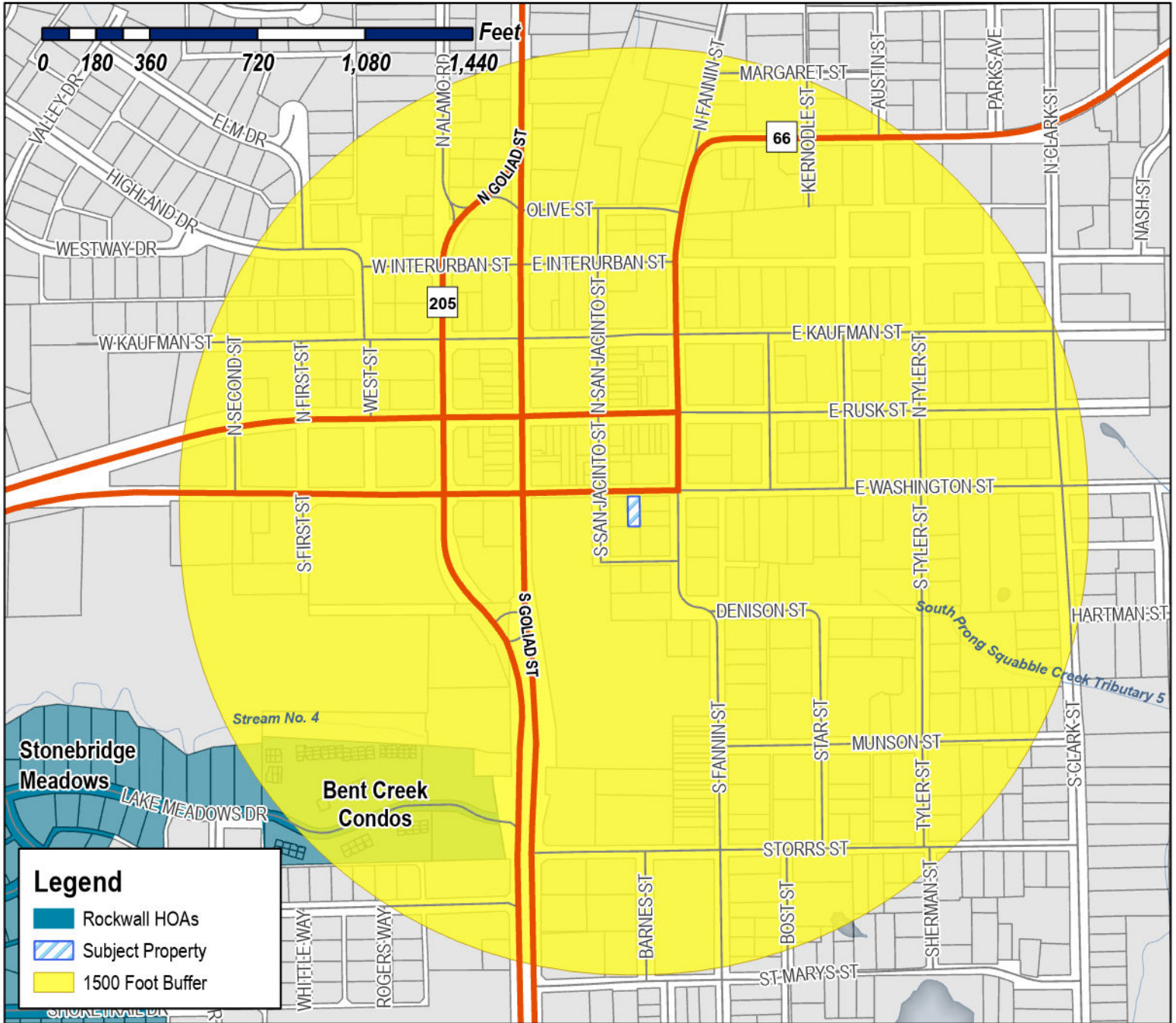




City of Rockwall

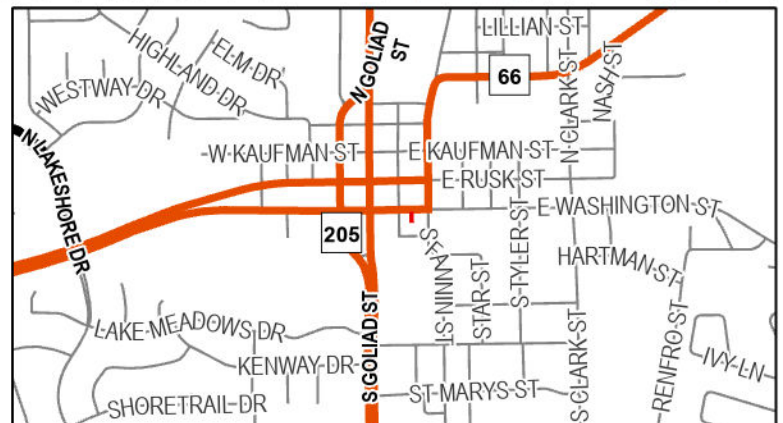
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2025-068
Case Name: SUP for a Recording Studio
Case Type: Zoning
Zoning: Downtown (DT) District
Case Address: 206 E Washington Street

Date Saved: 10/17/2025
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Zavala, Melanie
Sent: Wednesday, October 22, 2025 12:37 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2025-068]
Attachments: Public Notice (10.20.2025).pdf; HOA Map (10.17.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-068: SUP for a Recording Studio

Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a *Specific Use Permit (SUP)* to allow a *Recording Studio* on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.

Thank you,

Melanie Zavala

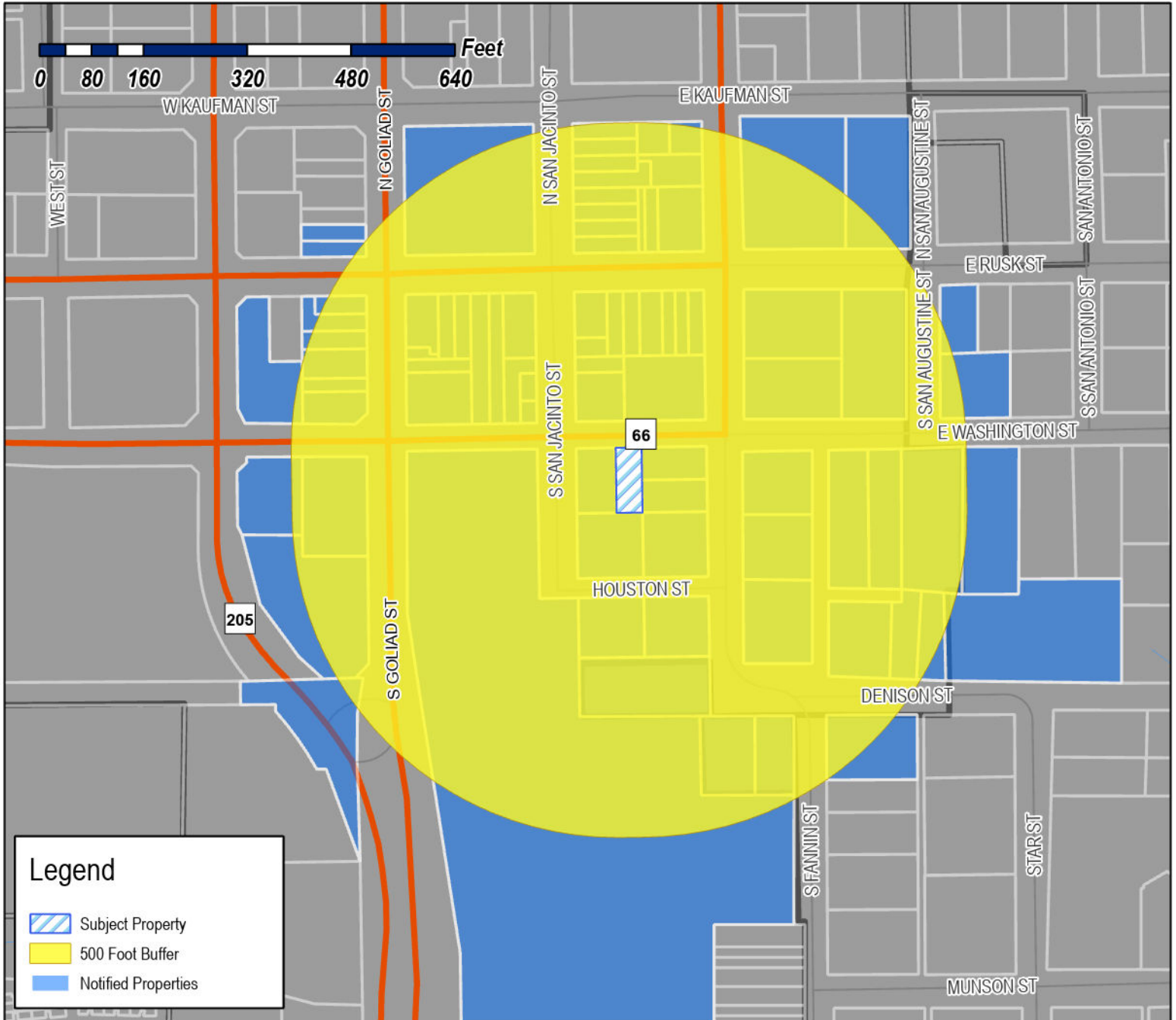
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](http://www.rockwalltx.gov/planning-zoning)
972-771-7745 Ext. 6568



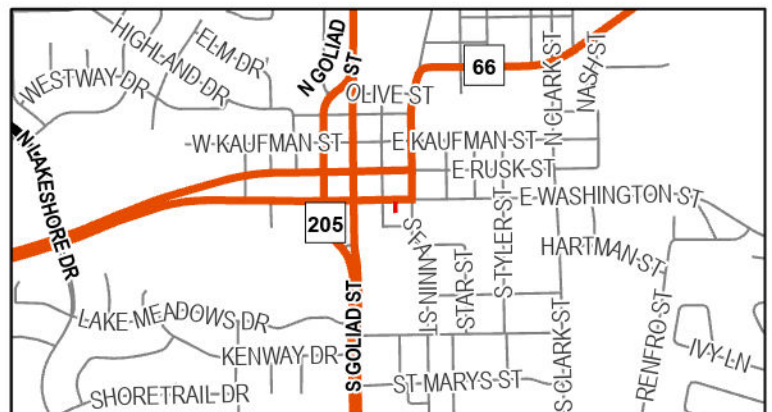
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-068
Case Name: SUP for a Recording Studio
Case Type: Zoning
Zoning: Downtown (DT) District
Case Address: 206 E Washington Street



Date Saved: 10/17/2025

For Questions on this Case Call: (972) 771-7745

RESIDENT
101 E RUSK
ROCKWALL, TX 75087

RESIDENT
101 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
101 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
101 S FANNIN ST
ROCKWALL, TX 75087

LATHAM MARK
1010 RIDGE ROAD COURT
ROCKWALL, TX 75087

RESIDENT
102 E RUSK
ROCKWALL, TX 75087

RESIDENT
102 N SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
102 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
102 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
103 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
103 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
103 S SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
104 N SAN JACINTO
ROCKWALL, TX 75087

MASONIC LODGE
C/O JERRY FOUST
104 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
105 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
105 W WASHINGTON
ROCKWALL, TX 75087

SKY 306 E WASHINGTON SERIES LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

SKY 101 N GOLIAD SERIES LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

SKY 103 N GOLIAD SERIES LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

SKY 106 E RUSK SERIES LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

SKY 101 S FANNIN SERIES LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

SKY 111-115 S GOLIAD SERIES LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

SKY 2- 109 S GOLIAD SERIES LLC, A SERIES OF
SKY ASSET HOLDINGS 2 LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

SITST 114 E RUSK SERIES LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

RESIDENT
106 N SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
106 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
106 S SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
107 S GOLIAD
ROCKWALL, TX 75087

GMDR PROPERTIES LLC
107 S SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
108 FANNIN ST
ROCKWALL, TX 75087

RESIDENT
108 SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
108 E RUSK
ROCKWALL, TX 75087

RESIDENT
108 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
108 S SAN JACINTO
ROCKWALL, TX 75087

ASHMOREX2, LLC
108 S SAN JACINTO ST
ROCKWALL, TX 75087

RESIDENT
109 E WASHINGTON
ROCKWALL, TX 75087

112 E RUSK ST LLC
109 ELM CREST DR
ROCKWALL, TX 75087

RESIDENT
109 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
110 E RUSK
ROCKWALL, TX 75087

RESIDENT
110 N SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
110 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
111 W RUSK
ROCKWALL, TX 75087

RESIDENT
112 E RUSK
ROCKWALL, TX 75087

RESIDENT
112 N SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
114 E RUSK
ROCKWALL, TX 75087

RESIDENT
114 N SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
115 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
116 E RUSK
ROCKWALL, TX 75087

RESIDENT
116 N SAN JACINTO
ROCKWALL, TX 75087

HUGHES THOMAS P
1209 S LAKESHORE DR
ROCKWALL, TX 75087

TOVAR JOSE G & FELIPA
1269 S. MUNSON RD
ROYSE CITY, TX 75189

DIVINE PEACE EVANGELICAL LUTHERAN
CHURCH
A TEXAS NON-PROFIT CORPORATION
1346 PLEASANT VALLEY ROAD
GARLAND, TX 75040

GROOVYS BUSINESS PROPERTIES LLC
138 SAWGRASS DR
ROCKWALL, TX 75032

JOHNSON GREGORY DON AND SANDRA
1390 GOLD COAST DR
ROCKWALL, TX 75087

HEFFERNAN MARILYN
1480 BLUEBELL DRIVE
ESTES PARK, CO 80517

HEFFERNAN MARILYN
1480 BLUEBELL DRIVE
ESTES PARK, CO 80517

FOX WILLIAM G & ALISON L
1601 BAY CREST TRL
HEATH, TX 75032

JS2 PROPERTIES LLC
1717 Main St Ste 2950
Dallas, TX 75201

JS2 PROPERTIES LLC
1717 Main St Ste 2950
Dallas, TX 75201

ROBERSON RAY ETUX
201 E WASHINGTON
ROCKWALL, TX 75087

RESIDENT
201 E WASHINGTON
ROCKWALL, TX 75087

VS ROWLETT, LLC
202 E RUSH ST
ROCKWALL, TX 75087

RESIDENT
202 E RUSK
ROCKWALL, TX 75087

Z ROCK BUILDING LLC
202 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
202 E WASHINGTON
ROCKWALL, TX 75087

RESIDENT
202 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
203 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
203 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
204 E KAUFMAN
ROCKWALL, TX 75087

WILLESS LADONA
204 S FANNIN ST
ROCKWALL, TX 75087

WILLESS LADONA
204 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
205 S SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
206 E WASHINGTON ST
ROCKWALL, TX 75087

RESIDENT
206 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
206.5 E RUSK
ROCKWALL, TX 75087

HALL J BLAKELEY
207 E RUSK ST
ROCKWALL, TX 75087

GARLAND FRENCH PEAR LLC
C/O STEPHEN HARRY HOEGGER
2082 QUAIL RUN ROAD
WYLIE, TX 75098

PRUITT JAMES PRESTON
209 Stonebridge Dr
Rockwall, TX 75087

RESIDENT
210 HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
210 E RUSK
ROCKWALL, TX 75087

RESIDENT
210 E WASHINGTON
ROCKWALL, TX 75087

RESIDENT
212 E RUSK
ROCKWALL, TX 75087

RESIDENT
213 E RUSK
ROCKWALL, TX 75087

TURNER V H
214 E RUSK
ROCKWALL, TX 75087

RESIDENT
216 E RUSK
ROCKWALL, TX 75087

EXODUS 314 INVESTMENTS LLC
221 BLUE HERON LN
HEATH, TX 75032

ROCKWALL MERCANTILE LTD
2255 Ridge Rd Ste 208
Rockwall, TX 75087

RESIDENT
301 DENNISON
ROCKWALL, TX 75087

RESIDENT
302 S FANNIN ST
ROCKWALL, TX 75087

PEOPLES BILLY W
302 S GOLIAD ST
ROCKWALL, TX 75087

TOVAR JUSTINO & ADELINA
303 DENISON ST
ROCKWALL, TX 75087

TOVAR JUSTINO ET UX
303 DENISON ST
ROCKWALL, TX 75087

RESIDENT
303 E RUSK
ROCKWALL, TX 75087

ERUDITE INCORPORATED
305 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
305 S FANNIN ST
ROCKWALL, TX 75087

DEWAYNE CAIN CHILD'S TRUST, DEWAYNE
CAIN-TRUSTEE, AMY DAWN CAIN 2012 L
PAT BEAIRD-TRUSTEE, CHRISTOPHER PAUL CAIN
2012 LONG TERM TRU
305 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

DEWAYNE CAIN CHILD'S TRUST, DEWAYNE
CAIN-TRUSTEE, AMY DAWN CAIN 2012 L
PAT BEAIRD-TRUSTEE, CHRISTOPHER PAUL CAIN
2012 LONG TERM TRU
305 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

TRINITY HARBOR CHURCH
306 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
306 E WASHINGTON
ROCKWALL, TX 75087

RESIDENT
306 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
306 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
308 E WASHINGTON
ROCKWALL, TX 75087

GSJ PROPERTIES LLC
308 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
308 S FANNIN ST
ROCKWALL, TX 75087

HUMPHREY GARY B ET UX
310 E WASHINGTON ST
ROCKWALL, TX 75087

RESIDENT
310 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
311 DENISON ST
ROCKWALL, TX 75087

CAFFEY MICHAEL M
311 S FANNIN ST
ROCKWALL, TX 75087

ROBERT COOK ESTATE
C/O ALICIA COOK
3727 N TOWN EAST BLVD APT 77
MESQUITE, TX 75150

RESIDENT
385 S GOLIAD
ROCKWALL, TX 75087

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

WELCH DAVID T & TERRY E
401 E WASHINGTON STREET
ROCKWALL, TX 75087

RESIDENT
402 E RUSK
ROCKWALL, TX 75087

KILPATRICK KENDRA
402 E WASHINGTON ST
ROCKWALL, TX 75087

SHIPLEY ZACHARY S AND
JASON SHIPLEY
412 RENFRO ST
ROCKWALL, TX 75087

RUTH DIANE RUSSELL TRUST
RUTH DIANE RUSSELL- TRUSTEE
500 WILLIAMS ST
WAXAHACHIE, TX 75165

105 WEST WASHINGTON LLC
502 TERRY LANE
HEATH, TX 75032

SMITH ROBERT & MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

GRAY PEGGY JO
521 KATHY DR
MESQUITE, TX 75149

ROCKWALL 4 LLC
5818 PORTSMOUTH LANE
DALLAS, TX 75252

HENDRICKS 7 PROPERTIES LLC SERIES 3
5903 VOLUNTEER PLACE
ROCKWALL, TX 75032

HENDRICKS 7 PROPERTIES LLC SERIES1
5903 VOLUNTEER PLACE
ROCKWALL, TX 75032

HENDRICKS 7 PROPERTIES LLC SERIES 2
5903 VOLUNTEER PLACE
ROCKWALL, TX 75032

ODOM JAY
601 N FANNIN ST
ROCKWALL, TX 75087

KING PACIFIC INC
8100 GREENSBORO DR
PLANO, TX 75025

SHIELDS MICHAEL L
811 S ALAMO RD
ROCKWALL, TX 75087

SANCHES MANUEL R AND MARIA DEL CARMEN
SANCHEZ
912 REFLECTION CT
ROCKWALL, TX 75032

SANCHES MANUEL R AND MARIA DEL CARMEN
SANCHEZ
912 REFLECTION CT
ROCKWALL, TX 75032

JO SUNGRAE
960 MIDNIGHT PASS
ROCKWALL, TX 75087

COUNTY OF ROCKWALL
COURTHOUSE
ROCKWALL, TX 75087

ONCOR ELECTRIC DELIVERY COMPANY
PO BOX 139100
DALLAS, TX 75313

CHRIST FOR INDIA
PO BOX 271086
DALLAS, TX 75227

ROCKWALL LIONS CLUB
C/O OLIVER R SPILLER
PO BOX 663
ROCKWALL, TX 75087

COLLIN-G PROPERTIES LTD
PO BOX 847
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-068: SUP to allow a Recording Studio

Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a Specific Use Permit (SUP) to allow a Recording Studio on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-068: SUP to allow a Recording Studio

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No.

Washington Street in the City of Rockwall

being described

as follows:

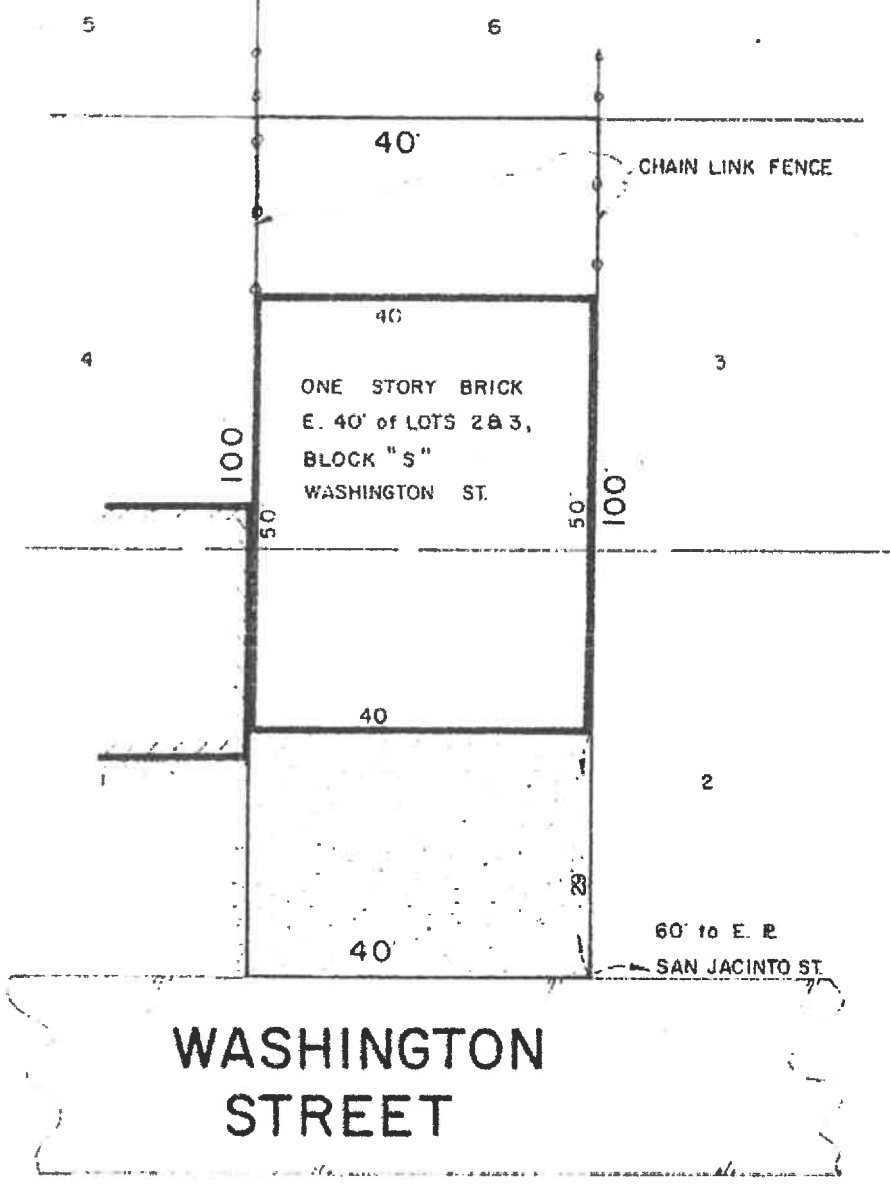
Lot No. East 40' of Lots 2 and 3, Block No. S, City Block No. _____

of Original Town of Rockwall, an addition to the City of Rockwall

Texas, according to the filed plot thereof recorded in Vol. 1, at page 555 of the Plat and Map

Map Deed Records of Rockwall County, Texas

[Handwritten signatures and initials]



The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements

RB's Sound House Recording Studio

Dear Friends, Artists, and Dreamers,

My name is Randy Aragon, I'm a local musician and manager/bartender at The Downing Bottles and Bites. I've recently leased the building at 206 E Washington st.(the old school of rock building) from Kevin Lefere, with hopes of opening a recording studio for local artists that have no way of recording their music.

As of now, I have to drive over an hour back and forth just to find a good studio to record my music, which makes it really difficult when recording and releasing my own music. This is why I decided to lease the building and begin the journey of offering recording services.

This studio will be dedicated to professionally tracking and recording local artists of all ages — one at a time — giving each artist the full attention, focus, and respect their craft deserves. I want to give people in our community a real outlet to express themselves, to release their music to the world, and to grow as artists and as people. Every session is about more than making a song — it's about building community, confidence, connection, and creative freedom.

The room that I would like to make a recording studio is one room that sits in the back right corner of the building and is already completely sound proof due to the School of Rock using it for music lessons. We will offer an affordable way to book a recording session, record your music on top quality equipment, and have it mixed and mastered all in one.

Music has always been more than just sound to me — it's been a lifeline.

There were times in my life when darkness felt heavy, when words couldn't capture the pain or confusion I was carrying. But music did. It became my way to breathe again, to find purpose when things didn't make sense, and to connect with something greater than myself.

That's why I would like to open the Recording Studio — not just as a business, but as a safe space. A place where creativity becomes therapy, where sound becomes healing, and where anyone with a story to tell can walk in and feel understood.

Music saved me, and I believe it can save others too. It has the power to reach the parts of us that words alone can't. Whether you're recording your first song or your hundredth, my hope is that this space gives you the same sense of freedom and hope that music gives me.

I also plan to team up with the Music Directors at the local schools and other music based programs, to offer them a discounted rate for their students who have dreams of making music. There is also the potential for me to donate my time through the studio to local music programs, when they have school projects that require recording services for bands, choirs, and other music related endeavors.

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *RECORDING STUDIO* ON A 0.92-ACRE PARCEL OF LAND IDENTIFIED A PORTION OF LOTS 2 & 3, BLOCK S, ROCKWALL OT ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a *Specific Use Permit (SUP)* for a *Recording Studio* on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *Recording Studio* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.07, *Downtown (DT) District*, and Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF DECEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 17, 2025

2nd Reading: December 1, 2025

**Exhibit 'A':
Location Map**

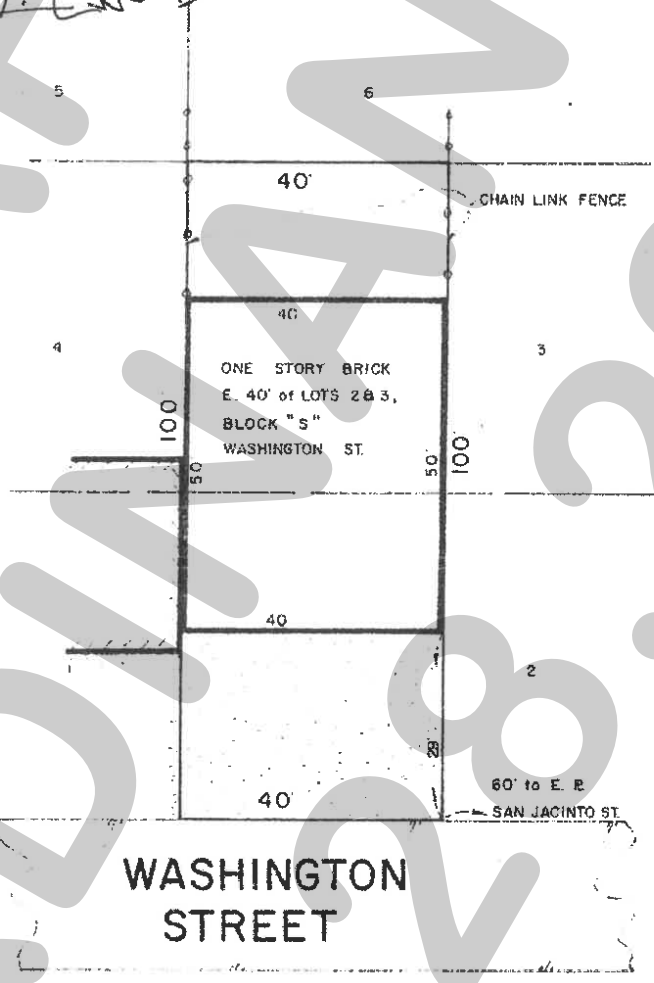
Legal Description: a portion of Lots 2 & 3, Block S, Rockwall OT Addition



**Exhibit 'B':
Survey**

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. Washington Street in the City of Rockwall, being described as follows:
 Lot No. East 40' of Lots 2 and 3, Block No. 8, City Block No. _____
 of Original Town of Rockwall, an addition to the City of Rockwall
 Texas, according to the Filed plot thereof recorded in Vol. 510 of the Deed
Map of Rockwall County, Texas, at page 555 of the Plat and Map
 Map Deed Records of _____

[Handwritten signatures and initials]
 X *[Signature]*
 X *[Signature]*



The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2025

PROJECT NUMBER: Z2025-069
PROJECT NAME: SUP for an Accessory Structure
SITE ADDRESS/LOCATIONS: 24 Shady Dale Lnae

CASE CAPTION: Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/24/2025	Approved w/ Comments

10/24/2025: Z2025-069; Specific Use Permit (SUP) for an Accessory Structure at 24 Shady Dale Lane
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shady Dale Lane.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2025-069) in the lower right-hand corner of all pages on future submittals.
- I.4 This structure was constructed without a building permit and was required to pay a non-compliance application fee of \$1,000.00 in addition to the standard application fee.
- I.5 The subject property is zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses. According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), the maximum permissible size of an Accessory Structure is a Single Family 10 (SF-10) District is 144 SF. In this case, the proposed Accessory Structure is 12-feet by 20-feet, or 240 SF. This is why the Accessory Structure requires a Specific Use Permit (SUP). Please update the site plan to reflect the size/dimensions of the Accessory Structure.
- M.6 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC) and the subdivision plat for the subject property, the Accessory Structure is required to be three (3) feet from the rear property line and 15-feet from Shady Dale Lane. If the Accessory Structure does not meet these setbacks, it will be required to be moved to be in conformance. Currently, the Accessory Structure does not appear to be in conformance with the 15-foot building setback based on the pictures taken by the Neighborhood Improvement Services Division. Please correct the site plan to show the current setbacks of the Accessory Structure from each property line.
- M.7 Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), all Accessory Structures are required to be attached to a permanent concrete foundation. The current accessory structure does not meet this requirement. This will be included as a Condition of Approval and an Operational Condition.

M.8 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), and Subsection 03.01, General Residential District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), Accessory Structures may not exceed 15-feet in height and must have a minimum roof pitch of 3:12. Please clarify the height and roof pitch of the Accessory Structure.

M.9 Ordinances. Please review the attached draft ordinance prior to the October 28, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by November 4, 2025.

I.10 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 11, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.11 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 28, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on November 11, 2025.

I.12 City Council Meeting Dates. The projected City Council meeting dates for this case will be November 17, 2025 (1st Reading) and December 1, 2025 (2nd Reading).

I.13 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved

10/23/2025: No comments. Comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved w/ Comments

10/23/2025: APPLICANT NEEDS TO PROVIDE THE SIZE OF THE PROPOSED ACCESSORY STRUCTURE AND MEET THE SETBACKS DEPENDING ON THE SIZE. ALSO, IF APPROVED A BUILDING PERMIT WILL BE REQUIRED PRIOR TO CONSTRUCTION. IF OVER 120 SQUARE FEET A CONCRETE FOUNDATION IS REQUIRED.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 24 Shady Dale Ln Rockwall TX 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Kevin Sayles

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

24 Shady Dale Ln

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75032

CITY, STATE & ZIP

PHONE

[REDACTED]

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Sayles [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

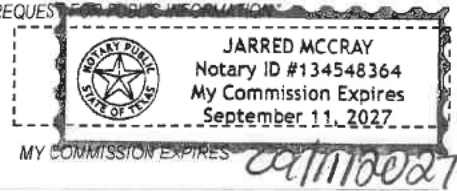
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF October, 2025

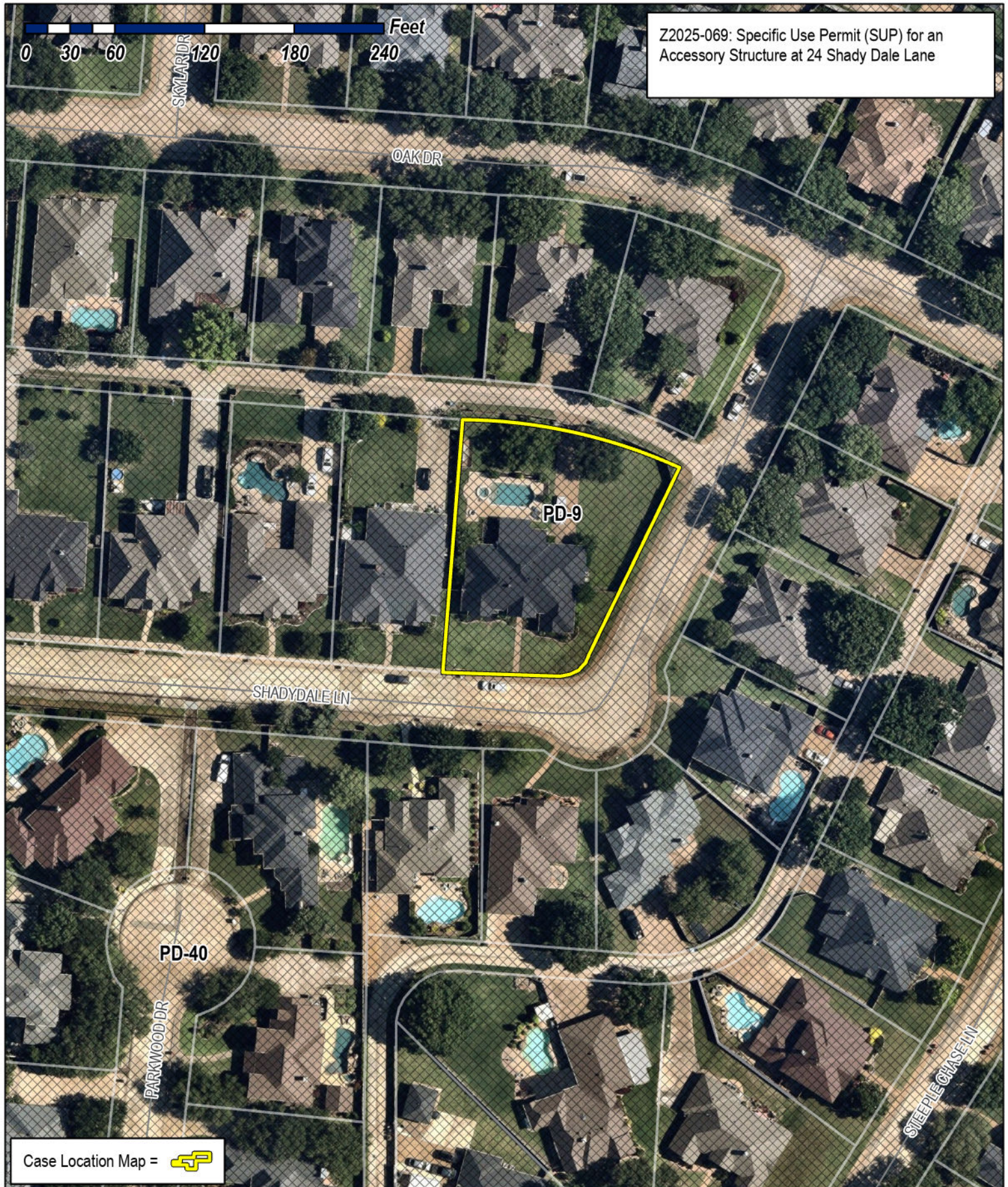
OWNER'S SIGNATURE

[Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]





Z2025-069: Specific Use Permit (SUP) for an Accessory Structure at 24 Shady Dale Lane

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

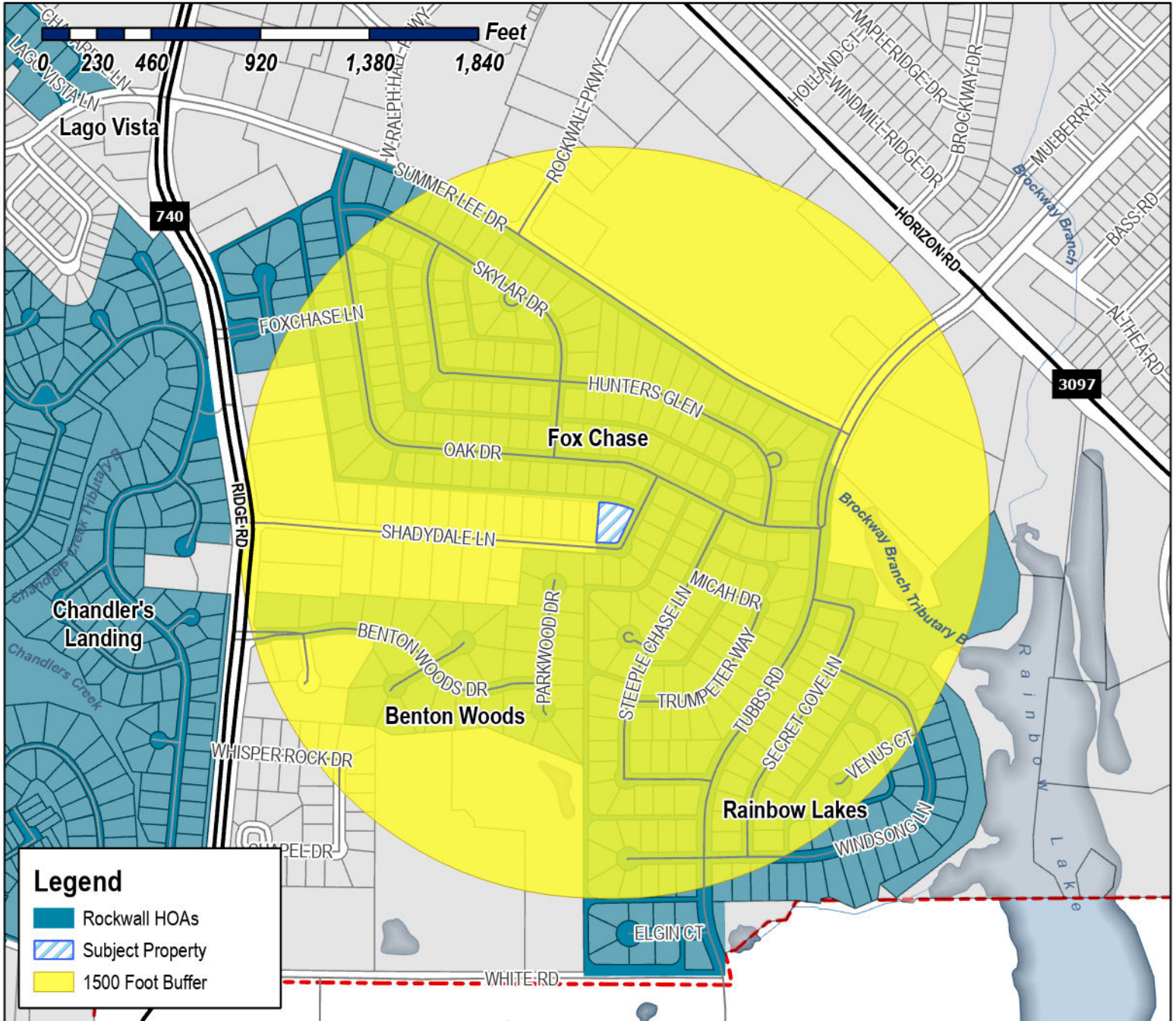




City of Rockwall

Planning & Zoning Department
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Case Number: Z2025-069
Case Name: SUP for a Portable Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 24 Shady Dale Lane

Date Saved: 10/17/2025
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Zavala, Melanie
Sent: Wednesday, October 22, 2025 2:23 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2025-069]
Attachments: HOA Map (10.22.2025).pdf; Public Notice (10.20.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-069: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a *Specific Use Permit (SUP)* for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

Melanie Zavala

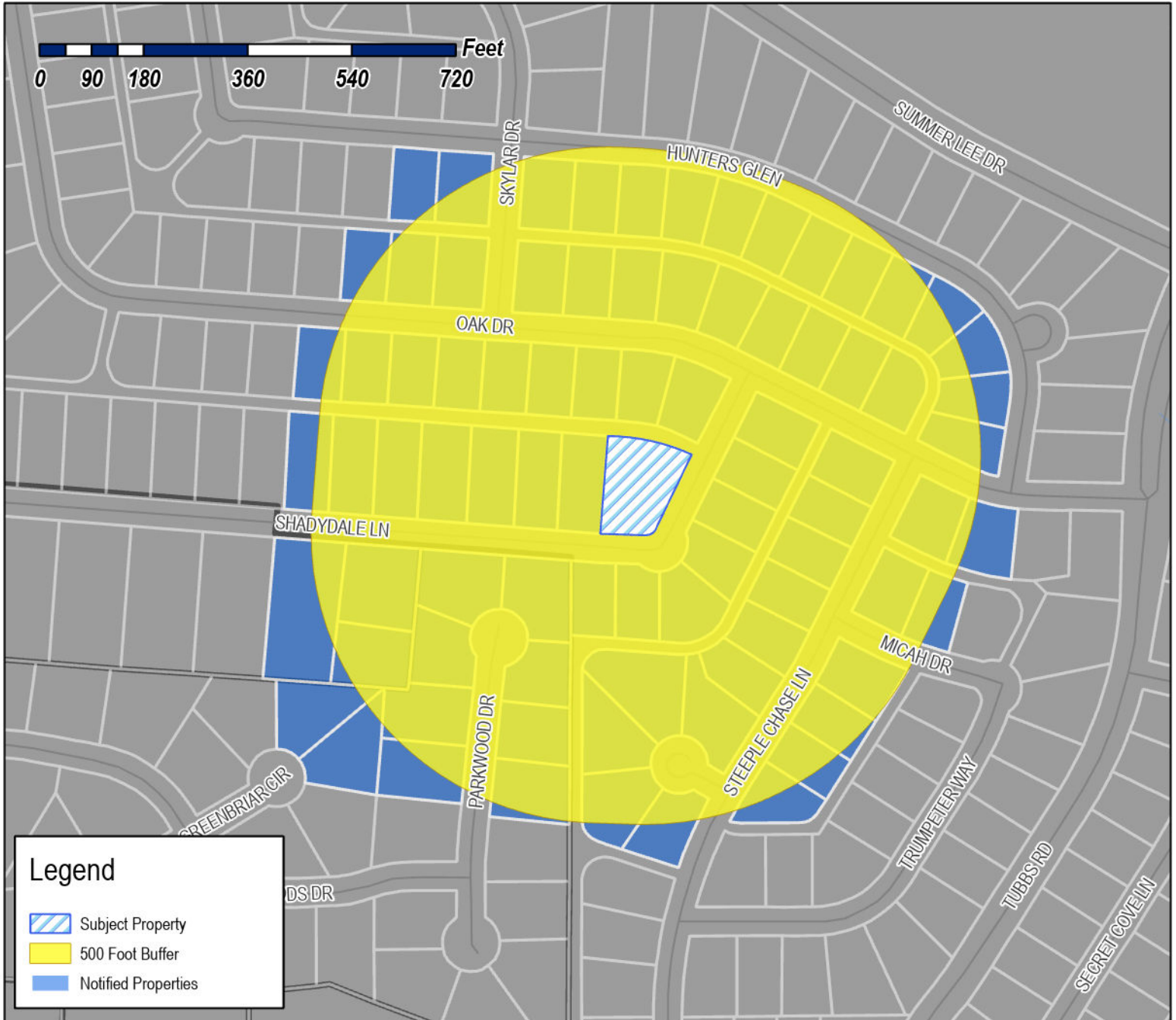
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

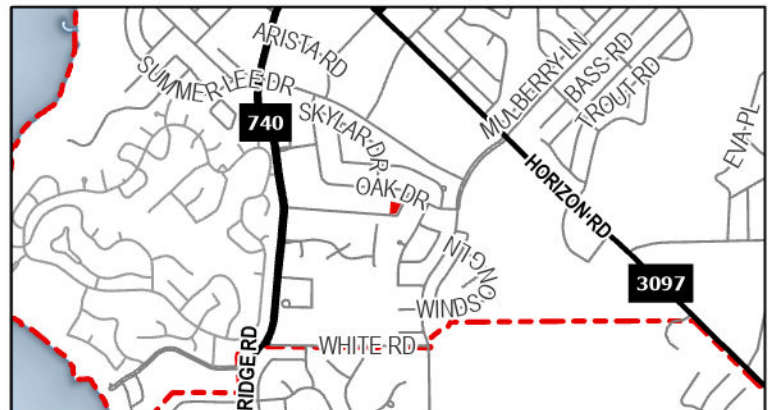
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Case Number: Z2025-069
Case Name: SUP for a Portable Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 24 Shady Dale Lane

Date Saved: 10/17/2025

For Questions on this Case Call: (972) 771-7745



ROYALAND PROPERTIES LLC
11034 GRISSOM LANE
DALLAS, TX 75229

REDDEN TRAVIS
1115 CONCAN DRIVE
FORNEY, TX 75126

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

BALLARD STEVE & ANNABETH
17 SHADYDALE LANE
ROCKWALL, TX 75032

DOSKOCIL PATRICK AND GLINDA
19 SHADYDALE LN
ROCKWALL, TX 75032

ROMAN MARIA G & ARMANDO POMPOSO
23 SHADY DALE LN
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN
24 SHADY DALE LN
ROCKWALL, TX 75032

SNIDER VICTOR BRUCE & JUDY LYNNE
25 SHADY DALE LN
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C
26 SHADY DALE LN
ROCKWALL, TX 75032

PARVIN RHONDA
27 SHADY DALE LN
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN
28 SHADY DALE LANE
ROCKWALL, TX 75032

TAGGART FAMILY TRUST
MICHAEL JORDAN TAGGART & KELLY ANNE
TAGGART - TRUSTEES
2843 MIRA VISTA LN
ROCKWALL, TX 75032

HUFFMAN JAMES D & STEPHANIE L
29 SHADY DALE LN
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN
30 SHADY DALE LN
ROCKWALL, TX 75032

HOYA CHARLOTTE G
3006 OAK DR
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L
3014 OAK DR
ROCKWALL, TX 75032

RESIDENT
3015 OAK DR
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
3021 Ridge Rd Ste A PMB 131
Rockwall, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E
3022 OAK DR
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST
JUNE PETROCELLY TRUSTEE
3023 OAK DRIVE
ROCKWALL, TX 75087

2024 G S SLOAN REVOCABLE TRUST
GARY DEAN & STEPHANIE ANN SLOAN -
TRUSTEE
3030 OAK DR
ROCKWALL, TX 75032

DAVIS ANN SHERRILL
3033 OAK DR
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D
3107 OAK DR
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN
3108 OAK DR
ROCKWALL, TX 75032

MCMAHON SANDRA
3115 OAK DR
ROCKWALL, TX 75032

BEVAN MARILYN
3116 OAK DR
ROCKWALL, TX 75032

KUBIAK NICHOLAS E AND JENNIFER L
3123 OAK DR
ROCKWALL, TX 75032

CHILDRESS SHERRY L
3124 OAK DR
ROCKWALL, TX 75032

MISHLER JEREMY & CHRISTI
3131 OAK DR
ROCKWALL, TX 75032

MANNO SHARON &
PAUL FULLINGTON
3134 OAK DR
ROCKWALL, TX 75032

DODSON GERELDENE
3139 OAK DR
ROCKWALL, TX 75032

DICKINSON JONATHAN PAUL & THERESA
MICHELLE
3144 OAK DRIVE
ROCKWALL, TX 75032

STANLEY RONALD ALAN & JENNIFER J
3147 OAK DR
ROCKWALL, TX 75032

HOWELL RANDALL R & DANA L
3155 OAK DR
ROCKWALL, TX 75032

DISSONGO THIERRY AND
MARIAME DISSONGO
3163 OAK DR
ROCKWALL, TX 75032

PIKE MARTIN E & JANET L
3171 OAK DRIVE
ROCKWALL, TX 75032

WEICHEL JAMES D & KRISTEN E
3182 OAK DR
ROCKWALL, TX 75032

BALLI NOE III & LYNN E
3190 OAK DR
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGHI
32 SHADY DALE LN
ROCKWALL, TX 75032

TINDALL CINDY P
34 SHADY DALE LN
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE
36 SHADY DALE LN
ROCKWALL, TX 75032

RESIDENT
38 SHADYDALE LN
ROCKWALL, TX 75032

HERNANDEZ ANDRES & MISTY
4550 STEEPLE CHASE LN
ROCKWALL, TX 75032

HARRIS GERALD T & SHERRI K
4558 STEEPLE CHASE LN
ROCKWALL, TX 75032

KIRK MARGIE
4566 STEEPLE CHASE LN
ROCKWALL, TX 75032

KEITH LARRY J & CAROLYN K
4574 STEEPLE CHASE LN
ROCKWALL, TX 75032

ARNDT GARY & DIANNE
4608 STEEPLE CHASE LN
ROCKWALL, TX 75032

POWELL ALEAH D
4609 STEEPLE CHASE LN
ROCKWALL, TX 75032

BRANNING BARRY S & LINDA R
4616 STEEPLE CHASE LN
ROCKWALL, TX 75032

RESIDENT
4617 STEEPLE CHASE LN MICHAEL JORDAN
TAGGART & KELLY ANNE TAGGART - TRUSTEES
ROCKWALL, TX 75032

WATSON MATTHEW WAYNE
4625 STEEPLE CHASE
ROCKWALL, TX 75087

KHODAPARAST RAHIM & ROYA
4630 PARKWOOD DR
ROCKWALL, TX 75087

VEST DONALD R
4633 PARKWOOD DR
ROCKWALL, TX 75032

FLORANCE WILLIAM C & KATHRYN E
4633 STEEPLE CHASE LANE
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D
4648 PARKWOOD DRIVE
ROCKWALL, TX 75032

RESIDENT
4649 PARKWOOD DR
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN
4660 GREENBRIAR CT
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL
4670 PARKWOOD DR
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF
4671 GREENBRIAR CT
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L
4671 PARKWOOD DR
ROCKWALL, TX 75032

SHIPMAN EARL RAPHE & DELAMIE
4690 PARKWOOD DR
ROCKWALL, TX 75087

PARENT RICHARD DAVID & MARIE L
4691 PARKWOOD DR
ROCKWALL, TX 75032

WEBSTER DAVID L
501 E OLD GREENVILLE RD
ROYSE CITY, TX 75189

CARTER SHARON R
BLANKENSHIP DON L & AUDREY LIFE ESTATE
6 SHADY DALE LN
ROCKWALL, TX 75032

28 PLAZA LTD
601 KILLARNEY
RICHARDSON, TX 75201

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

WATSON BARBARA
743 MICAH DR
ROCKWALL, TX 75032

SMITH MICHAEL & KATRINA
751 MICAN DR
ROCKWALL, TX 75032

BENNETT FAMILY LIVING TRUST
WILLIAM THOMAS AND JUDY M BENNETT
TRUSTEES
754 HUNTERS GLN
ROCKWALL, TX 75032

KUEHL FAMILY LIVING TRUST
LESLIE L KUEHL AND SUSAN B KUEHL- TRUSTEES
762 HUNTERS GLEN
ROCKWALL, TX 75032

BROWN SANDRA MARIE
770 HUNTERS GLEN
ROCKWALL, TX 75032

SHERROD ROBERT T & AMY
778 HUNTERS GLN
ROCKWALL, TX 75032

ROMER FRANK L & MARCY L AND
MARISSA P
786 HUNTERS GLEN
ROCKWALL, TX 75032

NGUYEN TAMMY
7910 SARAHVILLE DR
DALLAS, TX 75252

HONG TAE SU & SUNSIL
794 HUNTERS GLN
ROCKWALL, TX 75032

STANFORD STEVEN R AND KIRSTEN L
802 HUNTERS GLEN
ROCKWALL, TX 75032

CHRISTENSEN BRIAN & JENNIFER
810 Hunters Gln
Rockwall, TX 75032

BRADY LISA AND RALPH
826 HUNTERS GLEN
ROCKWALL, TX 75032

SCOTT MARY ELIZABETH
834 HUNTERS GLEN
ROCKWALL, TX 75032

BRISCOE JULIE
842 HUNTERS GLEN
ROCKWALL, TX 75032

DIETERICH GEORGE D & JOHANNA
846 STEEPLE CHASE CT
ROCKWALL, TX 75032

CARNES LINDA M
850 HUNTERS GLN
ROCKWALL, TX 75032

HESKETT RHEA
850 STEEPLE CHASE COURT
ROCKWALL, TX 75032

ANDERSON LARY & LAURIE
854 STEEPLE CHASE CT
ROCKWALL, TX 75032

LEONARD SCOTT E AND CATHERINE W
858 STEEPLE CHASE CT
ROCKWALL, TX 75032

MCGUIRE JOHN L & LISA L
862 STEEPLE CHASE CT
ROCKWALL, TX 75032

ERICKSON MARIUM E LIVING TRUST
906 HUNTERS GLEN
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST
JEFFREY CHAD MONK TRUSTEE
914 HUNTERS GLEN
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-069: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

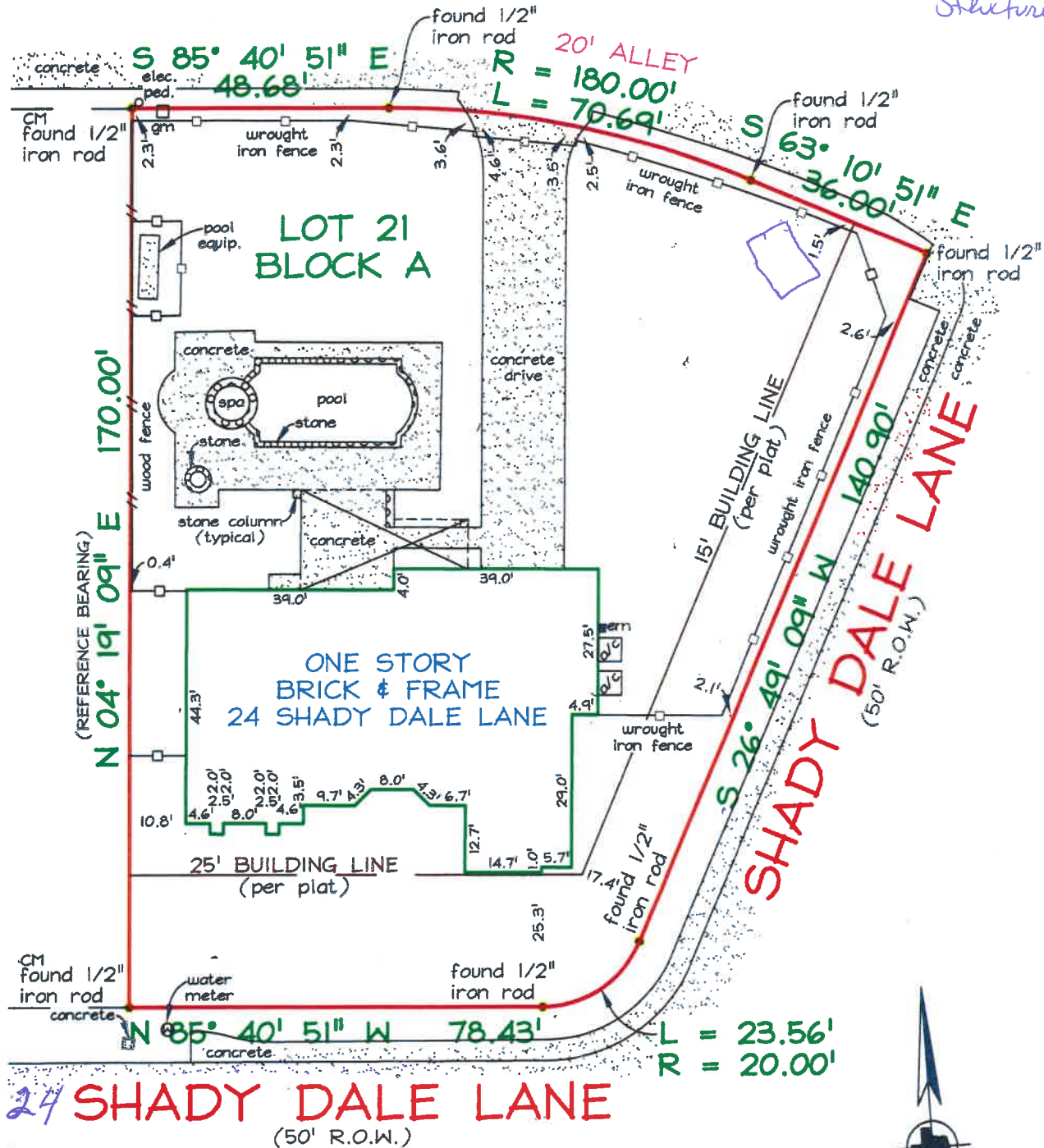
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



3ft From Rear
 6ft From any other
 Structure



NOTES:

- CM = CONTROLLING MONUMENT.
- THIS PROPERTY IS NOT AFFECTED BY THE FOLLOWING:
- (10e)-EASEMENT, VOL. 64, PG. 274, D.R.R.C.T.
- (10f)-EASEMENT, VOL. 63, PG. 82, D.R.R.C.T.
- BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW.
- THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE IN BLACK INK.



THIS IS TO DECLARE that on this date a survey was made on the ground, under my direction and supervision of the property located at 24 SHADY DALE LANE, and Being Lot Twenty One (21), Block A, of FOXCHASE PHASE FOUR, an addition in Rockwall County, Texas, according to the map or plat thereof recorded in Cabinet C, Page 284, of the Plat Records of Rockwall County, Texas.

There are no visible conflicts or protrusions, except as shown.

The subject property does not appear to lie within the limits of a 100-year flood hazard zone according to the map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48397C0040 L, dated SEPTEMBER 26, 2008. The statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This survey is not to be used for construction purposes and is for the exclusive use of the hereon named purchaser, mortgage company, and title company only and this survey is made pursuant to that one certain title





CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) [ORDINANCE NO. 25-02] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY STRUCTURE ON A 0.417-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 21, BLOCK A, FOXCHASE, PHASE 4 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Sayles for the approval of a *Specific Use Permit (SUP)* for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shady Dale Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 9 (PD-9) [Ordinance No. 25-02] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 9 (PD-9) [Ordinance No. 25-02] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Accessory Structure* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 9 (PD-9) [Ordinance No. 25-02] and Subsection 03.01, *General Residential District Standards*, Subsection 03.07, *Single-Family 10 (SF-10) District*, and

Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the *Accessory Structure* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance; and,
- 2) The proposed *Accessory Structure* shall not exceed 240 SF; and,
- 3) No additional *Accessory Structures*, *Accessory Buildings*, or *Detached Garages* shall be permitted on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1st DAY OF DECEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

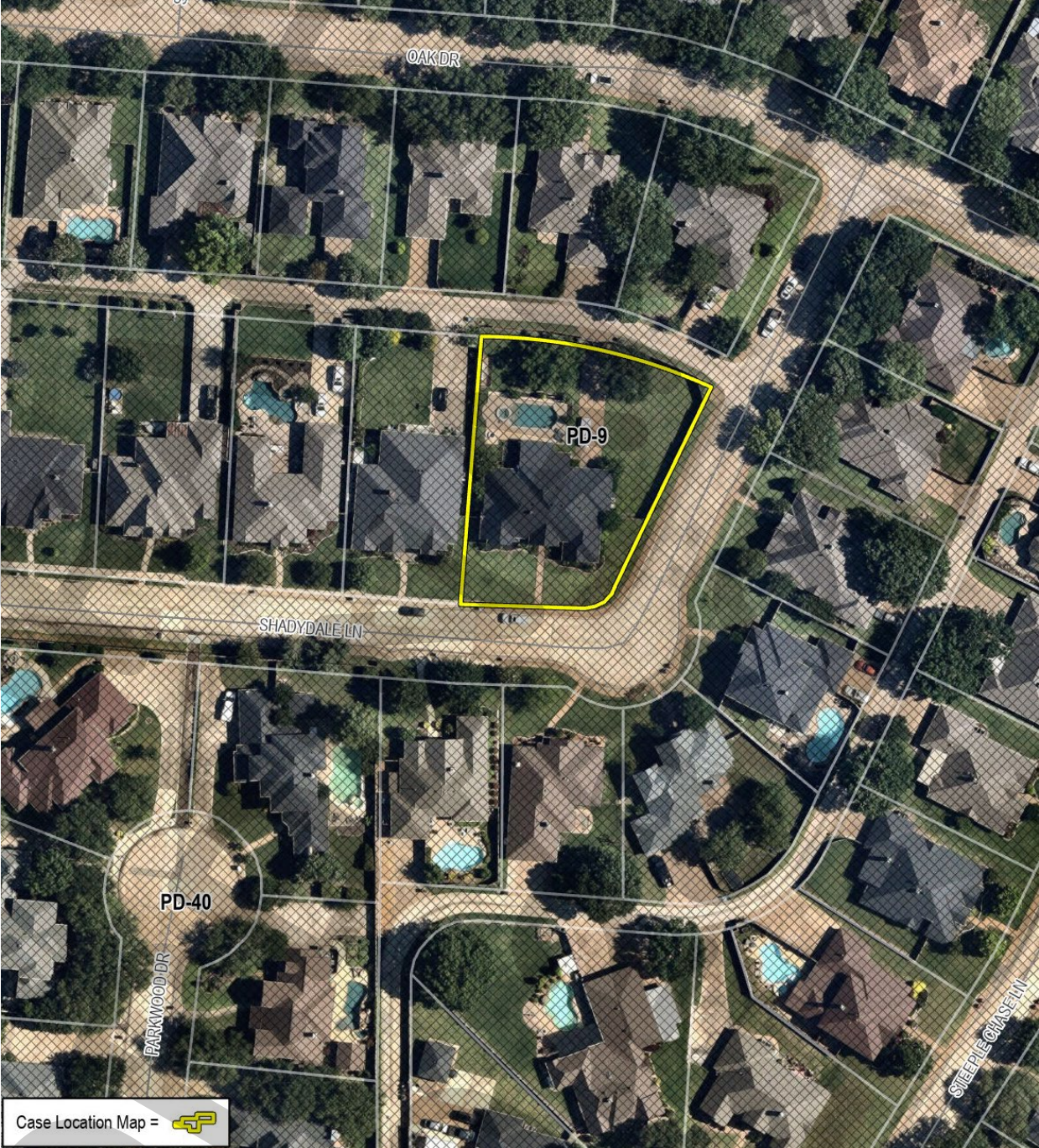
1st Reading: November 17, 2025

2nd Reading: December 1, 2025

**Exhibit 'A':
Location Map**

Address: 24 Shady Dale Lane

Legal Description: Lot 21, Block A, Foxchase Phase 4 Addition



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2025

PROJECT NUMBER: Z2025-070
PROJECT NAME: Zoning Change From LI and C to PD
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Tina Cox of Temunovic Partnership Ltd for the approval of a Zoning Change to a Planned Development District for Commercial (C) District land uses for a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3, and 3-4 of the J. Lockhart Survey, Abstract No. 134, and Lots 1 & 2, Block A, Eastplex Inc Park #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, situated within the SH-205 Bypass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of IH-30 and S. John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/23/2025	Approved w/ Comments

10/23/2025: Z2025-070; Zoning Change (C & LI to PD)
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Zoning Change from a Light Industrial (LI) and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses for a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3, and 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and, Lot 2, Block A, Eastplex Industrial Park No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, situated within the SH-205 Bypass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, and generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2025-070) in the lower right-hand corner of all pages on future submittals.

I.4 Future Land Use Plan. According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the IH-30 Corridor District and is designated for Special Commercial Corridor land uses, which are defined as land uses that are intended serve the entire region. The proposed developments conformance with the Special Commercial Corridor will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

I.5 IH-30 Corridor District. The following are the applicable District Strategies for the IH-30 Corridor District and how the proposed concept plan conforms to these strategies:

(1) Regional Center. Regional Centers should follow one of the four (4) models identified in the IH-30 Corridor Plan (i.e. Strip Retail Center, Mixed Use Center, Town Center, or Regional Designation Center models).

(2) Open Space. Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.

(3) John King Boulevard Trail Plan. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'B' of this Comprehensive Plan.

Staff Response: Staff has detailed conformance with the IH-30 Corridor Plan below in Comment I.6. With regard to open space, the proposed development does NOT appear to provide any useable open space. Staff would recommend that a central open space be incorporated in between Buildings 10, 11, & 12 and a trail system linking the adjacent pad site to make the development more pedestrian friendly. Staff has also included elements of the John King Boulevard Trail Plan into the requirements of the Planned Development District.

I.6 IH-30 Corridor Planning Study. According to the IH-30 Corridor Planning Study, the proposed development is characteristic of a Strip Retail Center Model. The plan defines the area that the subject property is in as Corridor Zone 3, and designates it as a Transitional Zone. A Transitional Zone is defined as "...a segment of the existing corridor that is currently underutilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential ..."; however, since the property is strategically located at a major intersection within the City and is currently vacant it was identified as Strategically Located Property #3. Based on the public meetings for the Planning Study, Strategically Located Property #3 was determined to be suitable for "...a Mixed-Use Center or a Town Center. This designation is due to the location and visibility of the property, and that it is located near and accessible from two (2) major roadways (i.e. John King Boulevard and Justin Road) and a major highway (i.e. IH-30). With this being said the property is situated below the highway overpass and as a result the site has limited visibility for a single-story structure. Structures that are two (2) and three (3) stories in height would be better suited for this property." Based on the submitted request, the applicant's plan does NOT appear to be in compliance with this designation and should be redesigned to fit the Town Center model; however, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

I.7 Commercial Goals and Policies. According to the Commercial Goals and Policies contained in the OURHometown Vision 2040 Comprehensive Plan the following is applicable to this zoning request:

(1) CH. 01; Section 02.03; Goal #1 | Policy #3 (Page 1-2). Strip commercial centers should be avoided to encourage development that will not result in a sprawling community.

Staff's Response: The proposed concept plan appears to incorporate a Strip Commercial Center in Buildings 10, 11 & 12. The concept plan should be changed to be more of a Town Center design that incorporates a mixture of uses as opposed to being a Strip Commercial Center.

(2) CH. 09; Section 02; Goal #1 | Policy #4 (Page 9-1). Commercial, retail, and office developments should look to create central greenspaces that are well landscaped and functional promoting increased social interaction. Central greenspaces should be connected from all points of the development, and ultimately provide connection to the City's greater trail system.

Staff's Response: The proposed plan does NOT incorporate functional green spaces or a central greenspace that connects the retail areas to the residential developments. This should be incorporated to better conform to the Comprehensive Plan.

(3) CH. 09; Section 02; Goal #1 | Policy #5 (Page 9-1). The City should be proactive in pursuing regional developments at key intersections. This is especially important within the IH-30 corridor.

Staff's Response: The proposed plan appears does NOT appear to provide Regional land uses and is currently providing mostly quick service restaurants, strip retail, a car wash, and retail store with gasoline sales. None of these land uses are considered to be Regional in nature.

(4) CH. 09; Section 02; Goal #1 | Policy #6 (Page 9-1). Developments should incorporate pedestrian elements (i.e. benches, trash receptacles, etc.) at regular intervals to ensure that developments are created to a pedestrian scale.

Staff's Response: Currently, the Planned Development District ordinance does NOT incorporate these elements into the proposed development. This should be incorporated to be better in conformance with the Comprehensive Plan.

(5) CH. 09; Section 02; Goal #2 | Policy #3 (Page 9-2). Shopping centers and big-box retail buildings should incorporate planters, ornamental pots, and landscape beds adjacent to building façades that are visible from streets and open space.

Staff's Response: Currently, the Planned Development District ordinance does NOT incorporate these elements into the proposed development. This should be incorporated to be better in conformance with the Comprehensive Plan.

(6) CH. 09; Section 02; Goal #4 | Policy #1 (Page 9-2). Non-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park.

Staff's Response: The conceptual building elevations provided by the applicant only cover Buildings 10, 11 & 12, and -- while appearing to be 100% masonry -- do NOT provide stone on any façade.

(7) CH. 09; Section 02; Goal #4 | Policy #2 (Page 9-2). Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features.

Staff's Response: The conceptual building elevations only provide elevations for Buildings 10, 11 & 12. Staff has included requirements that the remaining buildings adhere to the General Overlay District Standards.

1.8 Permitted Land Uses. Please note that staff made the following changes to the permitted land uses in the draft ordinance. These are recommendations, however, the deviations proposed by the applicant would allow land uses that conflict with the Commercial (C) District land uses and are seen as incompatible within the City of Rockwall's retail corridors. In addition, many of the proposed land uses are already permitted within the City's Commercial (C) District and do not need to be called out in the ordinance.

The following land uses were removed because they are already permitted within the Commercial (C) District by-right:

- Animal Clinic for Small Animals without Outdoor Pens
- Financial Institution with Drive-Through
- Alcoholic Beverage Package Sales
- Food Trucks/Trailers
- Garden Supply/Plant Nursery
- General Personal Service
- Hair Salon and/or Manicurist
- Laundromat with Dropoff/Pickup Services
- Massager Therapist
- Private Museum or Art Gallery
- Rental Store without Outside Storage and/or Display
- Restaurant with 2,000 SF or more with Drive-Through or Drive-In
- Retail Store with Gasoline Sales that has two or less Dispensers (i.e. a maximum of four vehicles)
- Retail Store with Gasoline Sales that has more than two dispensers
- Full-Service Car Wash and Auto Detail
- Self-Service Car Wash
- Permanent Cosmetics (NOTE: This land use is only permitted as an accessory land use to a salon or similar personal service land use)

The following land uses were removed because they are not permitted within the Commercial (C) District because they are seen as incompatible land uses in the IH-30 Corridor:

- Animal Boarding/Kennel with Outside Pens
- Alcoholic Beverage Store (NOTE: This land use is not permitted because the Open Option Election failed)
- Feed Store or Ranch Supply
- Medical or Scientific Research Lab

These land uses currently require a Specific Use Permit (SUP) in the Commercial (C) District and -- due to development conditions -- would not be seen as by-right land uses:

- Animal Hospital, Clinic, or Veterinarian Office
- Limited-Service Hotel
- Golf Driving Range
- Portable Beverage Service Facility
- Restaurant with less than 2,000 SF with Drive-Through or Drive-In
- Furniture Upholstery/Refinishing and Resale
- Minor Automotive Repair Garage

The following land uses have been added as by-right land uses in the Planned Development District ordinance:

- Full-Service Hotel
- Craft/Micro Brewery, Distillery, and/or Winery

I.9 Prohibited Land Uses. Please note that staff has also incorporated a new set of prohibited land uses that mirrors what was incorporated in the Planned Development District ordinance for the Rockwall Heights Commercial Development (i.e. Planned Development District 102 [PD-102]).

M.10 In addition to the above, staff has made the following changes to the Planned Development District Standards provided with the submittal:

- (1) The proposed landscape percentage was shown to be 10.00%. The minimum required landscaping percentage for the Commercial (C) District per the Unified Development Code (UDC) is 20.00%. Based on this staff changed the landscape requirement to 20.00%.
- (2) The General Overlay District Standards require the minimum trash enclosure to be eight (8) feet not six (6) feet. The exhibit provided by the applicant showed conformance to this; however, the wording in the development standards stated six (6) feet. This requirement was left out of the Planned Development District ordinance and the subject property will be required to provide eight (8) foot enclosures.
- (3) Staff did not incorporate the applicant's language tied to the articulation requirements, roof design standards, building materials, or architectural elements as these are all regulated by the General Overlay District Standards. All properties in the Planned Development District ordinance are required to meet the minimum standards for the General Overlay District Standards.
- (4) Staff increased the landscape buffers along John King Boulevard and IH-30 to allow for more room to meet the John King Boulevard Trail Plan elements to be established on the subject property. In addition, staff added the landscape buffer requirements for Justin Road and the other public rights-of-way that are being proposed.

M.11 In addition to the changes to the Planned Development District, please make the following changes to the Concept Plan (see attached markups for additional comments):

- (1) Per the General Overlay District Standards, only one (1) row of parking is allowed between the front façade of the building and a public right-of-way. With regard to the proposed Fitness building, the parking field should be moved to the side of or behind the building.
- (2) On the Carwash building, staff would recommend moving the vacuum bays behind the building.
- (3) Dumpster enclosures cannot face the street. Please change the dumpster enclosures that are not in conformance with this requirement.
- (4) The right-of-way between Future Pad #8 and Future Pad #7 will be abandoned in favor of the new alignment for the proposed east/west right-of-way proposed with this project. Please adjust the Concept Plan accordingly.
- (5) Indicate the internal trail connections and ensure connectivity between all the pad sites throughout the development.
- (6) Indicate all the required landscape buffers as shown on the attached markups.

M.12 Please review the attached draft ordinance prior to the October 28, 2025 Planning & Zoning Commission Work Session meeting, and provide staff with your markups by November 4, 2025. Please carefully read through this document as staff has incorporated changes from what was originally submitted.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 11, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.14 The projected City Council meeting dates for this case will be November 17, 2025 (1st Reading) and December 1, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

- 10/23/2025: 1. Hatching does not match plan.
2. All properties require utility easements and landscape buffer along ROW.
3. Remove these driveways don't meet spacing requirements. Remove this ROW dedication. Don't want a public road to "no where".

General Items:

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Show commercial dumpster locations on the site plan.
- All roadways shall have a minimum 10' utility easement along ROW.
- Additional comments may be provided at time of Site Plan and Engineering.
- Call out Justin Road

Drainage Items:

- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at freeboard elevation. No vertical walls are allowed in detention easement.
- No public water or sanitary sewer can be in detention easement.
- Detention ponds must be irrigated.
- Existing flow patterns must be maintained.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- 100-year WSEL must be called out for detention ponds.
- Detention ponds cannot be located within the 100yr floodplain. Detention must be above the 100yr floodplain elevation where adjacent.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be provided for the 100yr floodplain area.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.
- All fuel/fuel canopy areas (under canopies and adjacent to fuel pumps) must drainage to an oil/water separator prior to storm system

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is an existing 16" water main along the I-30 frontage available for use.
- There is an existing 8" and 12" sewer main running along the west side of the property near the floodplain area.

- All commercial sewer connections must be made by a proposed or existing manhole.
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in an easement.
- City's Master Water plan calls for a 12" water main to run along John King Blvd and to tie to ex. water line on the south side of Justin and a 12" water main to cross the center of the property. Dedicate easements and install water line. These lines are required to be installed.
- An infrastructure study will be required. Review fees shall apply.
- Must construct all improvements outlined in the results of the infrastructure study.

Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without a City approved turnaround area.
- All drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- Culverts (if needed) must be engineered.
- City driveway spacing requirements must be met.
- TXDOT permit will be required for the proposed driveway location along I-30 frontage.
- TXDOT spacing requirements must be met along I-30 frontage.
- City's master thoroughfare plan calls for a Minor Collector, 41' B-B roadway within a 60' ROW from western property line, to cross from Enterprise, and intersect John King. Full section must be constructed as well as a left turn lane on John King for this new roadway. Also a horizontal layout of the entire alignment from IH-30 to John King will need to be established and approved by the City prior to approval of the alignment across this project.
- Dedicate 30' of ROW will be required and pave 41' to meet City Standards of Enterprise Drive.
- Must construct all roadways on the current Master Thoroughfare Plan
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
- 10' utility easements required along all roadway frontages.
- 10' trail along John King, 5' sidewalk along Enterprise, 5' along Justin, & 5' sidewalk on both sides of new minor collector

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be within utility easements or on top of utilities.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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POLICE	Chris Cleveland	10/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved
No Comments			

LINE AND SYMBOL LEGEND	
	EASEMENT
	PROPERTY LINE
	BUILDING
	GREEN SPACE
	FIRE LANE
	ROW
	SHARED PARKING

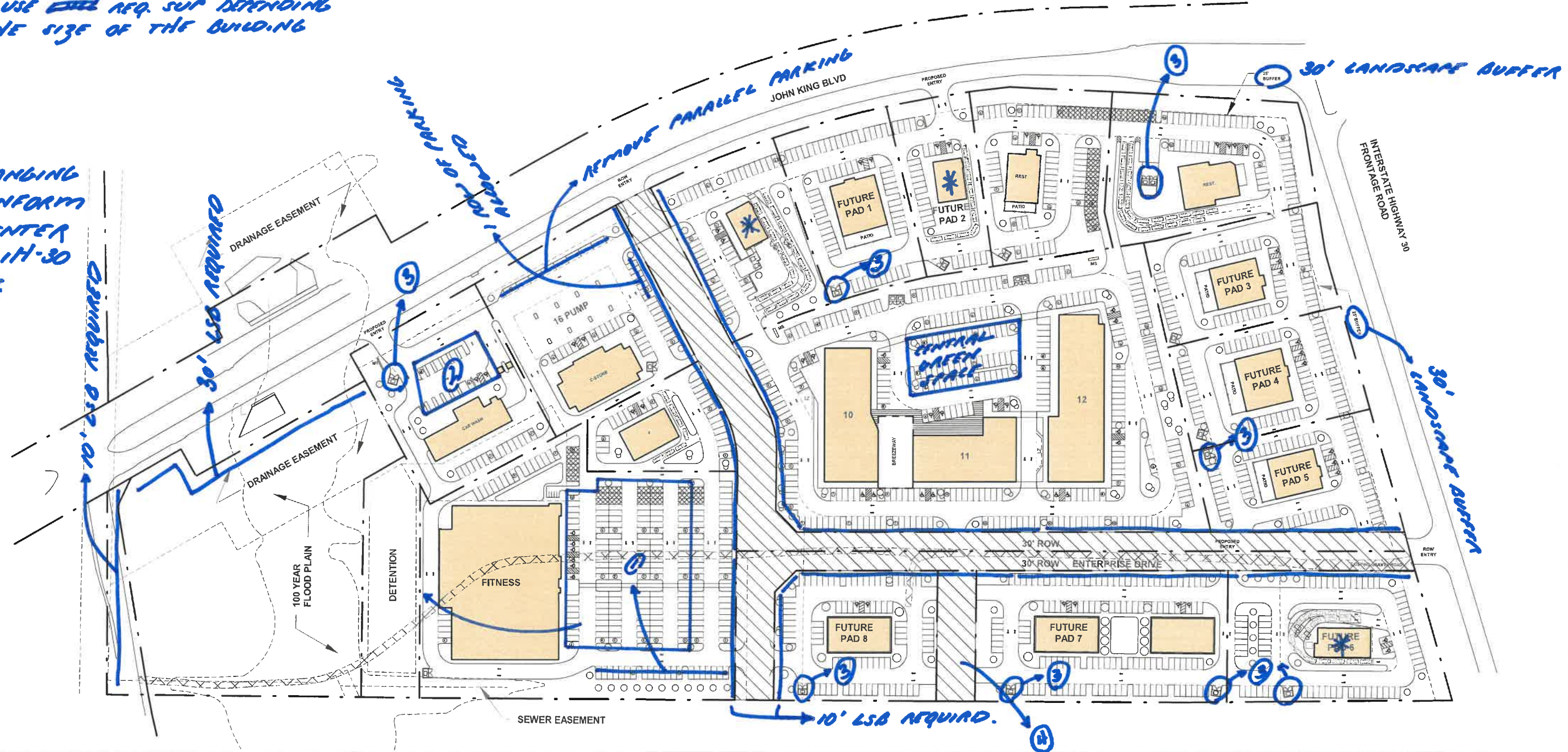
- ① ONLY 1 ROW OF PARKING BETWEEN THE FRONT FACADE OF THE BUILDING AND THE STREET. CONSIDER MOVING BEHIND THE BUILDING OR TO THE SIDE.
- ② MOVE VACUUM BAYS BEHIND BUILDING
- ③ DUMPSTERS CANNOT FACE TOWARDS THE STREET
- ④ THIS ROW WILL BE ABANDONED BY THE CITY.
- ⑤ INDICATE INTERNAL TRAIL CONNECTIONS.



* LAND USE ~~REQ~~ MAY REQ. SUP DEPENDING ON THE SIZE OF THE BUILDING



* STAFF WOULD RECOMMEND CHANGING THIS PLAN TO CONFORM TO THE TOWNCENTER MODEL OF THE IH-30 CORRIDOR PLAN.










ROCKWALL, TX

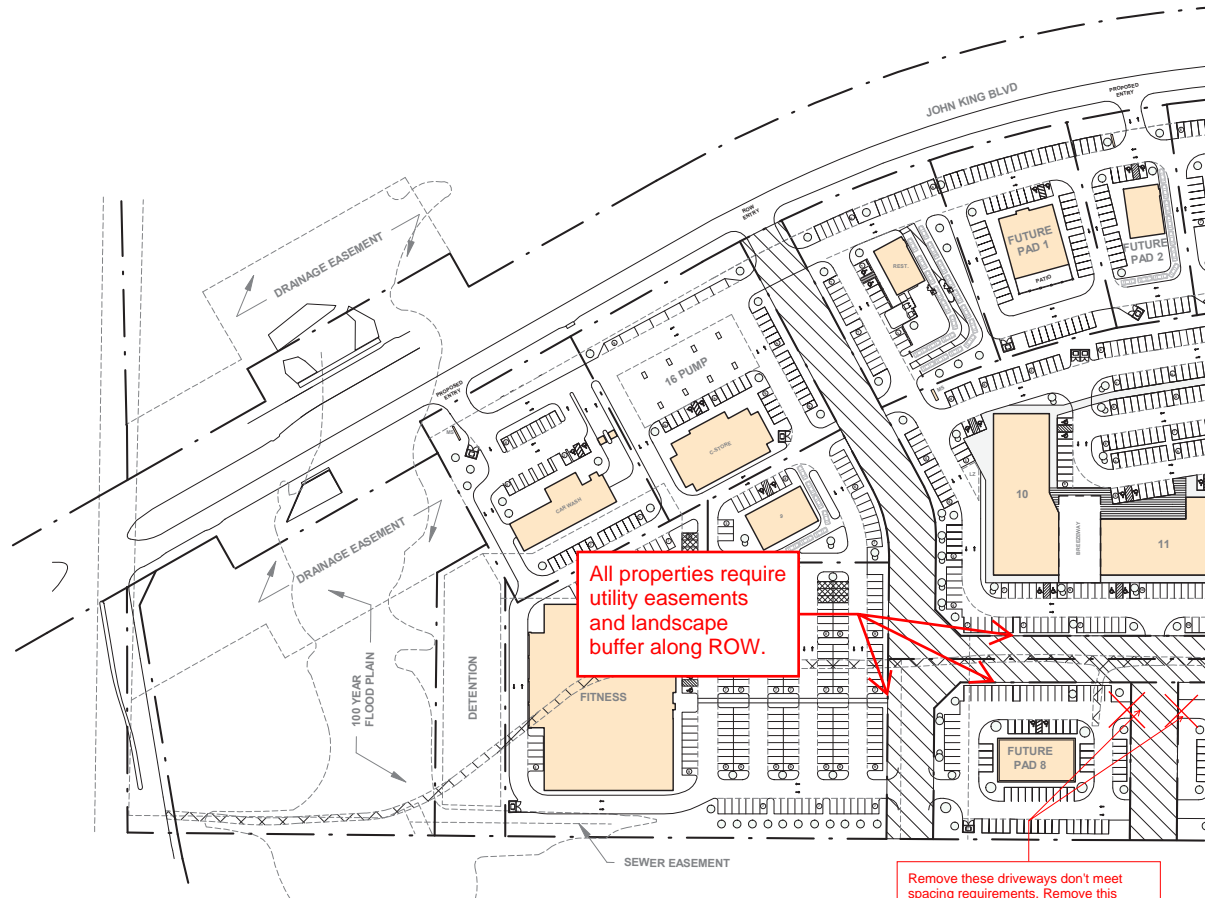
SHOPS AT ROCKWALL - STUDY 23

modus architecture

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

Hatching does not match plan.

LINE AND SYMBOL LEGEND			
	EASEMENT		FIRE LANE
	PROPERTY LINE		ROW
	BUILDING		SHARED PARKING
	GREEN SPACE		



All properties require utility easements and landscape buffer along ROW.

Remove these driveways don't meet spacing requirements. Remove this ROW dedication. Don't want a public road to "no where"

ROCKWALL, TX

SHOPS AT ROCKWALL - STUDY 23

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- General Items:**
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 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer & Roadway)
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
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 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - There is an existing 16" water main along the I-30 frontage available for use.
 - There is an existing 8" and 12" sewer main running along the west side of the property near the floodplain area.
 - All commercial sewer connections must be made by a proposed or existing manhole.
 - Min 20' utility easements.
 - Water to be 10' separated from storm and sewer lines.
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 - An infrastructure study will be required. Review fees shall apply.
 - Must construct all improvements outlined in the results of the infrastructure study.
- Roadway Paving Items:**
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 - Dedicate 30' of ROW will be required and pave 41' to meet City Standards of Enterprise Drive.
 - Must construct all roadways on the current Master Thoroughfare Plan
 - A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
 - 10' utility easements required along all roadway frontages.
 - 10' trail along John King, 5' sidewalk along Enterprise, 5' along Justin, & 5' sidewalk on both sides of new minor collector
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - Landscape berms may not be within utility easements or on top of utilities.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	N/A				
SUBDIVISION	N/A	LOT	N/A	BLOCK	N/A
GENERAL LOCATION	NORTHWEST CORNER OF S JOHN KING BLVD AND I-30 FRONTAGE ROAD				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	LI AND C	CURRENT USE	UNDEVELOPED		
PROPOSED ZONING	PD	PROPOSED USE	COMMERCIAL		
ACREAGE	32.79	LOTS [CURRENT]	6	LOTS [PROPOSED]	TBD

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

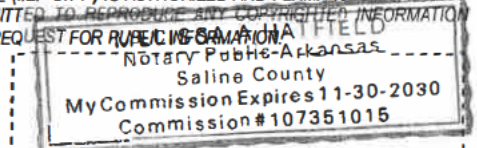
<input type="checkbox"/> OWNER	Temunovic Partnership Ltd	<input type="checkbox"/> APPLICANT	HUNINGTON PROPERTIES
CONTACT PERSON	Tina Co	CONTACT PERSON	GAGE RABA
ADDRESS	[REDACTED]	ADDRESS	[REDACTED]
CITY, STATE & ZIP	[REDACTED]	[REDACTED]	[REDACTED]
PHONE	[REDACTED]	PHONE	[REDACTED]
		E-MAIL	[REDACTED]

NOTARY VERIFICATION [REQUIRED]

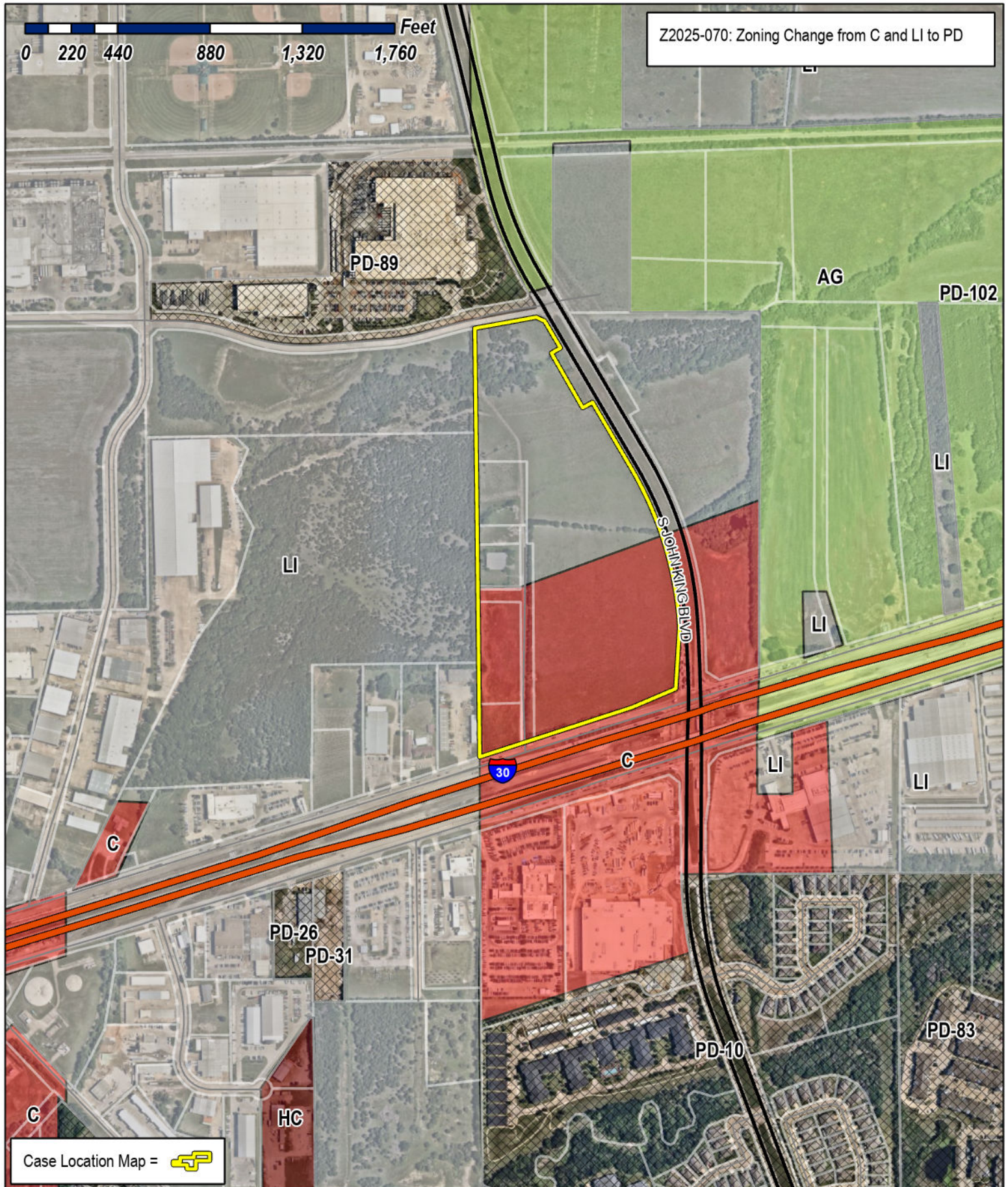
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tina Cox [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF September, 2025
OWNER'S SIGNATURE [Signature]



NOTARY PUBLIC IN AND FOR THE STATE OF ARKANSAS
MY COMMISSION EXPIRES 11-30-2030



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

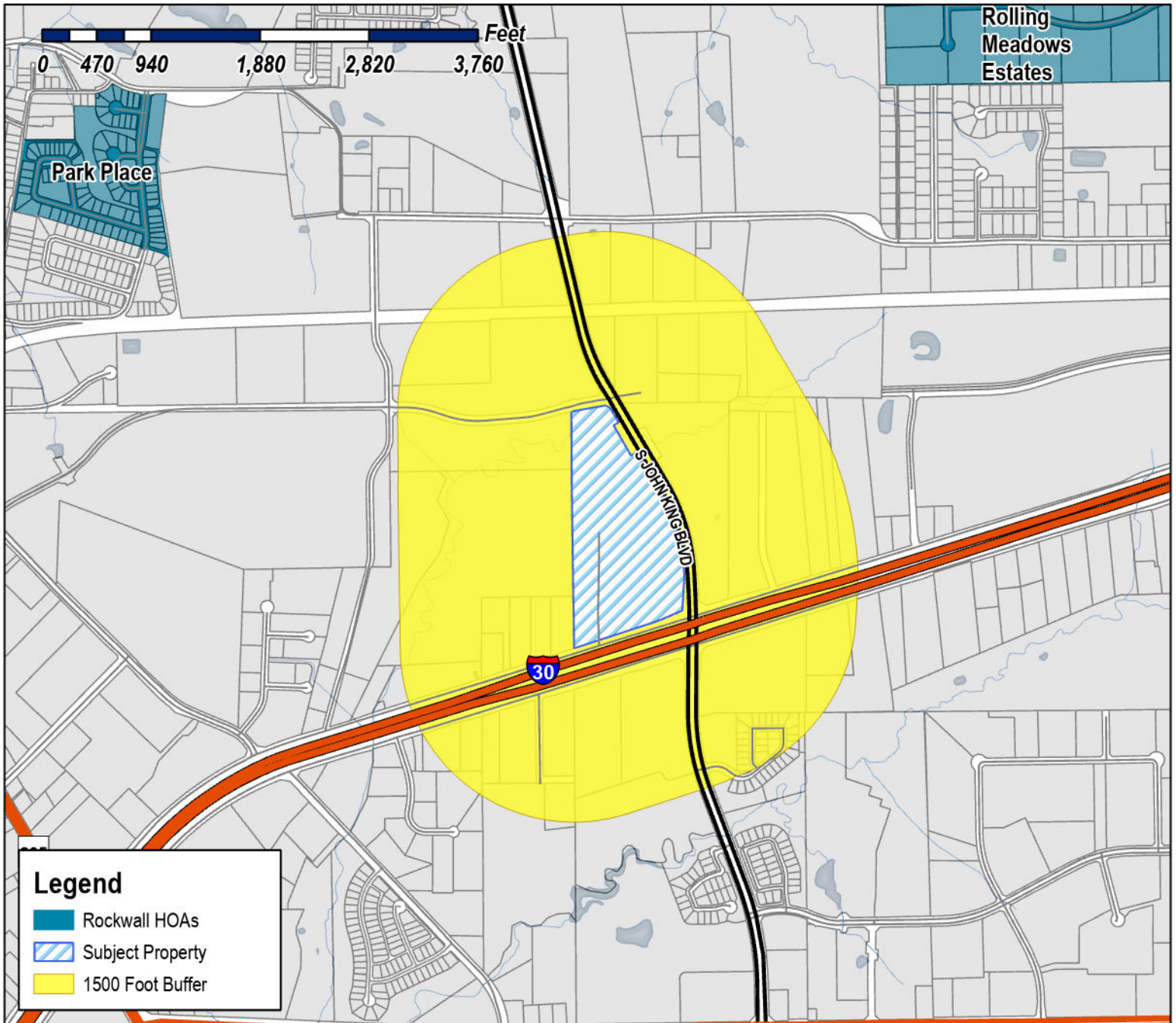




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Case Number: Z2025-070
Case Name: Zoning Change from C and LI to PD
Case Type: Zoning
Zoning: Commercial (C) District and Light Industrial (LI) District
Case Address: NWC of S. John King and I-30 Frontage

Date Saved: 10/21/2025
 For Questions on this Case Call (972) 771-7745

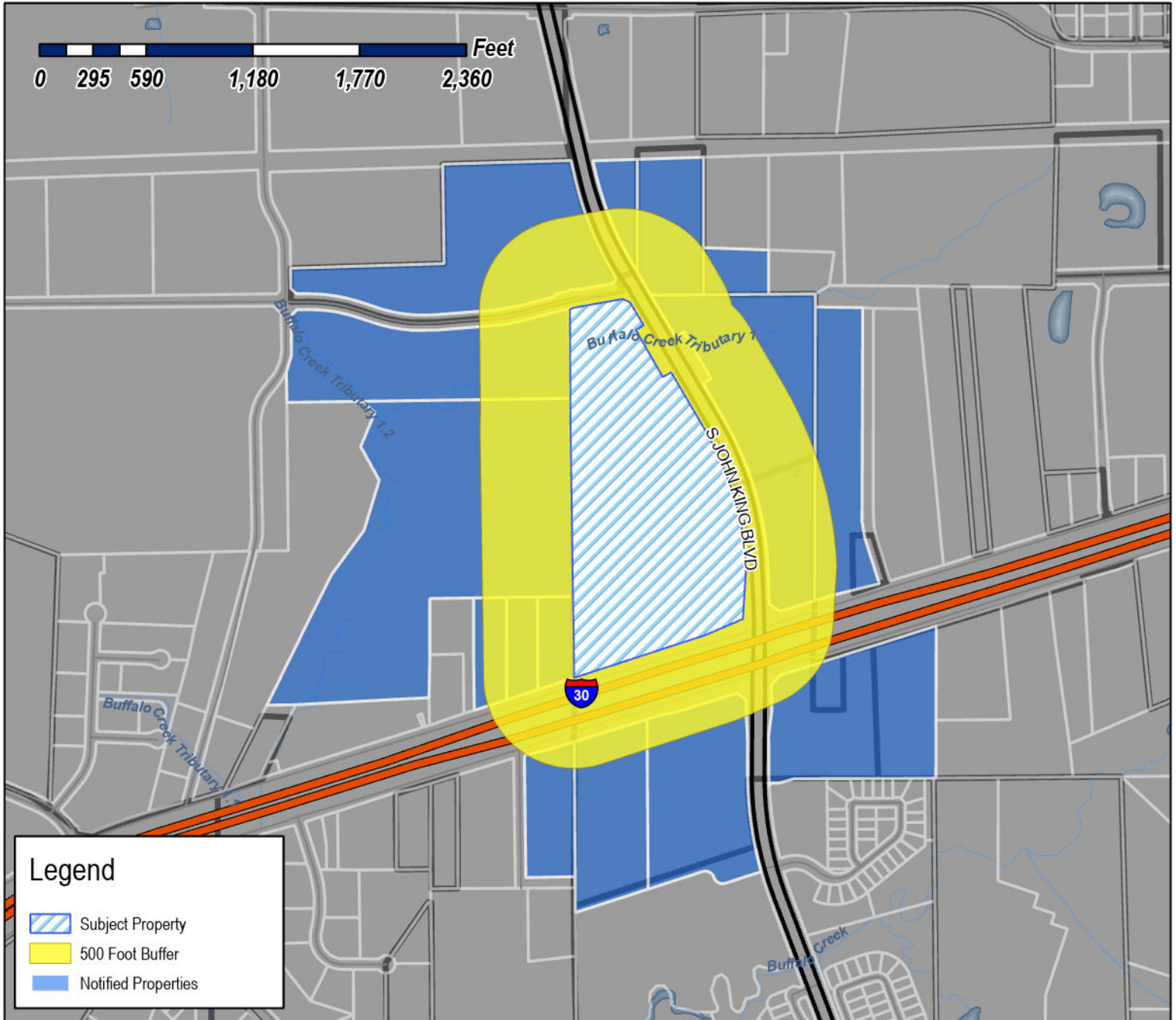




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Case Address: NWC of S. John King and I-30 Frontage

Date Saved: 10/21/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT
130 NORTH SERVICE RD
ROCKWALL, TX 75032

RESIDENT
INDUSTRIAL
ROCKWALL, TX 75032

RESIDENT
JUSTIN RD
ROCKWALL, TX 75032

COLUMBIA NORTH TEXAS HEALTHCARE SYSTEM
LP
1100 DR MARTIN L KING JR BLVD STE 500
NASHVILLE, TN 37203

LITHIA REAL ESTATE INC
150 N BARTLETT STREET
MEDFORD, OR 97501

RESIDENT
1535 I30
ROCKWALL, TX 75032

RESIDENT
1540 I30
ROCKWALL, TX 75032

RESIDENT
1545 E INTERSTATE 30
ROCKWALL, TX 75032

RESIDENT
1550 E I30
ROCKWALL, TX 75032

RESIDENT
1551 E I30
ROCKWALL, TX 75032

AM ROCKWALL INVESTMENTS LP
A TEXAS LTD PARTNERSHIP
1551 E Interstate 30 Ste A
Rockwall, TX 75087

RESIDENT
1600 E INTERSTATE 30
ROCKWALL, TX 75032

RESIDENT
1700 JUSTIN RD
ROCKWALL, TX 75032

NMAC REAL ESTATE MANAGEMENT COMPANY
LLC
1700 E I30
ROCKWALL, TX 75087

RESIDENT
1700 E I-30
ROCKWALL, TX 75032

RESIDENT
1820 JUSTIN RD
ROCKWALL, TX 75032

TEMUNOVIC PARTNERSHIP LTD
3021 Ridge Rd Ste A57
Rockwall, TX 75032

JAMES COLLIER PROPERTIES INC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

C2LA, LLC
382 Ranch Trl
Rockwall, TX 75032

H E B LP
646 SOUTH FLORES STREET
SAN ANTONIO, TX 78204

DYNACAP HOLDINGS LTD &
CHARLES SMITH
709 W Rusk St Ste B
Rockwall, TX 75087

ZBH/1535 E INTERSTATE 30 LTD
9669 JOURDAN WAY
DALLAS, TX 75230

1540 EAST IH 30 ROCKWALL LLC
M/R

RESIDENT
N/A AIRPORT RD
ROCKWALL, TX 75032

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
P O BOX 9022
TEMECULA, CA 92589

ROCKWALL STEEL CO INC
PO BOX 729
TERRELL, TX 75160

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-070: Zoning Change from LI and C to PD

Hold a public hearing to discuss and consider a request by Gage Raba of Hunington Properties, LTD on behalf of Tina Cox of Temunovic Partnership LTD for the approval of a Zoning Change from a Light Industrial (LI) and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses for a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3, and 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and, Lot 2, Block A, Eastplex Industrial Park No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, situated within the SH-205 Bypass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-070: Zoning Change from LI and C to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.



July 18, 2025

Mr. Ryan Miller
Director of Planning
City of Rockwall
385 S. Goliad
Rockwall, TX 75087

**RE: Proposed Zoning Change at NWC of IH-30 and John King Blvd.
Letter of Explanation
Rockwall, Texas**

Mr. Miller,

At the request of the Owner parcel 11461 per Rockwall CAD, we are requesting a Planned Development District for Commercial (C) District land uses on a 25.7125-acre tract of land situated in the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, currently zoned Light Industrial (LI) and Commercial (C), situated within the IH-30 Overlay (IH-30 OV) and SH-205 Bypass Overlay (SH-205 BY OV) Districts, generally located at the northwest corner of Interstate 30 and John King Blvd., and described and depicted in Exhibit A, attached hereto, which hereinafter shall be referred to as the “**Subject Property**” and incorporated by reference herein.

The Subject Property shall only be used in the manner and for the purposes outlined herein. The development of the Subject Property shall be in accordance with the Site Plan depicted on Exhibit B, attached hereto and incorporated herein by reference. The development of the Subject Property shall be subject to the Development Standards outlined on Exhibit C, attached hereto and incorporated herein.

Sincerely,

Gage A. Raba

Hunington Properties, Inc.

3773 Richmond Ave., Suite 800 ♦ Houston, Texas 77046 ♦ 713-623-6944 ♦ hpiproperties.com



Hunington

EXHIBIT A

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

TRACT 1:

Being a 29.52 acre tract of land out of the J. Lockhart Survey, Abstract No. 134, situated in the City of Rockwall, Rockwall County, Texas, being a portion of a called 51.030 acre tract of land conveyed to Temunovic Partnership, LTD by deed of record in Volume 7038, Page 314 of the Official Public Records of Rockwall County, Texas, also being all of a called Tract 3 – 3.31 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records, also being all of Lot 1 of Eastplex Industrial Park , a subdivision of record in Cabinet A, Page 237 of the Plat Records of Rockwall County, Texas and Lot 2, Block A of Eastplex Industrial Park, a subdivision of record in Cabinet B, Page 50 of said Plat Records as conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with pink plastic cap stamped “TXDOT” found at the intersection of the West right-of-way line of John King Boulevard (a variable width right-of-way) and the North right-of-way line of Interstate Highway 30 (a variable width right-of-way), being the Northeast corner of a called Parcel 65 – 0.0065 acre tract of land conveyed to the State of Texas by deed of record in Document Number 20200000023370 of said Official Public Records, for the most Easterly Southeast corner hereof;

THENCE, S45°32’11”W, along the North right-of-way line of said Interstate Highway 30 and the common Northwest line of said Parcel 65, a distance of 41.38 feet to a 1/2 inch iron rod with pink plastic cap stamped “TXDOT” found in the North line of a called Parcel 18A – 0.0812 acre tract of land conveyed to the State of Texas by deed of record in Volume 6591, Page 246 of said Official Public Records, for the most Southerly Southeast corner hereof;

THENCE, S72°31’15”W, along the North right-of-way line of said Interstate Highway 30 and the common North line of said Parcel 18A, a distance of 216.84 feet to a 5/8 inch iron rod with illegible yellow plastic cap found in the South line of said 51.030 acre tract, being the West corner of said Parcel 18A;

THENCE, S72°55’29”W, continuing along the North right-of-way line of said Interstate Highway 30, being the common South line of said 51.030 acre tract, passing at a distance of 457.61 feet, a 5/8 inch iron rod found, a total distance of 488.79 feet to a 1/2 inch iron rod with green plastic cap stamped “EAGLE SURVEYING” set at the intersection of the North right-of-way line of said Interstate Highway 30 and the East right-of-way line of Enterprise Drive as dedicated by Cabinet B, Page 50 of said Plat Records, being the most Southerly Southwest corner of said 51.030 acre tract and hereof;



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EXHIBIT A

THENCE, along the East right-of-way line of said Enterprise Drive, being the common irregular South line of said 51.030 acre tract, the following three (3) courses and distances:

1. N01°15'04"W, a distance of 353.14 feet to a 1/2 inch iron rod found;
2. N00°28'22"W, a distance of 588.70 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
3. N00°26'50"W, a distance of 87.93 feet to a 1/2 inch iron rod found at the Northeast corner of said Enterprise Drive, being the most Easterly Southeast corner of said Tract 3;

THENCE, S89°33'43"W, leaving the irregular South line of said 51.030 acre tract, along the North line of said Enterprise Drive, being the common South line of said Tract 3, a distance of 30.06 feet to a 1/2 inch iron rod found at the Northwest corner of said Enterprise Drive, being the Northeast corner of said Lot 2;

THENCE, S00°26'17"E, along the West right-of-way line of said Enterprise Drive, being the common irregular South line of said Tract 3 and the common East lines of said Lot 2 and said Lot 1, a distance of 296.53 feet to a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found at the Northeast corner of a called 0.2754 acre tract of land conveyed to the City of Rockwall by deed of record in Volume 1696, Page 251 of said Official Public Records, being the most Southerly Southeast corner of said Tract 3 and the Southeast corner of said Lot 1;

THENCE, S89°33'43"W, along the North line of said 0.2754 acre tract, being the common South line of said Tract 3 and said Lot 1, a distance of 200.00 feet to a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found in the East line of a called 49.839 acre tract of land conveyed to Rockwall Steel Co., INC by deed of record in Volume 752, Page 28 of said Official Public Records, being the Northwest corner of said 0.2754 acre tract, also being the Southwest corner of said Tract 3 and said Lot 1;

THENCE, N00°26'17"W, along the East line of said 49.839 acre tract, being the common West line of said Tract 3 and the common West lines of in part, said Lot 1 and in part, said Lot 2, a distance of 665.85 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Northwest corner of said Tract 3, being the most Westerly Southwest corner of said 51.030 acre tract;

THENCE, N00°35'23"W, along the West line of said 51.030 acre tract, being the common West lines of in part, said 49.839 acre tract and in part, Lot 1, Block B of Lot 1, Block A and Lot 1, Block B, Channell Subdivision, a subdivision of record in Document Number 20160000005517 of said Plat Records, a distance of 562.87 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the South right-of-way line of Justin Road (a variable width right-of-way), being the Northeast corner of said Lot 1, Block B, also being the Southwest corner of a called Parcel No. 1 – 0.281 acre tract of land conveyed to the City of Rockwall by deed of record



Hunington

EXHIBIT A

in Document Number 20150000018248 of said Official Public Records, for the Northwest corner hereof;

THENCE, along the South right-of-way line of said Justin Road and the common South line of said Parcel No 1, the following two (2) courses and distances:

1. N79°47'13"E, a distance of 299.17 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the most Northerly Northeast corner hereof;
2. S65°19'58"E, a distance of 49.22 feet to a 1/2 inch iron rod with yellow plastic cap stamped "WIER AND ASSOC" found at the intersection of the South right-of-way line of said Justin Road and the West right-of-way line of said John King Boulevard, being the Southeast corner of said Parcel No. 1, for the most Easterly Southeast corner hereof;

THENCE, along the irregular West right-of-way line of said John King Boulevard, the following eight (8) courses and distances:

1. S30°26'47"E, a distance of 90.52 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N19°00'00"W, a distance of 0.53 feet;
2. S59°33'13"W, a distance of 48.04 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N47°22'43"W, a distance of 0.59 feet;
3. S30°26'47"E, a distance of 300.59 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N53°04'14"W, a distance of 0.79 feet;
4. N59°33'13"E, a distance of 48.04 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N79°38'03"W, a distance of 0.87 feet;
5. S30°26'47"E, a distance of 416.98 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the beginning of a tangent curve to the right, from which a 1/2 inch iron rod found bears N64°24'08"W, a distance of 0.87 feet;
6. Along said tangent curve to the right, having a radius of 1,690.00 feet, a chord bearing of S18°37'03"E, a chord length of 692.86 feet, a delta angle of 23°39'28", an arc length of 697.81 feet to 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of tangency of said curve, from which a 1/2 inch iron rod found bears N87°55'20"W, a distance of 1.30 feet;
7. S01°43'57"W, a distance of 190.30 feet to a 1/2 inch iron rod found;



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EXHIBIT A

8. S02°19'04"W, a distance of 211.62 feet to the **POINT OF BEGINNING** and containing an area of 29.515 acres (1,285,677 square feet) of land, more or less.

TRACT 2:

Being a 3.27 acre tract of land out of the J. Lockhart Survey, Abstract No. 134, situated in the City of Rockwall, Rockwall County, Texas, being all of a called Tract 1 – 1.10 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records, also being all of a called Tract 2 – 2.17 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with yellow plastic cap stamped “RPLS 5034” found in the North right-of-way line of Interstate Highway 30 (a variable width right-of-way), being the Southeast corner of a called 2.00 acre tract of land conveyed to AM Rockwall Investments, L.P. by deed of record in Volume 2435, Page 28 of said Official Public Records, also being the Southwest corner of said Tract 1 and hereof;

THENCE, N01°17'47"W, leaving the North right-of-way line of Interstate Highway 30, along the East line of said 2.00 acre tract, being the West line of said Tract 1, a distance of 420.06 feet to a 1/2 inch iron rod with green plastic cap stamped “EAGLE SURVEYING” set at the Southeast corner of a called 49.839 acre tract of land conveyed to Rockwall Steel Co., INC by deed of record in Volume 752, Page 28 of said Official Public Records, being the Northeast corner of said 2.00 acre tract, also being the Southwest corner of said Tract 2, also being the Northwest corner of said Tract 1;

THENCE, N00°26'17"W, along the East line of said 49.839 acre tract, being the common West line of said Tract 2, a distance of 321.77 feet to a 1/2 inch iron rod with yellow plastic cap stamped “RPLS 5034” found at the Southwest corner of a called 0.2754 acre tract of land conveyed to the City of Rockwall by deed of record in Volume 1696, Page 251 of said Official Public Records, being the Northwest corner of said Tract 2 and hereof;

THENCE, N89°33'43"E, along the South line of said 0.2754 acre tract, being the common North line of said Tract 2, a distance of 200.00 feet to a 1/2 inch iron rod in the West right-of-way line of Enterprise Drive as dedicated by Cabinet B, Page 50 of said Plat Records, being the Southeast corner of said 0.2754 acre tract, also being the Northeast corner of said Tract 2 and hereof;

THENCE, along the West right-of-way line of said Enterprise Drive, being the common East lines of in part, said Tract 2 and in part, said Tract 1, the following two (2) courses and distances:

1. S00°26'17"E, a distance of 320.07 feet to a 1/2 inch iron rod found;



Hunington

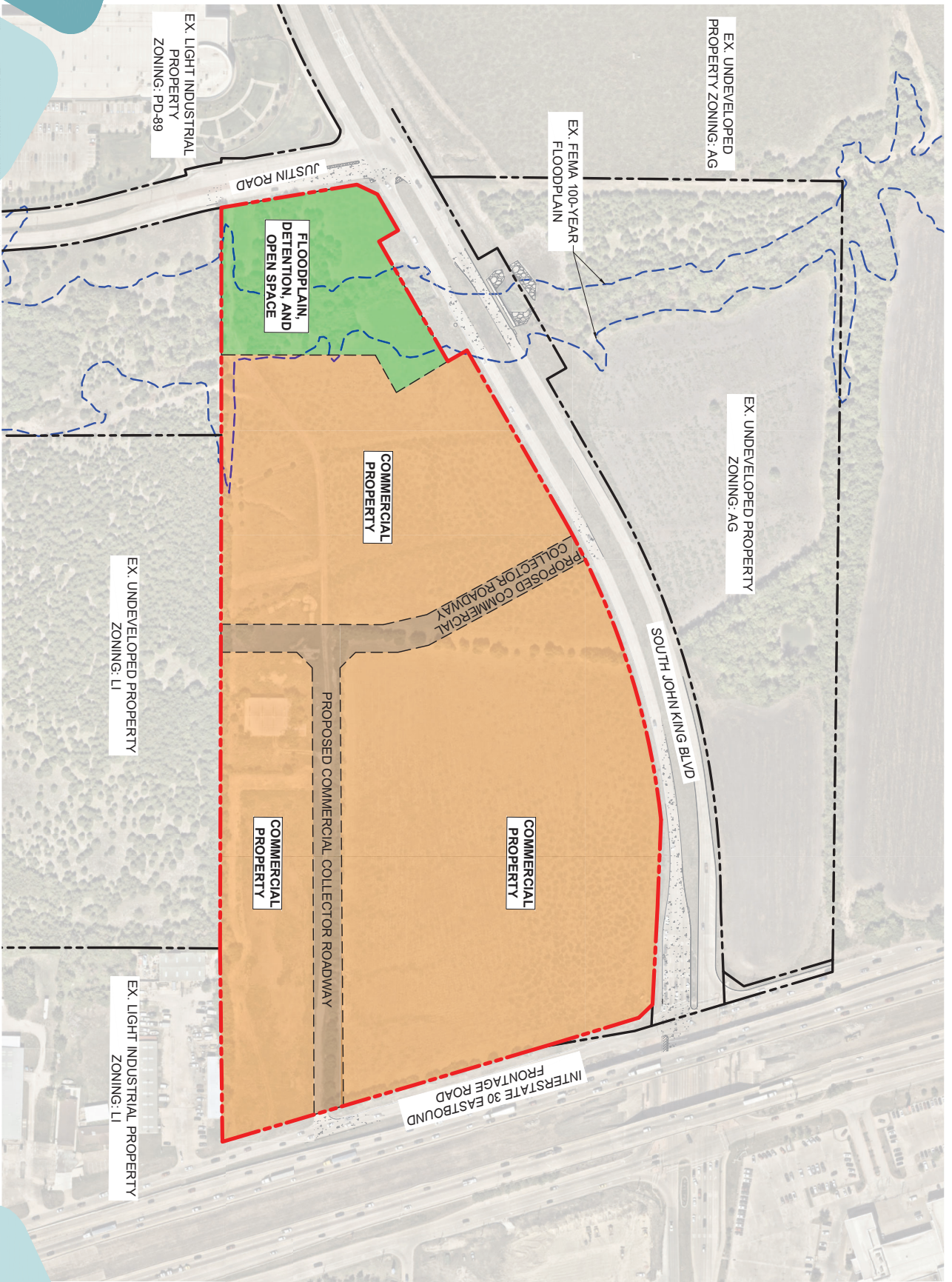
EXHIBIT A

2. S01°17'47"E, a distance of 362.15 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the intersection of the West right-of-way line of said Enterprise Drive and the North right-of-way line of said Interstate Highway 30, being the Southeast corner of said Tract 1 and hereof;

THENCE, S72°54'00"W, along the North right-of-way line of said Interstate Highway 30, being the common South line of said Tract 1, a distance of 207.86 feet to the **POINT OF BEGINNING** and containing an area of 3.27 acres (142,406 square feet) of land, more or less.

Hunington Properties, Inc.

3773 Richmond Ave., Suite 800 ♦ Houston, Texas 77046 ♦ 713-623-6944 ♦ hpiproperties.com



DATE: 07/18/2025
 TITLE: COMMONS AT ROCKWALL PLANNED DEVELOPMENT DISTRICT SUBJECT SITE EXHIBIT
 PROJECT: COMMONS AT ROCKWALL PLANNED DEVELOPMENT DISTRICT SUBJECT SITE EXHIBIT
 DRAWN BY: [Name]



GRAPHIC SCALE IN FEET
 0 100 200 300 400

LEGEND








	SUBJECT SITE LIMITS
	FEMA 100-YEAR FLOOD PLAN
	FLOODPLAIN DETENTION AND OPEN SPACE
	CITY ROADWAY
	COMMERCIAL PROPERTY

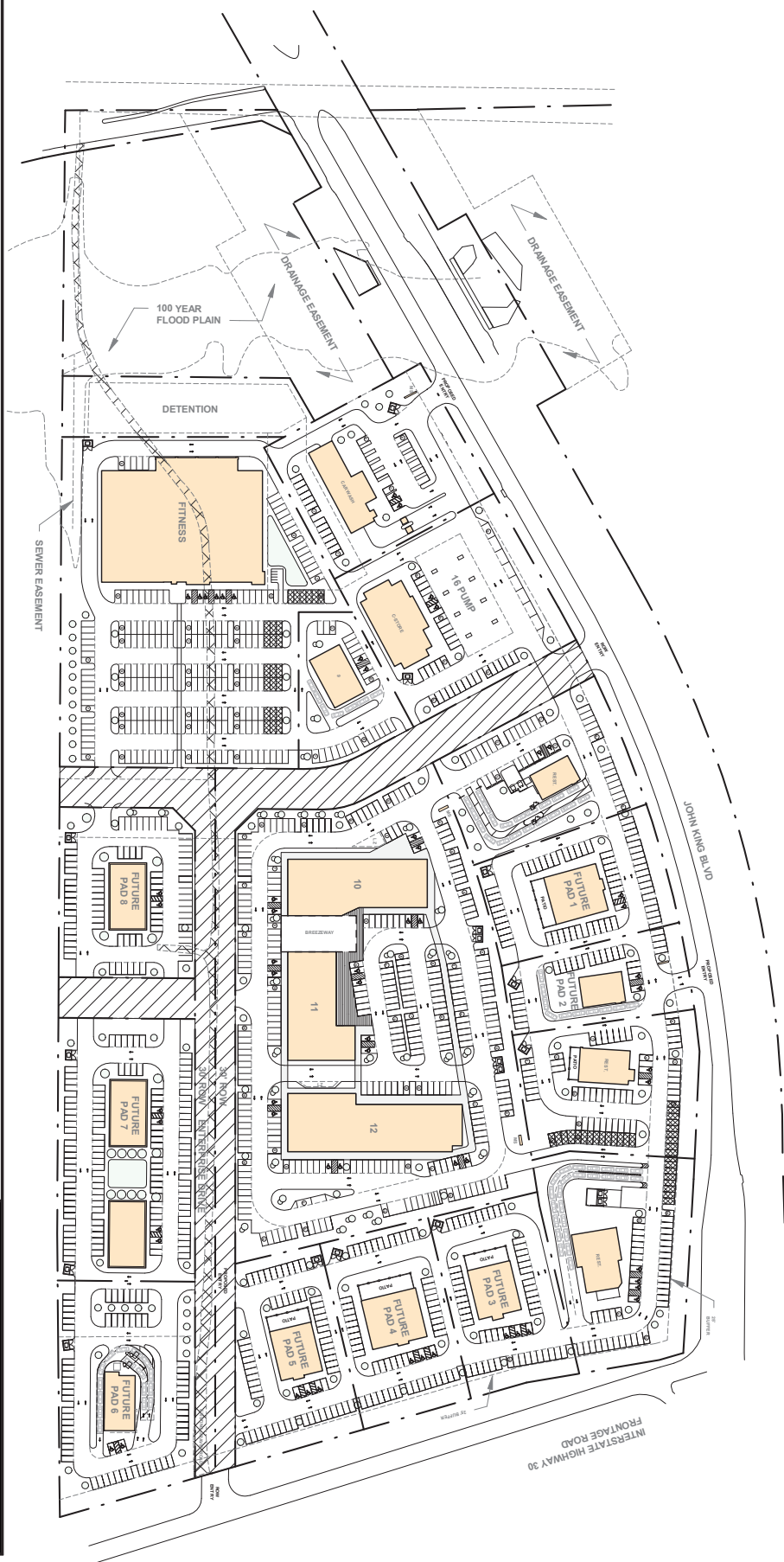
COMMONS AT ROCKWALL
 PLANNED DEVELOPMENT
 DISTRICT
 SUBJECT SITE EXHIBIT
 7/18/2025



2033 W. NARA ST.
 SUITE 100
 8172776-5800
 State of Texas Registration No. E-5928

PROJECT: COMMONS AT ROCKWALL PLANNED DEVELOPMENT DISTRICT SUBJECT SITE EXHIBIT
 DRAWN BY: [Name]

LINE AND SYMBOL LEGEND			
	EASEMENT		FIRE LANE
	PROPERTY LINE		ROW
	BUILDING		SHARED PARKING
	GREEN SPACE		



ROCKWALL, TX

SHOPS AT ROCKWALL - STUDY 23

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNERS SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.



DATE: 07/18/25

A127



Hunington

EXHIBIT C

DEVELOPMENT STANDARDS

The Subject Property shall be developed as a comprehensive commercial development as depicted on the Site Plan, which is contained in Exhibit B. The intent is to provide a Regional Mixed-Use Development that incorporates, retail, restaurant, and/or entertainment land uses in conformance with the vision established in the IH-30 Corridor Plan and John King Boulevard Corridor contained in the OURHometown Vision 2040 Comprehensive Plan.

The following general standards shall apply to the Subject Property as depicted on the Subject Site Exhibit:

- (1) Development Standards. Unless otherwise stipulated by this Planned Development District, all property situated within the Subject Property shall be subject to the development standards stipulated by the *General Commercial District Standards*, as outlined in Section 04.01, of Article 5, *Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.
- (2) Landscape Requirements. All landscaping shall be as provided in Article 08, *Landscaping and Fence Standards*, Subsection 05.03 of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:
 - (a) Amount of Landscaping. The percentage of landscaping required on the Subject Property shall be 10%.
 - (b) Landscape Buffer Adjacent to the IH-30 Frontage Road. A minimum of a 20-foot landscape buffer shall be provided along the frontage of the IH-30 Frontage Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway.
 - (c) Landscape Buffer Adjacent to John King Boulevard (SH-205 Bypass). A minimum of a 25-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. In addition, one (1) cedar tree, two (2) canopy trees, and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway.



Hunington

(3) Permitted Land Uses. Unless specifically provided for by this Planned Development District, the Subject Property shall be subject to the land uses permitted by right within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted By-Right, without conditions:

- Animal Boarding/Kennel with Outside Pens
- Animal Clinic for Small Animals without Outdoor Pens
- Animal Hospital, Clinic, or Veterinarian Office
- Limited-Service Hotel
- Full-Service Hotel
- Financial Institution with Drive-Through
- Golf Driving Range
- Alcoholic Beverage Package Sales
- Alcoholic Beverage Store
- Portable Beverage Service Facility
- Craft/Micro Brewery, Distillery, and/or Winery
- Food Trucks/Trailers
- Garden Supply/Plant Nursery
- General Personal Service
- Hair Salon and/or Manicurist
- Laundromat with Dropoff/Pickup Services
- Massager Therapist
- Private Museum or Art Gallery
- Permanent Cosmetics
- Rental Store without Outside Storage and/or Display
- Restaurant with less than 2,000 SF with Drive-Through or Drive-In
- Restaurant with 2,000 SF or more with Drive-Through or Drive-In
- Retail Store with Gasoline Sales that has two or less Dispensers (i.e. a maximum of four vehicles)
- Retail Store with Gasoline Sales that has more than two dispensers
- Feed Store or Ranch Supply
- Furniture Upholstery/Refinishing and Resale
- Medical or Scientific Research Lab
- Minor Automotive Repair Garage
- Full-Service Car Wash and Auto Detail
- Self-Service Car Wash



(b) The following land uses shall be expressly *Prohibited*:

- Residence Hotel
- Self Service Laundromat
- Tattoo and/or Body Piercing
- Taxidermist Shop
- Gunsmith Repair And Sales
- Heavy Machinery and Equipment Rental, Sales, and Service
- Non-Commercial Parking Lot
- RV Sales and Service
- Service Station
- Towing and Impound Yard
- Towing Service Without Storage
- Truck Rental
- Industrial and Manufacturing Land Uses
- Wholesale, Distribution, and Storage Land Uses

(4) *Density and Development Standards*. All development on the Subject Property shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

<i>MINIMUM LOT AREA</i>	10,000 SF
<i>MINIMUM LOT WIDTH</i>	60'
<i>MINIMUM LOT DEPTH</i>	100'
<i>MINIMUM FRONT YARD SETBACK</i>	25'
<i>MINIMUM SIDE YARD SETBACK</i> ⁽¹⁾	10'
<i>MINIMUM REAR YARD SETBACK</i> ⁽¹⁾	10'
<i>MINIMUM BETWEEN BUILDINGS</i> ⁽¹⁾	15'
<i>MAXIMUM BUILDING HEIGHT</i> ⁽²⁾	60'
<i>MAXIMUM LOT COVERAGE</i> ⁽³⁾	60%
<i>MINIMUM LANDSCAPING</i>	10%

Lot Dimensional Requirement Notes:

¹: MAY BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.

²: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

³: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.



Hunington

(5) Parking Requirements. The following parking ratios shall apply on the Subject Property:

- (a) Office: One (1) Parking Space per 300 SF of Building Area.
- (b) Restaurant: One (1) Parking Space per 100 SF of Building Area.
- (c) All others: One (1) Parking Space per 250 SF of Building Area.

(6) Building Materials and Design Standards. All buildings shall adhere to the following:

- (a) Building Materials. The following building materials shall be permitted: stone, brick, glass curtain wall, aluminum and glass storefront, glass block, tile, custom painted tilt-up concrete panel, and custom Concrete Masonry Units (CMU) (*i.e. units that have been sandblasted, burnished, or that have a split face – light weight block or smooth faced block shall be prohibited*). In addition, the use of cementitious materials (*i.e. fiber cement, stucco, cementitious lap siding, tilt-up concrete or similar materials approved by the Director of Planning and Zoning or his/her designee*) shall be permitted without limitation for use on the building's exterior façade.
- (b) Articulation Requirements. The articulation requirements stipulated in Section 04.01, *General Commercial District Standards*, and Section 06.02, *General Overlay District Standards*, of the Unified Development Code (UDC) shall not apply to the Subject Property. However, building elevations on the Subject Property shall generally adhere to the Conceptual Building Elevation Plans, depicted on Exhibit D, and all buildings should generally include an articulated entryway that creates some relief in the front façade of the building. This element will be reviewed by the Architectural Review Board (ARB) with the *Site Plan*, and shall adhere to the following standards:
 - i. WALL HEIGHT. The wall height shall be measured from grade to the top of the wall.
 - ii. WALL LENGTH. The maximum wall length shall not exceed three (3) times the wall height (*i.e. 3 x (i) ≥ (ii)*).
 - iii. SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. The minimum length of the secondary entryway or projecting architectural element shall be 25% of the wall length (*i.e. 25% x (ii) ≤ (iii)*).
- (c) Roof Design Standards. All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides. Flat roofs with or without parapets may be permitted; however, all rooftop mechanical equipment and/or other rooftop appurtenances (*excluding solar panels*) shall not be visible at-grade from the boundaries of the Subject Property. No building, regardless of size, shall be required to have a pitched roof. Bituminous built-up roofs, and/or flat membrane-type roofs that are visible from adjacent properties or public right-of-way shall be prohibited.



Hunington

(d) Required Architectural Elements. All buildings shall be required to incorporate a minimum of two (2) of the following architectural elements:

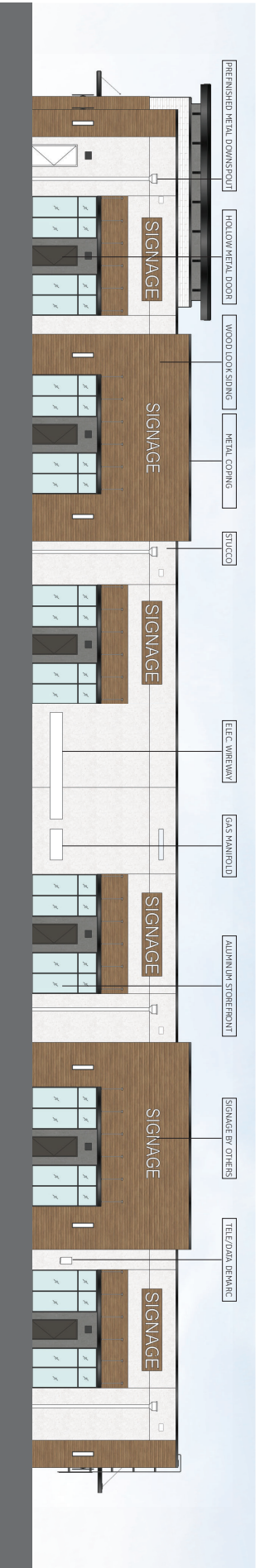
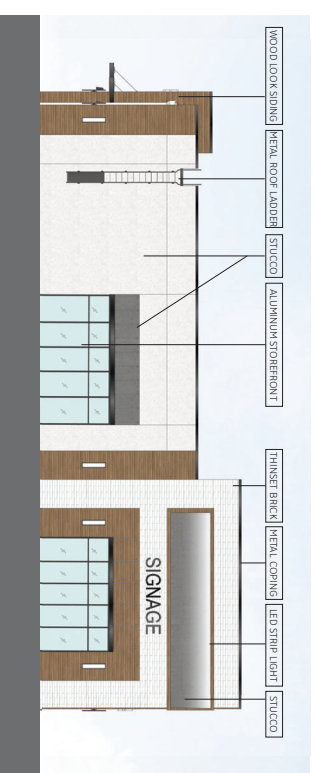
- Canopies, Awnings, or Porticos
- Recesses/Projections
- Arcades
- Peaked roof forms
- Arches
- Outdoor patios
- Display windows
- Architectural details (e.g. tile work and moldings) integrated into the building's façade
- Articulated ground floor levels or bases
- Articulated cornice line
- Integrated planters or wing walls that incorporate landscape and sitting areas
- Offsets, reveals, or projecting rib expressing architectural or structural bays
- Varied roof heights

(e) Trash/Recycling/Enclosures. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, dumpster enclosure that utilizes material that is complimentary in color and scale to the primary building and incorporates an opaque, self-latching gate.

(7) Signage. All signage shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, the following shall apply:

(a) Signage Plan. All signage at the entrances of the Subject Property shall generally adhere to the Signage Plan attached hereto as Exhibit E.

EXTERIOR ELEVATIONS - BUILDING 01



HUNNINGTON - SHOPS AT ROCKWALL

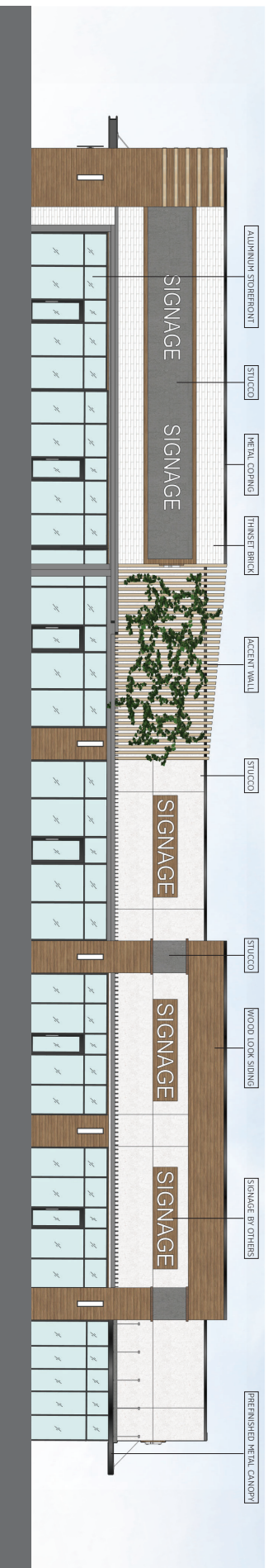
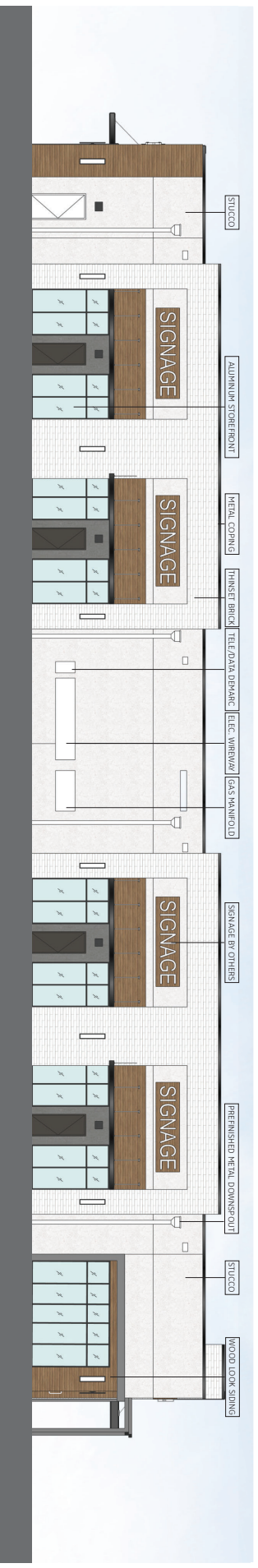
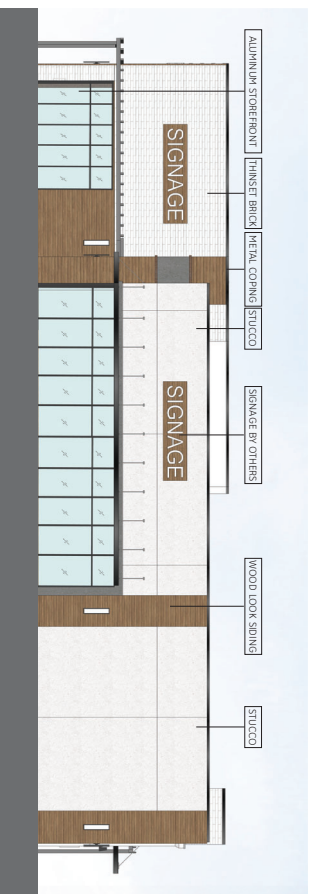
CONCEPTUAL IMAGES

modus architecture

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNERS SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

DATE: 07/15/2025

EXTERIOR ELEVATIONS - BUILDING 02



HUNNINGTON - SHOPS AT ROCKWALL

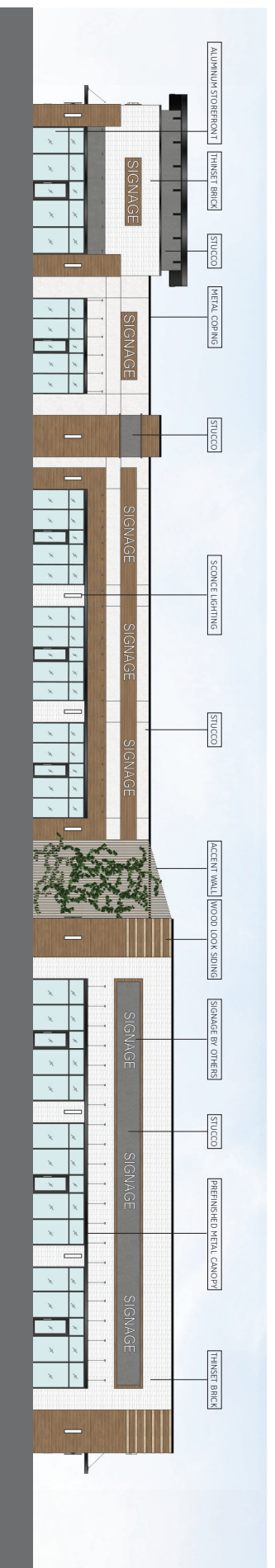
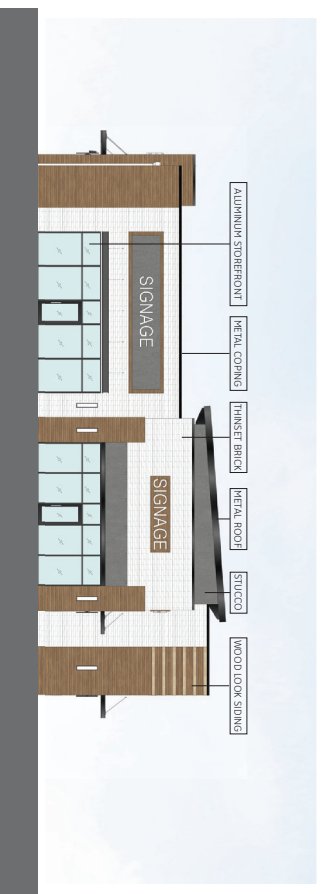
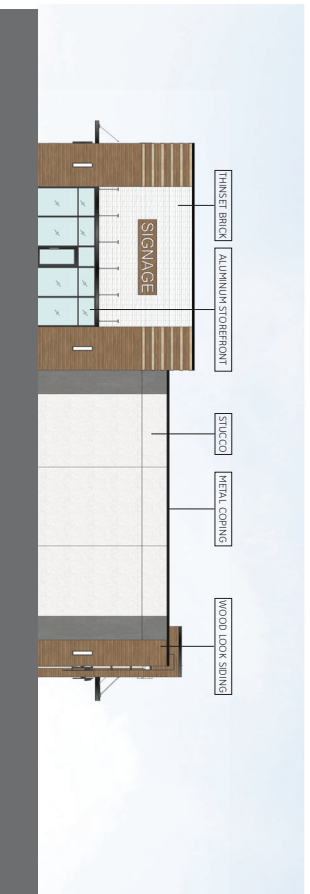
CONCEPTUAL IMAGES

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modus architecture

DATE: 07/15/2025

EXTERIOR ELEVATIONS - BUILDING 03



HUNNINGTON - SHOPS AT ROCKWALL

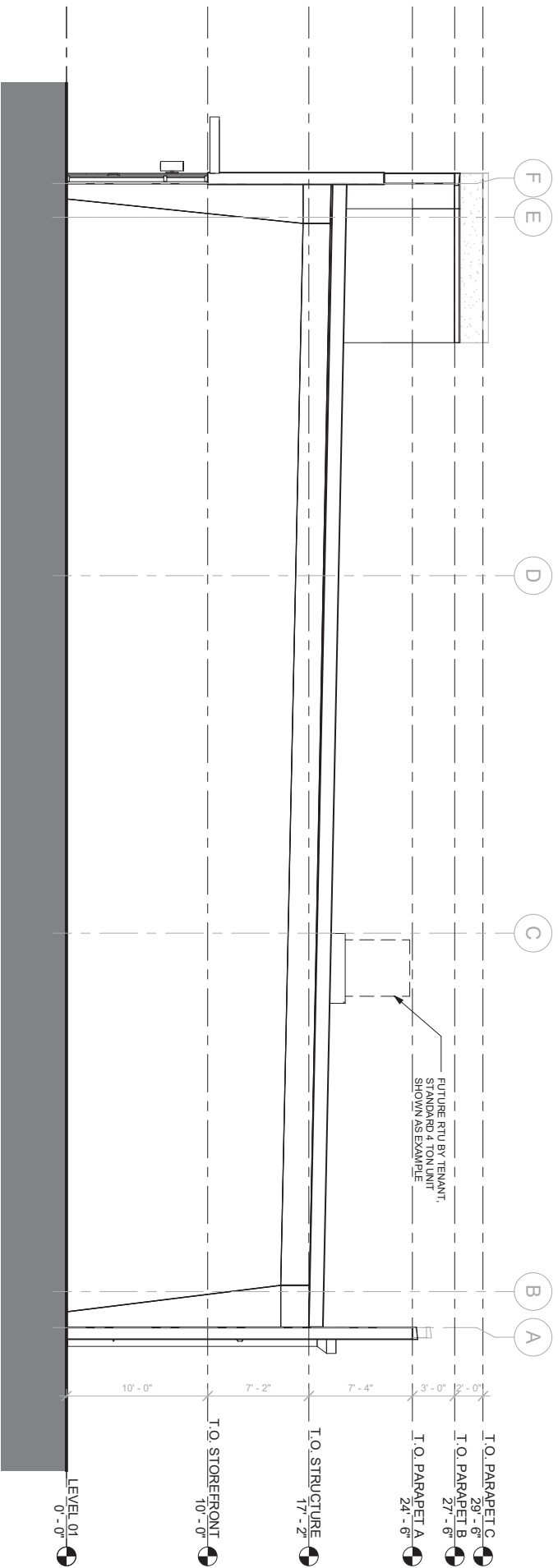
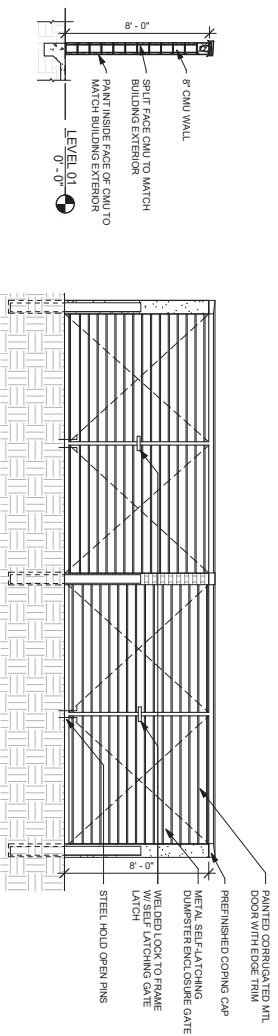
CONCEPTUAL IMAGES

modus architecture

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DATE: 07/15/2025

TYPICAL BUILDING SECTION / DUMPSTER ENCLOSURE DETAILS



HUNNINGTON - SHOPS AT ROCKWALL

CONCEPTUAL IMAGES

modus architecture

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DATE: 07/15/2025

OPTION #1

SIGN TYPE

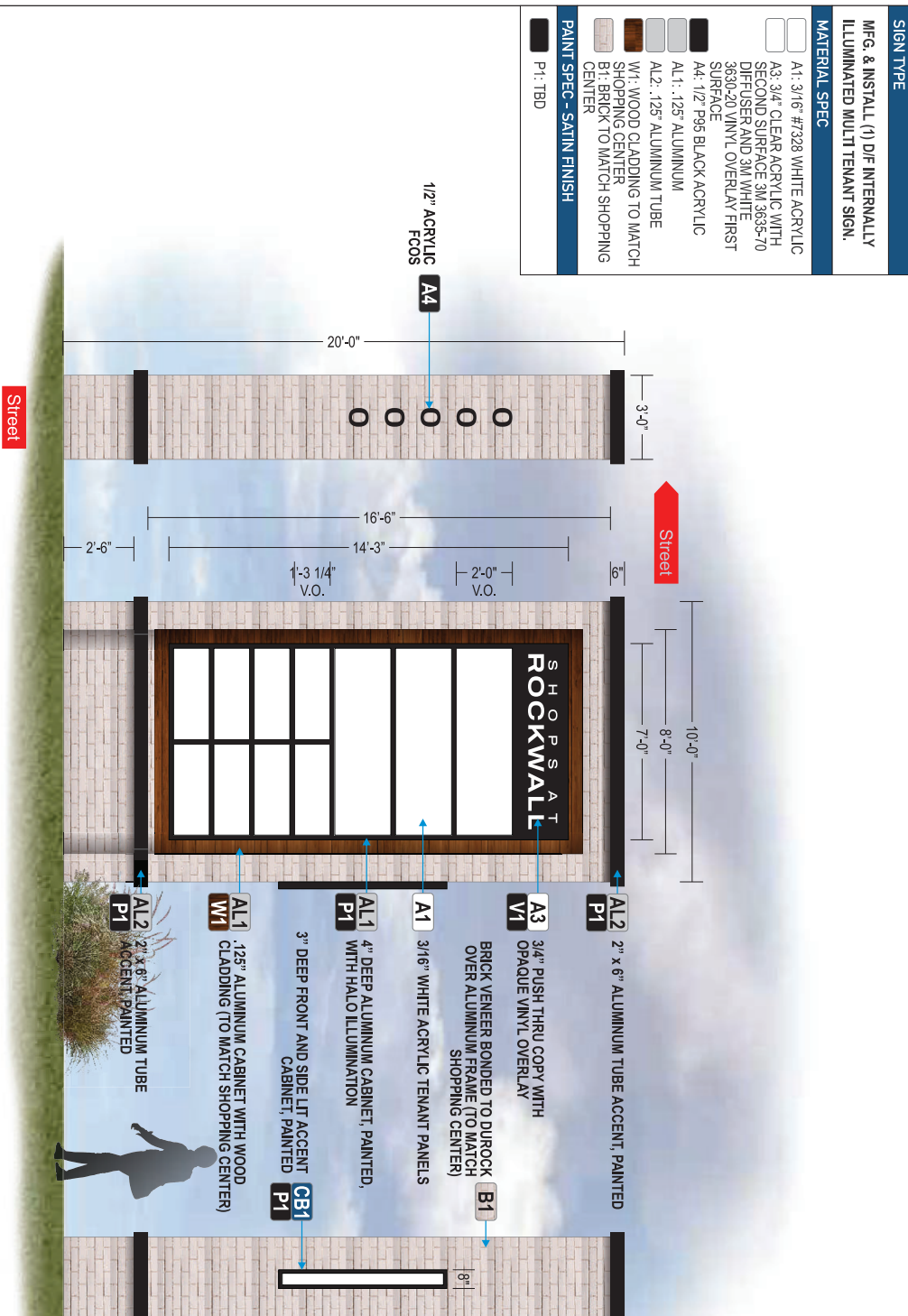
MFG. & INSTALL (1) D/F INTERNALLY ILLUMINATED MULTI TENANT SIGN.

MATERIAL SPEC

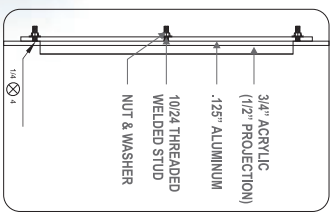
- A1: 3/16" #7328 WHITE ACRYLIC
- A3: 3/4" CLEAR ACRYLIC WITH SECOND SURFACE 3M 3635-70 DIFFUSER AND 3M WHITE 3630-20 VINYL OVERLAY FIRST SURFACE
- A4: 1/2" P95 BLACK ACRYLIC
- AL1: 125" ALUMINUM TUBE
- AL2: 125" ALUMINUM TUBE
- W1: WOOD CLADDING TO MATCH SHOPPING CENTER
- B1: BRICK TO MATCH SHOPPING CENTER

PAINT SPEC - SATIN FINISH

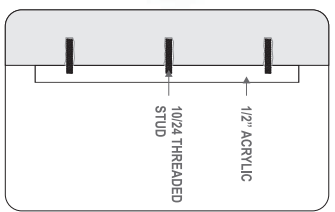
- P1: TBD



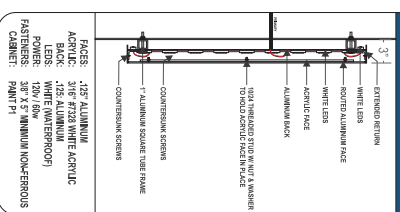
PUSH THRU



FLAT CUT OUT (FCO) ACRYLIC LETTERS



CB1 FRONT AND SIDE LIT ACCENT CABINET



THIS IS ONLY AN ARTIST RENDERING. FINISHED PROJECT MAY VARY SLIGHTLY IN SIZE AND COLOR.

PROJECT



2022 PECH ROAD | HOUSTON, TX 77055
T: 713.984.2010 | F: 713.984.1992

PROJECT INFO

CLIENT: HUNTINGTON PROPERTIES | ROCKWALL
ADDRESS: NMC 130 & JOHN KING BLVD
CITY, STATE: ROCKWALL, TX 75087
DATE: 06/04/2025
SALES REP: JG
DRAWN BY: SF

DRAWING NUMBER
PRO25-0344

W.O. (E2) NUMBER

#	DATE	REVISIONS	SIGNATURES	ESTIMATION
1				
2				
3				
4				
5				
6				

SIGNATURES

CLIENT APPROVAL: _____ DATE: _____
LANDLORD APPROVAL: _____ DATE: _____
SALES: _____ DATE: _____

APPROVAL

FOR ACTUAL COLORS OF ITEMS DEPICTED IN THIS DESIGN REFER TO SAMPLES AS MONITORS & PRINTERS VARY.
CLIENT IS RESPONSIBLE FOR SUPPLYING VECTOR AND/OR HIGHER TYPICAL BRANDING FILES PRIOR TO PRODUCTION TO AVOID A SETUP-FEE.
APPROVAL: _____ DATE: _____

SPECIFICATION

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S ARTICLES OF THE NATIONAL ELECTRICAL CODE AND/OR LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

ILLUMINATED

120 or 277 VOLT ELECTRICAL SERVICE
ELECTRICAL LOAD: _____
20 AMP CIRCUITS
CLIENT TO PROVIDE ALL NECESSARY ELECTRICAL SERVICES TO THE SIGN AND TO THE SIGN CABINET.

PAGE 2 OF 6

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SIGN LAYOUT
SCALE: 1/4"=1'-0"

OPTION #2

SIGN TYPE

MFG. & INSTALL (1) D/F INTERNALLY ILLUMINATED MULTI TENANT SIGN.

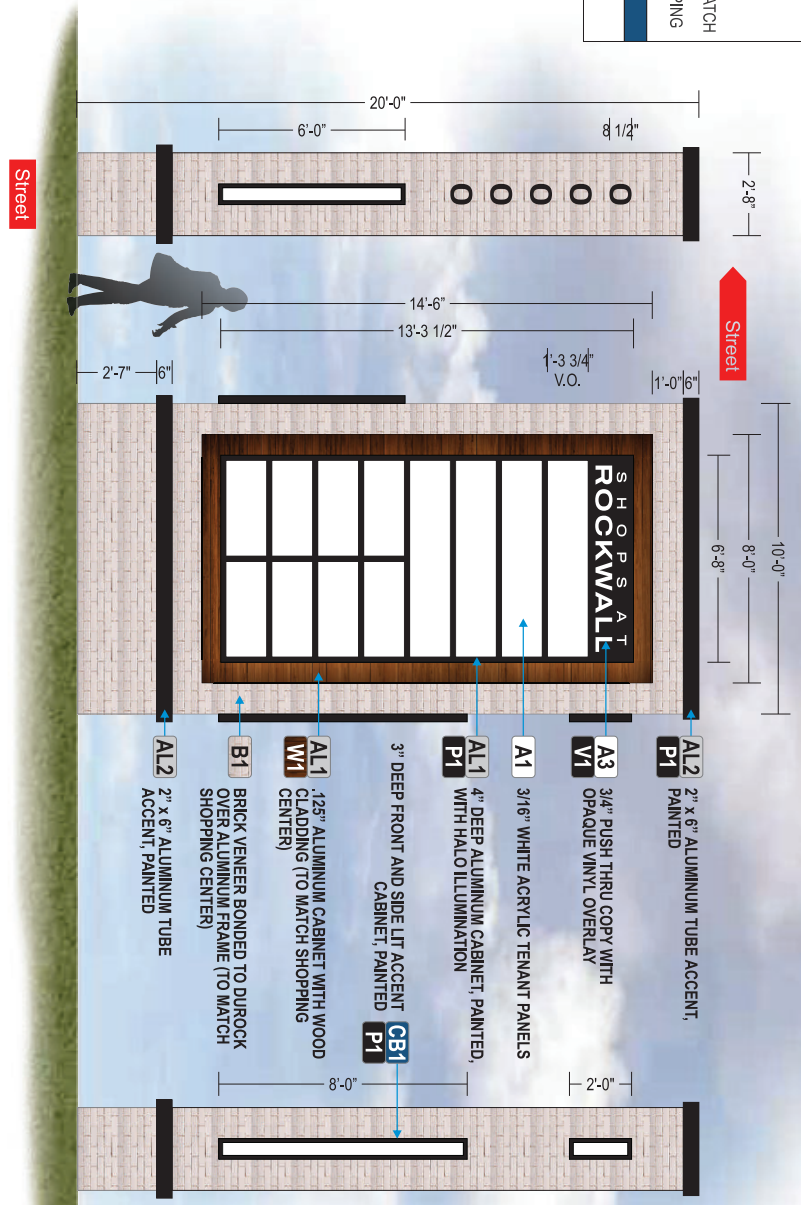
MATERIAL SPEC

- A1: 3/16" #7328 WHITE ACRYLIC
- A3: 3/4" CLEAR ACRYLIC WITH SECOND SURFACE 3M 3635-70 DIFFUSER AND 3M WHITE 3630-20 VINYL OVERLAY FIRST SURFACE
- A4: 1/2" P95 BLACK ACRYLIC
- AL1: 125' ALUMINUM TUBE
- AL2: 125' ALUMINUM TUBE
- W1: WOOD CLADDING TO MATCH SHOPPING CENTER
- B1: BRICK TO MATCH SHOPPING CENTER
- P1: 1BD

PAINT SPEC - SATIN FINISH

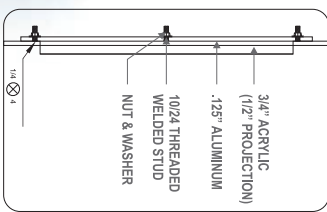
SIGN LAYOUT

SCALE: 1/4"=1'-0"

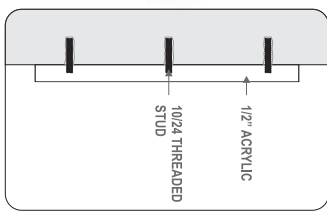


- AL2 2" x 6" ALUMINUM TUBE ACCENT, PAINTED
- P1
- A3 3/4" PUSH THRU COPY WITH OPAQUE VINYL OVERLAY
- W1
- A1 3/16" WHITE ACRYLIC TENANT PANELS
- AL1 4" DEEP ALUMINUM CABINET, PAINTED, WITH HALO ILLUMINATION
- P1
- 3" DEEP FRONT AND SIDE LIT ACCENT CABINET, PAINTED
- C81
- AL1 125" ALUMINUM CABINET WITH WOOD CLADDING (TO MATCH SHOPPING CENTER)
- W1
- B1 BRICK VENEER BONDED TO DURROCK OVER ALUMINUM FRAME (TO MATCH SHOPPING CENTER)
- AL2 2" x 6" ALUMINUM TUBE ACCENT, PAINTED

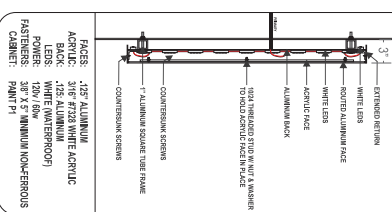
PUSH THRU



FLAT CUT OUT (FCO) ACRYLIC LETTERS



C81 FRONT AND SIDE LIT ACCENT CABINET



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PROJECT

ILLUMINATED

2022 PECH ROAD | HOUSTON, TX 77065
T: 713.984.2010 | F: 713.984.1992

PROJECT INFO

CLIENT: HUNTINGTON PROPERTIES | ROCKWALL
ADDRESS: NWC 130 & JOHN KING BLVD
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6

#	DATE	REVISIONS	SIGNATURES
1			CLIENT APPROVAL
2			SIGNED
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4			SIGNED
5			SALES
6			SIGNED

APPROVAL	ESTIMATION
APPROVAL	APPROVAL
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CLIENT IS RESPONSIBLE FOR SUPPLYING VECTOR AND/OR HIGHER TYPICAL BRANDING FILES PRIOR TO PRODUCTION TO AVOID A SETUP FEE	APPROVAL

SPECIFICATION

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120 or 277 VOLT ELECTRICAL SERVICE

ELECTRICAL LOAD: 20 AMP CIRCUITS








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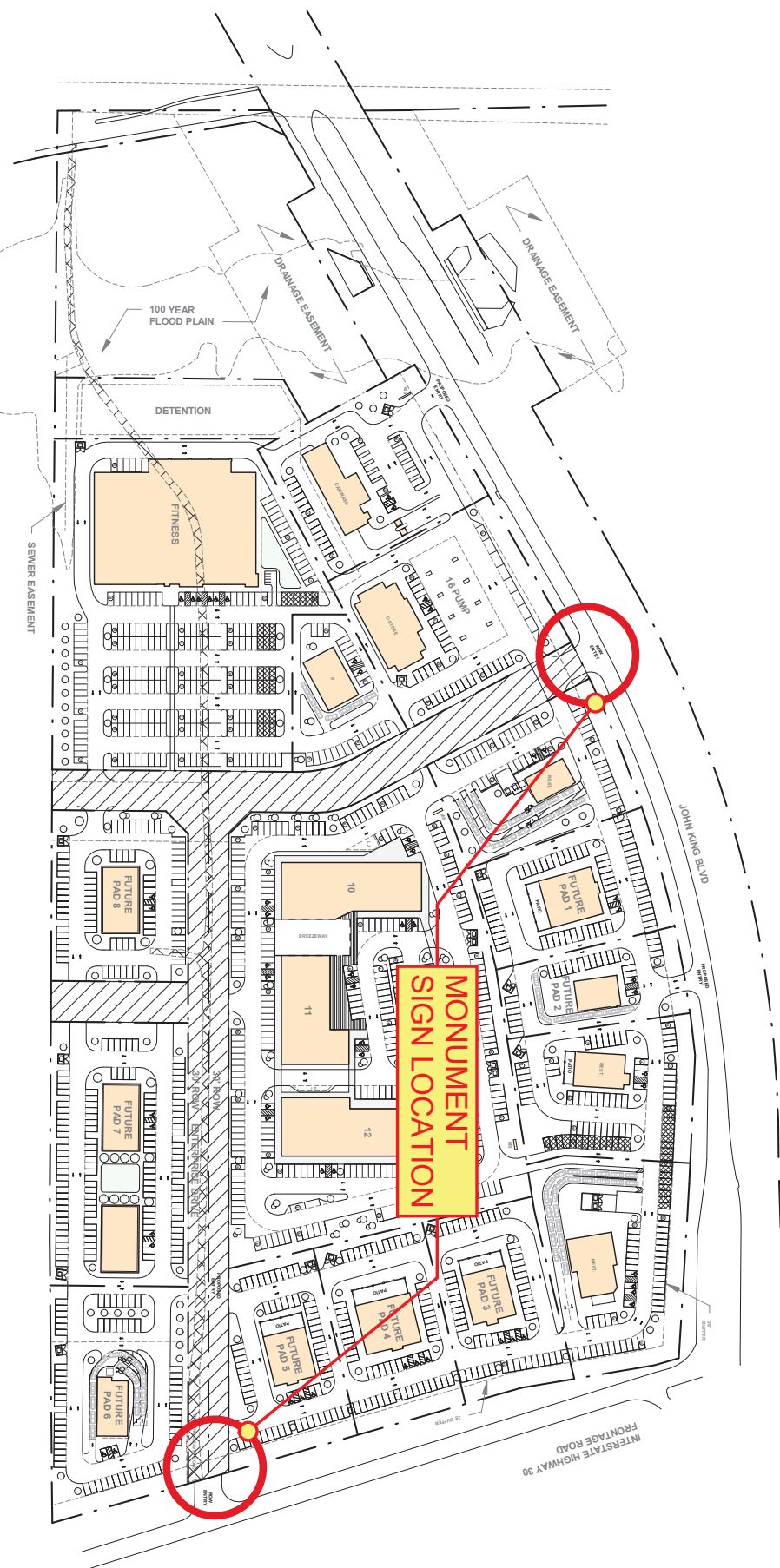
120 or 277 VOLT ELECTRICAL SERVICE

20 AMP CIRCUITS

CLIENT TO PROVIDE ALL PERMITS, ELECTRICAL SERVICES AND NECESSARY WIRING TO THE SIGN.

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LINE AND SYMBOL LEGEND			
	EASEMENT		PROPERTY LINE
	FIRE LANE		ROW
	BUILDING		SHARED PARKING
	GREEN SPACE		



ROCKWALL, TX

SHOPS AT ROCKWALL - SIGNAGE PLAN

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DATE: 07/18/25

A127



LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	COMMERCIAL (C) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Convent, Monastery, or Temple	(4)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
Private Sports Court with Standalone or Dedicated Lighting	(22)	(18)	P
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		S
Convalescent Care Facility/Nursing Home	(6)		P
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Daycare with Seven (7) or More Children	(9)	(4)	P
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		P
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Temporary Education Building for a Public or Private School	(23)	(9)	S
Trade School	(24)		P
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P
Financial Institution without Drive-Through	(1)		P
Office or Medical Office Building less than 5,000 SF	(2) & (3)		P

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	COMMERCIAL (C) DISTRICT
Office or Medical Office Building 5,000 SF or Greater	(2) & (3)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	P
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		S
Golf Driving Range	(6)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	P
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	P
Private Sports Arena, Stadium, and/or Track	(11)		S
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
Theater	(15)		P
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Alcoholic Beverage Package Sales	(1)	(1)	P
Alcoholic Beverage Store	(2)	(2)	S
Antique/Collectible Store	(3)		P
Astrologer, Hypnotist, or Psychic	(4)		P
Banquet Facility/Event Hall	(5)		P
Portable Beverage Service Facility	(6)	(3)	S
Brew Pub	(7)		P
Business School	(8)		P
Catering Service	(9)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(10)	(4)	P
Copy Center	(11)		P
Craft/Micro Brewery, Distillery and/or Winery	(12)	(5)	S
Incidental Display	(13)	(6)	P
Food Trucks/Trailers	(14)	(7)	P
Garden Supply/Plant Nursery	(15)		P
General Personal Service	(16)	(8)	P
General Retail Store	(17)		P
Hair Salon and/or Manicurist	(18)		P
Laundromat with Dropoff/Pickup Services	(19)		P
Self Service Laundromat	(20)		P
Massage Therapist	(21)		P
Private Museum or Art Gallery	(22)		P
Night Club, Discotheque, or Dance Hall	(23)		P

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	COMMERCIAL (C) DISTRICT
Pawn Shop	(24)		S
Permanent Cosmetics	(25)	(9)	A
Pet Shop	(26)		P
Temporary Real Estate Sales Office	(27)		P
Rental Store without Outside Storage and/or Display	(28)	(10)	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(29)	(11)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(30)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(29)	(12)	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(30)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>)	(31)	(13)	P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(32)	(13)	P
Secondhand Dealer	(33)		P
Art, Photography, or Music Studio	(33)		P
Tailor, Clothing, and/or Apparel Shop	(34)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Bail Bond Service	(1)		S
Building and Landscape Material with Limited Outside Storage	(2)	(2)	P
Building Maintenance, Service, and Sales without Outside Storage	(3)		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Furniture Upholstery/Refinishing and Resale	(8)	(4)	S
Heavy Machinery and Equipment Rental, Sales, and Service	(10)	(5)	S
Locksmith	(11)		P
Research and Technology or Light Assembly	(15)		S
Shoe and Boot Repair and Sales	(16)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Minor Auto Repair Garage	(2)	(2)	S
Automobile Rental	(3)		S
New or Used Boat and Trailer Dealership	(4)	(3)	S
Full Service Car Wash and Auto Detail	(5)	(4)	P
Self Service Car Wash	(5)	(4)	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	(6)	(5)	S
New Motor Vehicle Dealership-for Cars and Light Trucks	(7)	(6)	S
Used Motor Vehicle Dealership for Cars and Light Trucks)	(7)	(7)	A
Commercial Parking	(8)		P
Non-Commercial Parking Lot	(9)		P
Recreational Vehicle (RV) Sales and Service	(10)		S
Service Station	(11)	(8)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	COMMERCIAL (C) DISTRICT
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials	(12)	(5)	S
WHOLESALE, DISTRIBUTION AND STORAGE LAND USES	2.02(J)	2.03(J)	
Mini-Warehouse	(4)	(1)	S
Wholesale Showroom Facility	(8)		S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna for an Amateur Radio	(3)	(2)	A
Antenna Dish	(4)	(3)	A
Freestanding Commercial Antenna (<i>i.e. Monopole or a Similar Structure</i>)	(5)	(4)	P
Mounted or Attached Commercial Antenna	(6)	(5)	P
Commercial Drone Delivery Hub	(8)	(6)	S
Helipad	(9)		S
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses (<i>Includes Utilities with a Franchise Utility Agreement with the City of Rockwall</i>)	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		P
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
TV Broadcasting and Other Communication Service	(20)		S
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S

The *Downtown* land use designation should include a mixture of land uses that are complementary to the existing development pattern and are intended to add to the attractive, pedestrian-oriented environment of Rockwall's historic downtown. In addition, this area is the historic core of the City and should continue to be a symbol of community life in Rockwall. The policies adopted in Appendix 'C', *Small Area Plans*, of this Comprehensive Plan should generally regulate this land use designation.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Retail, Office, Restaurant and Residential Land Uses
- 2 Secondary Land Uses: Institutional/Civic Land Uses
- 3 Zoning Districts: Downtown (DT) District

EXISTING LAND USE EXAMPLES

- 1 Downtown Square and Surrounding Areas



SPECIAL COMMERCIAL CORRIDOR (SC)

The *Special Commercial Corridor* land use designation is intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region. This area should include the recommendations contained in Appendix 'B', *Corridor Plans*, of this Comprehensive Plan.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Regional Shopping Centers, Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment and Recreation Land Uses
- 2 Secondary Land Uses: Residential, Open Space, Parks, Trails, Banks, Service Stations and Institutional/Civic Land Uses (Secondary Land Uses should be integrated into a Larger Development)
- 3 Zoning Districts: Commercial (C) District and Planned Development (PD) District

EXISTING LAND USE EXAMPLES

- 1 IH-30 Corridor

PUBLIC LAND AND OPEN SPACE

PARKS AND OPEN SPACE (OS)

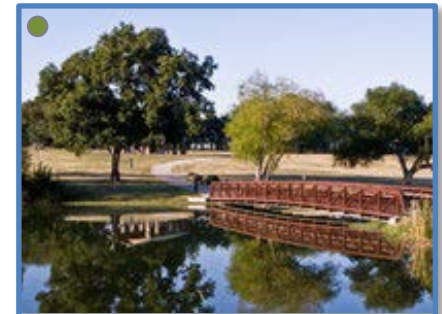
The *Parks and Open Space* land use designation includes all floodplains and major public open spaces (e.g. neighborhood parks, community parks, greenbelts, trail systems, etc.). These areas should be preserved and are intended to provide citywide recreation/trail opportunities and natural drainage areas that help define the character of Rockwall.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Floodplain, Open Space, Parks, and Trails Land Uses
- 2 Secondary Land Uses: N/A
- 3 Zoning Districts: N/A

EXISTING LAND USE EXAMPLES

- 1 Harry Myers Park



PUBLIC (P)

The *Public* land use designation includes uses that are operated exclusively by a public body that serve the public's health, safety or general welfare. This land use designation includes land uses such as public schools, libraries, the airport, the City's administrative and service facilities, and any other state or federal facilities.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Schools, Libraries, Fire Stations, Pump Stations, Water Towers, Police Stations, City Administrative Offices, and County, State or Federal Facilities
- 2 Secondary Land Uses: Open Space, Parks, and Trails Land Uses
- 3 Zoning Districts: N/A

EXISTING LAND USE EXAMPLES

- 1 City Place
- 2 County Courthouse
- 3 Municipal Courts Building

QUASI-PUBLIC (QP)



06 IH-30 CORRIDOR DISTRICT

DISTRICT DESCRIPTION

The IH-30 Corridor is the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial. In the future the health of the IH-30 corridor is vital to maintaining a high per capita sales tax for the City of Rockwall.

POINTS OF REFERENCE

- A. Lake Point Church
- B. Rochell Elementary School
- C. Walmart
- D. Costco

LAND USE PALETTES

- Current Land Use
- Future Land Use

- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon
- IH-30 Corridor Plan Eastern Entry Portals



2/3 Future Regional Center



2 Future Regional Center

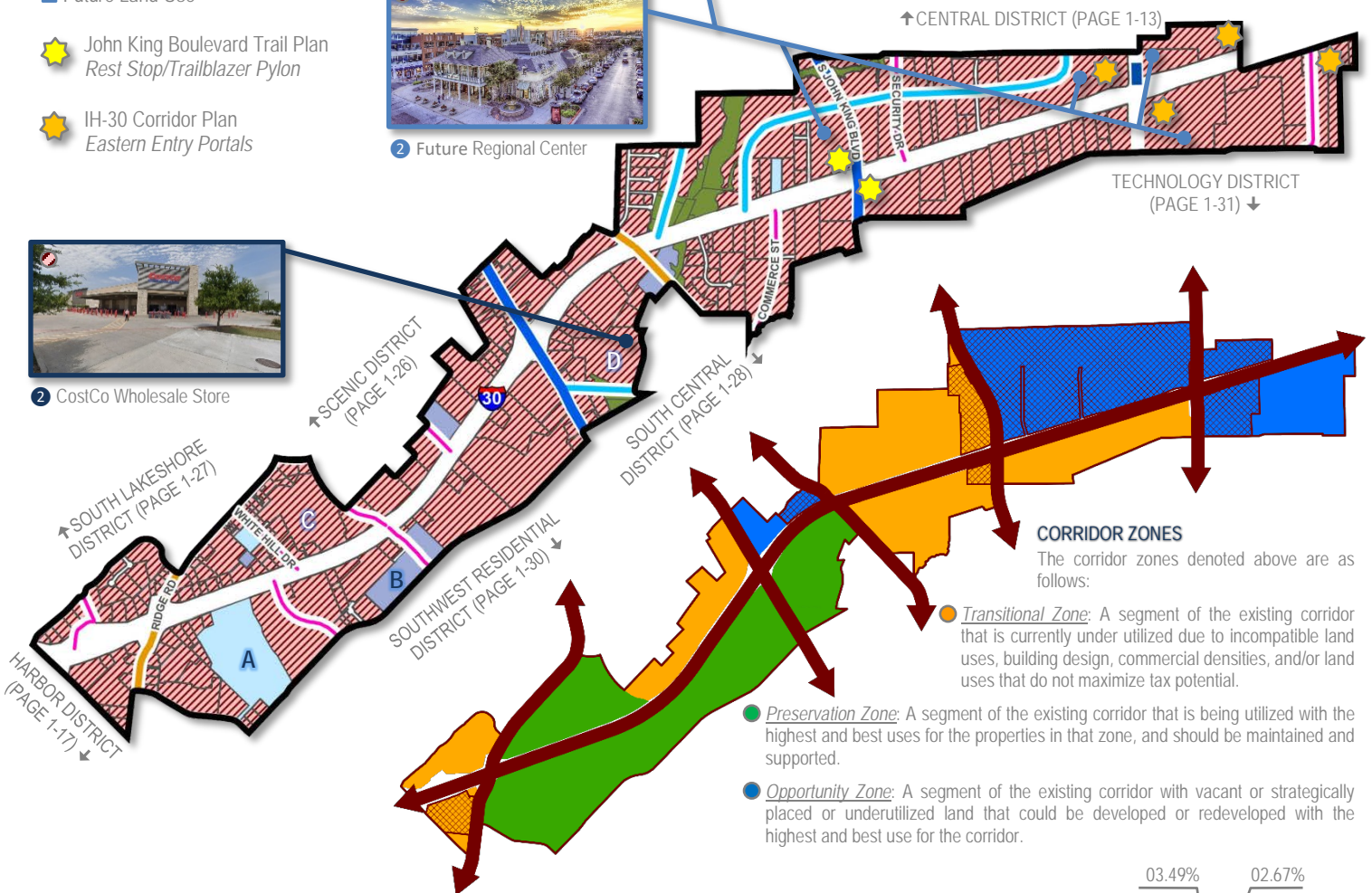


2 Costco Wholesale Store

DISTRICT STRATEGIES

The IH-30 Corridor District will continue to be the City's primary retail corridor in the future. Based on this the following strategies should be employed:

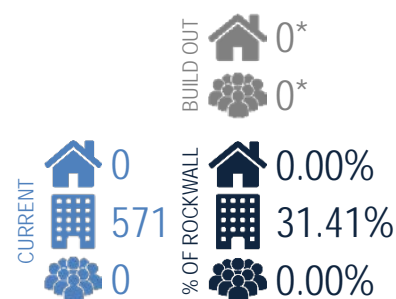
- 1 **Corridor Strategies.** The specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor.
- 2 **Regional Center.** In accordance with the *IH-30 Corridor Plan*, a regional center should be located on each of the properties denoted in the red cross hatch (⊠) in the Corridor Zones map below. These regional centers should generally follow one (1) of the four (4) models identified in the *IH-30 Corridor Plan* (i.e. *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center* models).
- 3 **Open Space.** Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.
- 4 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



CORRIDOR ZONES

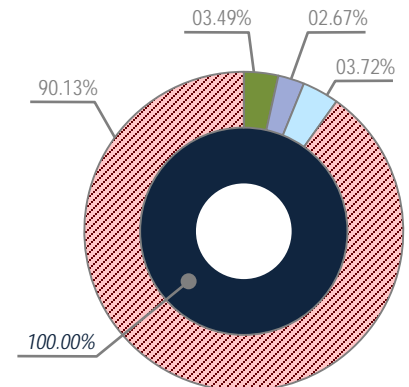
The corridor zones denoted above are as follows:

- Transitional Zone:** A segment of the existing corridor that is currently under utilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.
- Preservation Zone:** A segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.
- Opportunity Zone:** A segment of the existing corridor with vacant or strategically placed or underutilized land that could be developed or redeveloped with the highest and best use for the corridor.



	COMMERCIAL	100.00%
	RESIDENTIAL	0.00%
	MIXED USE	0.00%
	PARKS AND OPEN SPACE (OS)	37.03-ACRES
	PUBLIC (P)	28.31-ACRES
	QUASI-PUBLIC (QP)	39.49-ACRES
	SPECIAL COMMERCIAL CORRIDOR (SC)	957.15-ACRES

	MINOR COLLECTOR
	M4U
	M4D
	P6D
	TXDOT 4D



CITY OF ROCKWALL

ORDINANCE NO. **25-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT AND A COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT **XX** (PD-**XX**) FOR COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 32.79-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 3, 3-01, 3-2, 3-3 & 3-4 OF THE J. LOCKHART SURVEY, ABSTRACT NO. 134; LOT 1 OF THE EASTPLEX INDUSTRIAL PARK ADDITION; AND, LOT 2, BLOCK A, EASTPLEX INC PARK NO. 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Gage Raba of Hunington Properties on behalf of Tina Cox of Temunovic Partnership, LTD for the approval of a zoning change from a Light Industrial (LI) District and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses, on a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and Lot 2, Block A, Eastplex Industrial Park No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Zoning Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of any buildings on the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of *Buildings 10, 11, & 12* as depicted in *Exhibit 'C'* of this ordinance shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of a *Shopping Center Sign* on the *Subject Property* shall generally be in accordance with the *Shopping Center Signage Plan* and *Shopping Center Signage Elevations*, depicted in *Exhibit 'E'* and *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'* and *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 10. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF DECEMBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 17, 2025

2nd Reading: December 1, 2025

Exhibit 'A':
Legal Description

TRACT 1

Being a 29.52 acre tract of land out of the J. Lockhart Survey, Abstract No. 134, situated in the City of Rockwall, Rockwall County, Texas, being a portion of a called 51.030 acre tract of land conveyed to Temunovic Partnership, LTD by deed of record in Volume 7038, Page 314 of the Official Public Records of Rockwall County, Texas, also being all of a called Tract 3 – 3.31 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records, also being all of Lot 1 of Eastplex Industrial Park , a subdivision of record in Cabinet A, Page 237 of the Plat Records of Rockwall County, Texas and Lot 2, Block A of Eastplex Industrial Park, a subdivision of record in Cabinet B, Page 50 of said Plat Records as conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with pink plastic cap stamped "TXDOT" found at the intersection of the West right-of-way line of John King Boulevard (a variable width right-of-way) and the North right-of-way line of Interstate Highway 30 (a variable width right-of-way), being the Northeast corner of a called Parcel 65 – 0.0065 acre tract of land conveyed to the State of Texas by deed of record in Document Number 20200000023370 of said Official Public Records, for the most Easterly Southeast corner hereof;

THENCE, S45°32'11"W, along the North right-of-way line of said Interstate Highway 30 and the common Northwest line of said Parcel 65, a distance of 41.38 feet to a 1/2 inch iron rod with pink plastic cap stamped "TXDOT" found in the North line of a called Parcel 18A – 0.0812 acre tract of land conveyed to the State of Texas by deed of record in Volume 6591, Page 246 of said Official Public Records, for the most Southerly Southeast corner hereof;

THENCE, S72°31'15"W, along the North right-of-way line of said Interstate Highway 30 and the common North line of said Parcel 18A, a distance of 216.84 feet to a 5/8 inch iron rod with illegible yellow plastic cap found in the South line of said 51.030 acre tract, being the West corner of said Parcel 18A;

THENCE, S72°55'29"W, continuing along the North right-of-way line of said Interstate Highway 30, being the common South line of said 51.030 acre tract, passing at a distance of 457.61 feet, a 5/8 inch iron rod found, a total distance of 488.79 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the intersection of the North right-of-way line of said Interstate Highway 30 and the East right-of-way line of Enterprise Drive as dedicated by Cabinet B, Page 50 of said Plat Records, being the most Southerly Southwest corner of said 51.030 acre tract and hereof;

THENCE, along the East right-of-way line of said Enterprise Drive, being the common irregular South line of said 51.030 acre tract, the following three (3) courses and distances:

- (1) N01°15'04"W, a distance of 353.14 feet to a 1/2 inch iron rod found;
- (2) N00°28'22"W, a distance of 588.70 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- (3) N00°26'50"W, a distance of 87.93 feet to a 1/2 inch iron rod found at the Northeast corner of said Enterprise Drive, being the most Easterly Southeast corner of said Tract 3;

THENCE, S89°33'43"W, leaving the irregular South line of said 51.030 acre tract, along the North line of said Enterprise Drive, being the common South line of said Tract 3, a distance of 30.06 feet to a 1/2 inch iron rod found at the Northwest corner of said Enterprise Drive, being the

Exhibit 'A':
Legal Description

Northeast corner of said Lot 2;

THENCE, S00°26'17"E, along the West right-of-way line of said Enterprise Drive, being the common irregular South line of said Tract 3 and the common East lines of said Lot 2 and said Lot 1, a distance of 296.53 feet to a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found at the Northeast corner of a called 0.2754 acre tract of land conveyed to the City of Rockwall by deed of record in Volume 1696, Page 251 of said Official Public Records, being the most Southerly Southeast corner of said Tract 3 and the Southeast corner of said Lot 1;

THENCE, S89°33'43"W, along the North line of said 0.2754 acre tract, being the common South line of said Tract 3 and said Lot 1, a distance of 200.00 feet to a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found in the East line of a called 49.839 acre tract of land conveyed to Rockwall Steel Co., INC by deed of record in Volume 752, Page 28 of said Official Public Records, being the Northwest corner of said 0.2754 acre tract, also being the Southwest corner of said Tract 3 and said Lot 1;

THENCE, N00°26'17"W, along the East line of said 49.839 acre tract, being the common West line of said Tract 3 and the common West lines of in part, said Lot 1 and in part, said Lot 2, a distance of 665.85 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Northwest corner of said Tract 3, being the most Westerly Southwest corner of said 51.030 acre tract;

THENCE, N00°35'23"W, along the West line of said 51.030 acre tract, being the common West lines of in part, said 49.839 acre tract and in part, Lot 1, Block B of Lot 1, Block A and Lot 1, Block B, Channell Subdivision, a subdivision of record in Document Number 2016000005517 of said Plat Records, a distance of 562.87 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the South right-of-way line of Justin Road (a variable width right-of-way), being the Northeast corner of said Lot 1, Block B, also being the Southwest corner of a called Parcel No. 1 – 0.281 acre tract of land conveyed to the City of Rockwall by deed of record in Document Number 20150000018248 of said Official Public Records, for the Northwest corner hereof;

THENCE, along the South right-of-way line of said Justin Road and the common South line of said Parcel No 1, the following two (2) courses and distances:

- (1) N79°47'13"E, a distance of 299.17 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the most Northerly Northeast corner hereof;
- (2) S65°19'58"E, a distance of 49.22 feet to a 1/2 inch iron rod with yellow plastic cap stamped "WIER AND ASSOC" found at the intersection of the South right-of-way line of said Justin Road and the West right-of-way line of said John King Boulevard, being the Southeast corner of said Parcel No. 1, for the most Easterly Southeast corner hereof;

THENCE, along the irregular West right-of-way line of said John King Boulevard, the following eight (8) courses and distances:

- (1) S30°26'47"E, a distance of 90.52 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N19°00'00"W, a distance of 0.53 feet;
- (2) S59°33'13"W, a distance of 48.04 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N47°22'43"W, a distance of 0.59 feet;

Exhibit 'A':
Legal Description

- (3) S30°26'47"E, a distance of 300.59 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N53°04'14"W, a distance of 0.79 feet;
- (4) N59°33'13"E, a distance of 48.04 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N79°38'03"W, a distance of 0.87 feet;
- (5) S30°26'47"E, a distance of 416.98 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the beginning of a tangent curve to the right, from which a 1/2 inch iron rod found bears N64°24'08"W, a distance of 0.87 feet;
- (6) Along said tangent curve to the right, having a radius of 1,690.00 feet, a chord bearing of S18°37'03"E, a chord length of 692.86 feet, a delta angle of 23°39'28", an arc length of 697.81 feet to 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of tangency of said curve, from which a 1/2 inch iron rod found bears N87°55'20"W, a distance of 1.30 feet;
- (7) S01°43'57"W, a distance of 190.30 feet to a 1/2 inch iron rod found;
- (8) S02°19'04"W, a distance of 211.62 feet to the *POINT OF BEGINNING* and containing an area of 29.515 acres (1,285,677 square feet) of land, more or less.

Exhibit 'A':
Legal Description

TRACT 2

BEING a 3.27 acre tract of land out of the J. Lockhart Survey, Abstract No. 134, situated in the City of Rockwall, Rockwall County, Texas, being all of a called Tract 1 – 1.10 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records, also being all of a called Tract 2 – 2.17 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with yellow plastic cap stamped “RPLS 5034” found in the North right-of-way line of Interstate Highway 30 (a variable width right-of-way), being the Southeast corner of a called 2.00 acre tract of land conveyed to AM Rockwall Investments, L.P. by deed of record in Volume 2435, Page 28 of said Official Public Records, also being the Southwest corner of said Tract 1 and hereof;

THENCE, N01°17'47"W, leaving the North right-of-way line of Interstate Highway 30, along the East line of said 2.00 acre tract, being the West line of said Tract 1, a distance of 420.06 feet to a 1/2 inch iron rod with green plastic cap stamped “EAGLE SURVEYING” set at the Southeast corner of a called 49.839 acre tract of land conveyed to Rockwall Steel Co., INC by deed of record in Volume 752, Page 28 of said Official Public Records, being the Northeast corner of said 2.00 acre tract, also being the Southwest corner of said Tract 2, also being the Northwest corner of said Tract 1;

THENCE, N00°26'17"W, along the East line of said 49.839 acre tract, being the common West line of said Tract 2, a distance of 321.77 feet to a 1/2 inch iron rod with yellow plastic cap stamped “RPLS 5034” found at the Southwest corner of a called 0.2754 acre tract of land conveyed to the City of Rockwall by deed of record in Volume 1696, Page 251 of said Official Public Records, being the Northwest corner of said Tract 2 and hereof;

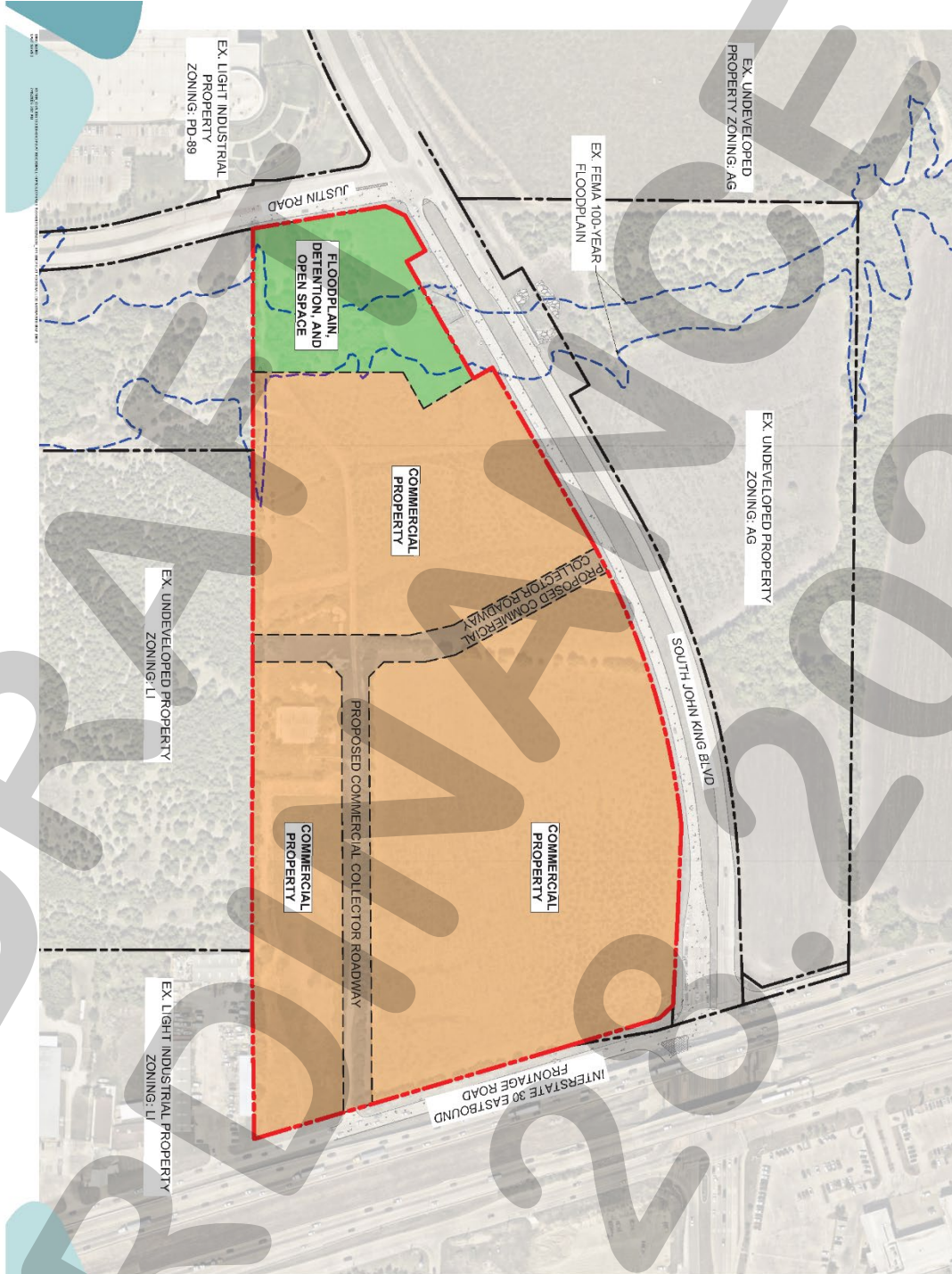
THENCE, N89°33'43"E, along the South line of said 0.2754 acre tract, being the common North line of said Tract 2, a distance of 200.00 feet to a 1/2 inch iron rod in the West right-of-way line of Enterprise Drive as dedicated by Cabinet B, Page 50 of said Plat Records, being the Southeast corner of said 0.2754 acre tract, also being the Northeast corner of said Tract 2 and hereof;

THENCE, along the West right-of-way line of said Enterprise Drive, being the common East lines of in part, said Tract 2 and in part, said Tract 1, the following two (2) courses and distances:

- (1) S00°26'17"E, a distance of 320.07 feet to a 1/2 inch iron rod found;
- (2) S01°17'47"E, a distance of 362.15 feet to a 1/2 inch iron rod with green plastic cap stamped “EAGLE SURVEYING” set at the intersection of the West right-of-way line of said Enterprise Drive and the North right-of-way line of said Interstate Highway 30, being the Southeast corner of said Tract 1 and hereof;

THENCE, S72°54'00"W, along the North right-of-way line of said Interstate Highway 30, being the common South line of said Tract 1, a distance of 207.86 feet to the *POINT OF BEGINNING* and containing an area of 3.27 acres (142,406 square feet) of land, more or less.

**Exhibit 'B':
Conceptual Zoning Plan**



LEGEND

	SHARED LOT LINES
	TRACT VERTICALLY ADJACENT LOTS
	FLOODPLAIN DETENTION AND OPEN SPACE
	COMMERCIAL PROPERTY
	COMMERCIAL PROPERTY

GRAPHIC SCALE IN FEET
0 100 200



COMMONS AT ROCKWALL
PLANNED DEVELOPMENT
DISTRICT
SUBJECT SITE EXHIBIT
7/18/2025

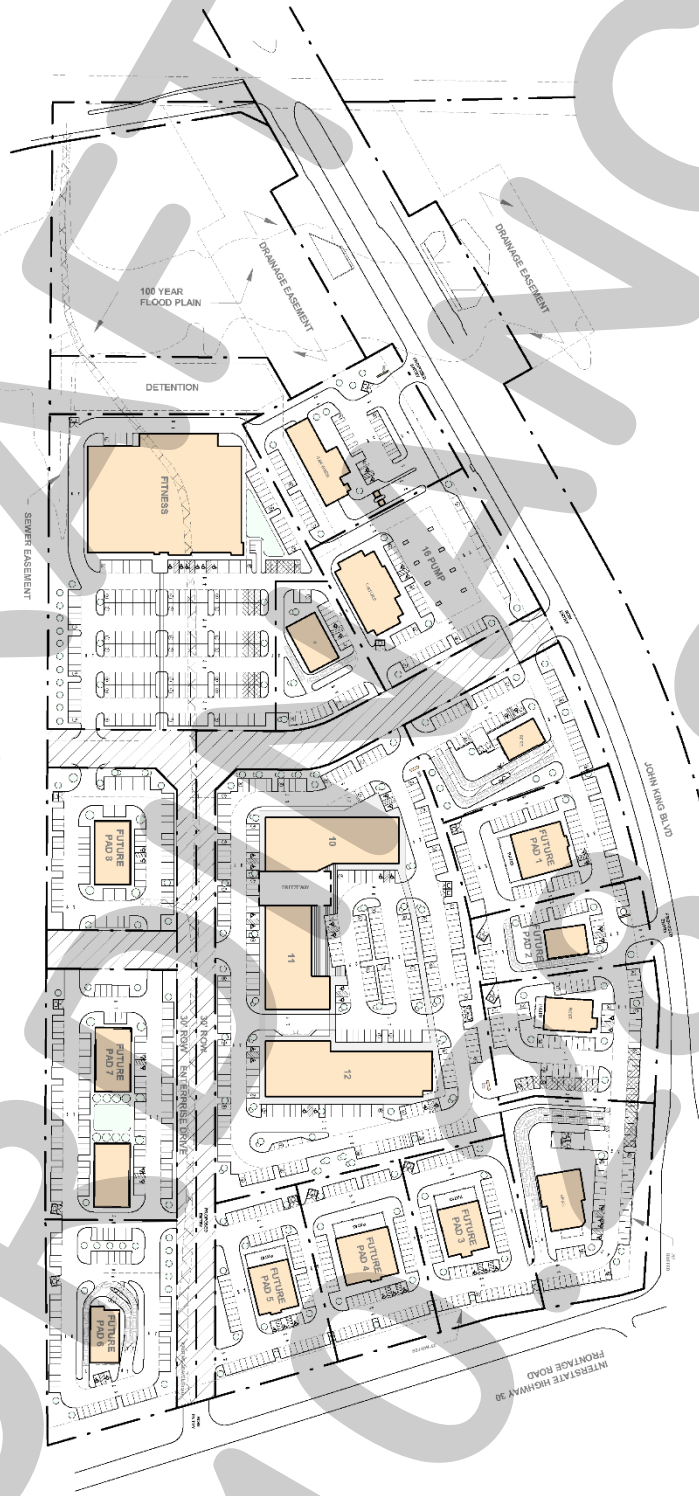


Exhibit 'C':
Concept Plan



LINE AND SYMBOL LEGEND

	EASEMENT		FIRE LANE
	PROPERTY LINE		ROW
	BUILDING		SHARED PARKING
	GREEN SPACE		



ROCKWALL, TX

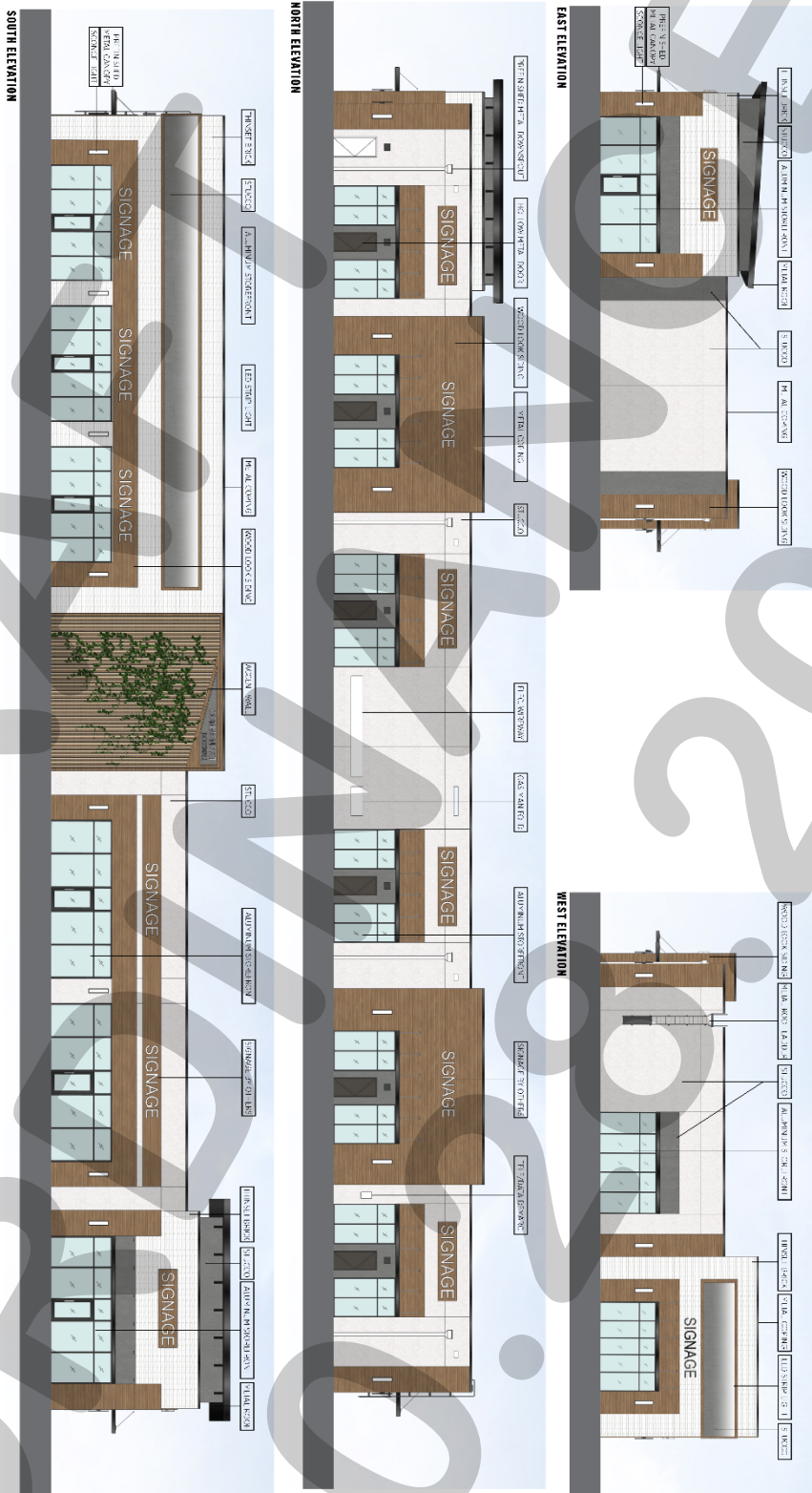
SHOPS AT ROCKWALL - STUDY 23

THIS DRAWING IS CONCEPTUAL AND SHOULD NOT BE USED AS AN INSTRUMENT OF SERVICE. ALL DIMENSIONS, UTILITY REQUIREMENTS, SETBACKS, LOT PROPORTIONS, LINES, SHADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNERS SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

modus architecture
DATE: 07/18/25
A127

Exhibit 'D':
Concept Building Elevations

EXTERIOR ELEVATIONS - BUILDING 01



HUNNINGTON - SHOPS AT ROCKWALL

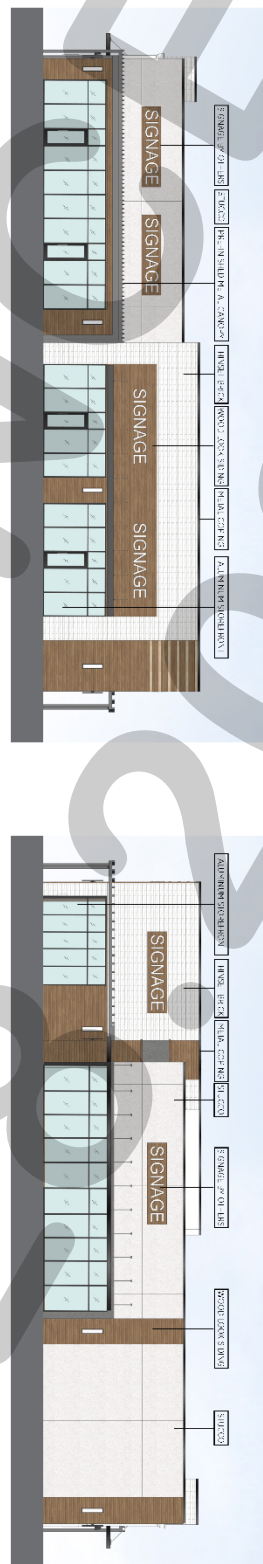
CONCEPTUAL IMAGES

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY LAYOUTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SUPERVISOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

modus architecture
DATE: 07/15/2025

Exhibit 'D':
Concept Building Elevations

EXTERIOR ELEVATIONS - BUILDING 02



HUNNINGTON - SHOPS AT ROCKWALL

CONCEPTUAL IMAGES

modus architecture

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITIES, FASHIONS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

DATE: 07/13/2025

Exhibit 'D':
Concept Building Elevations

EXTERIOR ELEVATIONS - BUILDING 03



HUNINGTON - SHOPS AT ROCKWALL

CONCEPTUAL IMAGES

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNERS SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

modus architecture

DATE: 07/15/2025

**Exhibit 'E':
Shopping Center Signage Plan**

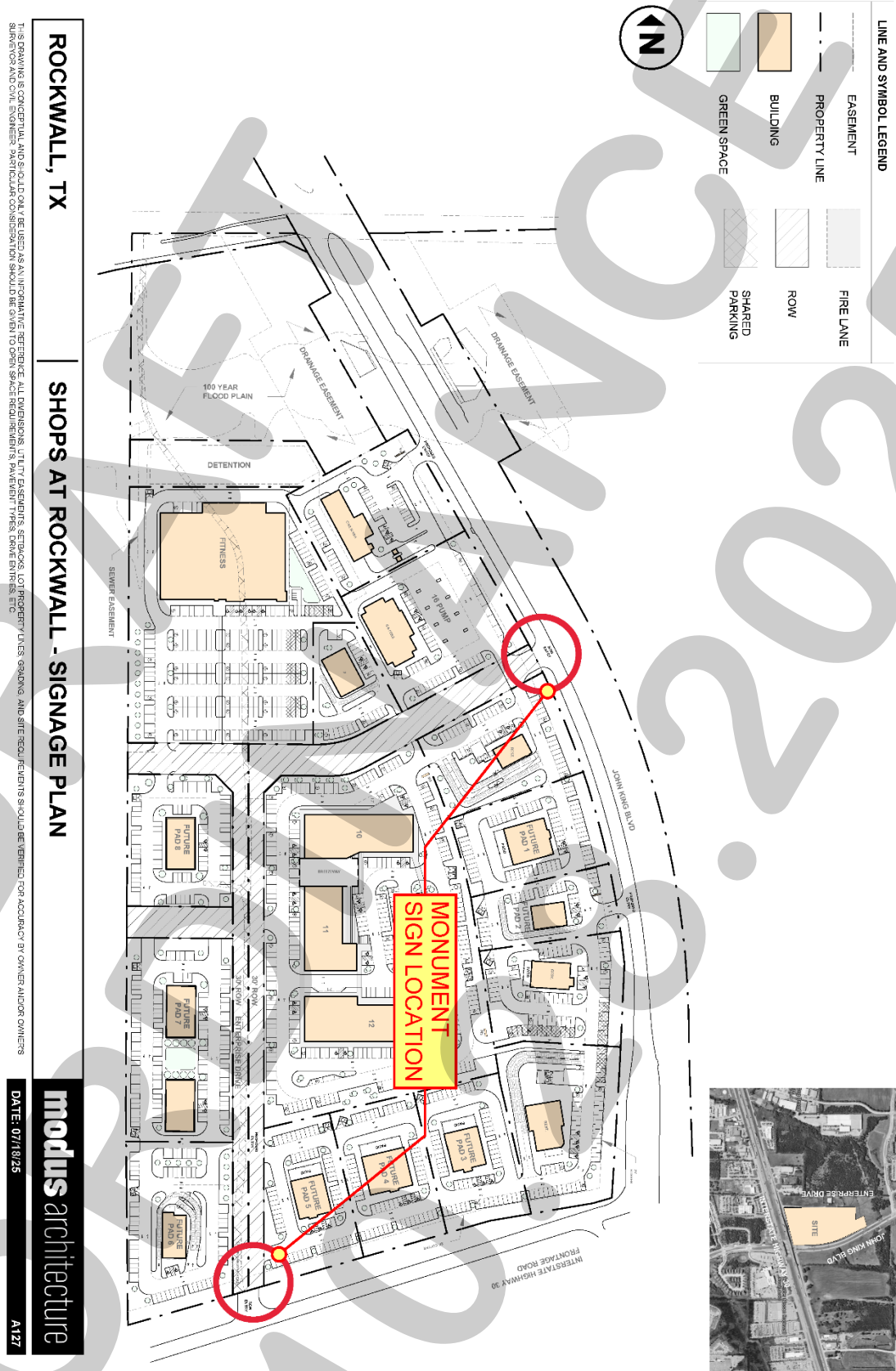


Exhibit 'F': Shopping Center Signage Elevations

OPTION #1

SIGN TYPE
MFG. & INSTALL (I) D/E INTERNALLY ILLUMINATED MULTITENANT SIGN.

MATERIAL SPEC
A1: 3/16" #7229 WHITE ACRYLIC
A3: 3/4" CLEAR ACRYLIC WITH SECOND SURFACE 3M 885-70 DIFFUSER AND 3M WHITE 3630/20 VINYL OVERLAY FIRST SURFACE
A4: 1/2" 7999 BLACK ACRYLIC
AL1: 125" ALUMINUM
AL2: 125" ALUMINUM TUBE
W1: WOOD CLADDING TO MATCH SHOPPING CENTER
B1: BRICK TO MATCH SHOPPING CENTER
P1: BRICK TO MATCH SHOPPING CENTER

PAINT SPEC - SATIN FINISH
PI: TBD


PUSH THRU

FLAT CUT OUT (FCO) ACRYLIC LETTERS

CB1 FRONT AND SHELF ACCENT CABINET

DETAILS:
125" ALUMINUM CABINET
3/4" CLEAR ACRYLIC WITH SECOND SURFACE 3M 885-70 DIFFUSER AND 3M WHITE 3630/20 VINYL OVERLAY FIRST SURFACE
1024 THREADED WELDED STUD WITH NUT & WASHER TO BE USED TO MOUNT TO FACE OF WALL
1/2" ACRYLIC SHELF
CONCRETE BRACKET
CONCRETE BRACKET TO BE USED TO MOUNT TO FACE OF WALL

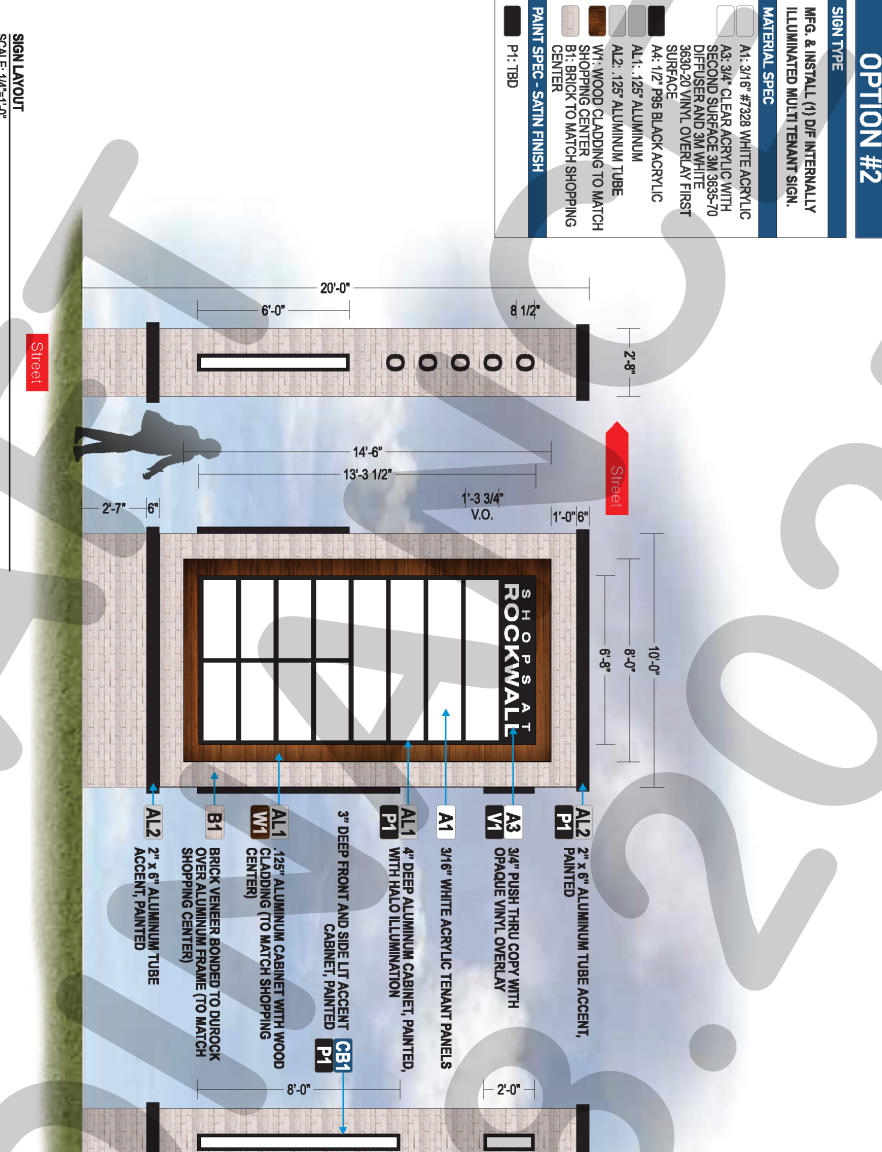
Exhibit 'F': Shopping Center Signage Elevations



2022 PECH ROAD
HOUSTON, TX 77055
E. 713.984.2010 | F. 713.984.1972

SIGN LAYOUT
SCALE: 1/4"=1'-0"

THIS IS ONLY AN ARTIST RENDERING. FINISHED PROJECT MAY VARY SLIGHTLY IN SIZE AND COLOR.



PROJECT

PROJECT INFO

CLIENT: HINNINGTON PROPERTIES | ROCKWALL
ADDRESS: NMC 130 & JOHN KING BLVD
CITY, STATE: ROCKWALL, TX 75087
DATE: 06.04.2025
SALES REP: JG
DRAWN BY: SF

DRAWING NUMBER
PR025-0244

W.D. (2) NUMBER

#	DATE	REVISIONS
1		
2		
3		
4		
5		
6		

SIGNATURES

CLIENT APPROVAL	DATE	APPROVAL
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

ESTIMATION

FOR ACTUAL COSTS OF ITEMS SPECIFIED IN THIS SIGNAGE REFER TO SAMPLES, AS NOTED, & PRINTED WORK. CLIENT IS RESPONSIBLE FOR SUPPLY AND VECTOR MARKING. OTHER TYPICAL SIGNAGE ITEMS PRIOR TO PRODUCTION TO BE REVIEWED AND APPROVED BY CLIENT.

SPECIFICATION

THE SIGN IS REQUIRED TO BE ILLUMINATED WITH THE REQUIREMENTS OF ELECTRICAL CODE. APPROX. 20 AMP CIRCUITS. CLIENT WILL PROVIDE ALL NECESSARY ELECTRICAL SERVICES AND WIRING TO THE SIGN. APPROX. 120' OF 277 VOLT ELECTRICAL SERVICE REQUIRED.

ILLUMINATED

PAGE 5 OF 6

OPTION #2

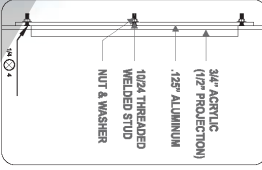
SIGN TYPE
MFG. & INSTALL (1) DIE INTERNALLY ILLUMINATED MULTI TENANT SIGN.

MATERIAL SPEC

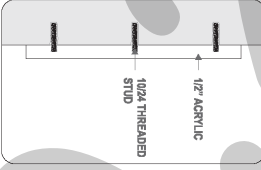
- A1: 3/16" #328 WHITE ACRYLIC
- A2: 3/4" CLEAR ACRYLIC WITH 3630.20 VINYL OVERLAY FIRST SURFACE
- A3: 3/4" CLEAR ACRYLIC WITH 3630.20 VINYL OVERLAY FIRST SURFACE
- A4: 1/2" P95 BLACK ACRYLIC
- AL1: .125" ALUMINUM TUBE
- AL2: .125" ALUMINUM TUBE
- W1: WOOD CLADDING TO MATCH CENTER
- B1: BRICK TO MATCH SHOPPING CENTER
- P1: TBD

PAINT SPEC - SATIN FINISH

PUSH THRU



FLAT CUT OUT (FCO) ACRYLIC LETTERS



CB1 FRONT AND SIDE LIT ACCENT CABINET

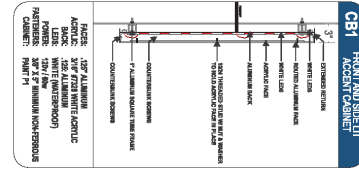


Exhibit 'G':
Density and Development Standards

G.1 REVIEW PROCESS.

The subject property shall be generally developed in accordance with the *Concept Plan* contained in *Exhibit 'C'* of this ordinance and in conformance with the procedures contained in Article 10, *Planned Development Regulations*, and Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, the Director of Planning and Zoning may require/the property owner may request a *PD Development Plan* where a development request departs from the intent of this *Concept Plan*. A *PD Development Plan* constitutes an amendment to the approved *Concept Plan* and Planned Development District ordinance, and shall follow the same review and approval process as the establishment of a Planned Development District.

G.2 PLANNED DEVELOPMENT DISTRICT STANDARDS.

(1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, the *Subject Property* shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted By-Right:

- FULL-SERVICE HOTEL
- CRAFT/MICRO BREWERY, DISTILLERY, AND/OR WINERY

(b) The following land uses shall be expressly Prohibited:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES

Exhibit 'G':
Density and Development Standards

- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS ⁽¹⁾
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE ⁽²⁾
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

⁽¹⁾: UNLESS ACCESSORY TO A SPA OR HAIR SALON.

⁽²⁾: UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, the *Subject Property* -- as depicted in Exhibits 'B' & 'C' of this ordinance -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on the *Subject Property* shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'

Exhibit 'G':
Density and Development Standards

MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- ¹: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- ²: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- ³: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- ⁴: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

- (3) **Building Design and Material Standards.** Unless otherwise stipulated by this Planned Development District, all buildings on the *Subject Property* shall be subject to the building material and development standards stipulated by the *General Overlay District Standards* as outline in Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, *Buildings 10, 11, & 12 -- as depicted in the Concept Plan in Exhibit 'C'* -- shall generally conform to the *Conceptual Building Elevations* depicted in *Exhibit 'D'* of this ordinance. In addition, all buildings on the *Subject Property* shall incorporate complementary architectural styles, materials and colors. The consistency and compatibility of a buildings design shall be reviewed by the Architectural Review Board (ARB) at the time of Site Plan.
- (4) **Landscape Buffers.** All landscape buffers shall be exclusive of any existing or proposed easements located along public rights-of-way and shall be provided as follows:
- (a) **John King Boulevard.** A minimum of a 30-foot landscape buffer shall be provided along the frontage of the John King Boulevard (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall each have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear ten (10) foot hike/bike trail shall be constructed within the 30-foot landscape buffer.
 - (b) **IH-30 Frontage Road.** A minimum of a 30-foot landscape buffer shall be provided along the frontage of the IH-30 Frontage Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall each have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot sidewalk/trail shall be constructed within the 30-foot landscape buffer.
 - (c) **Justin Road.** A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Justin (*outside of and beyond any required right-of-way*), and shall

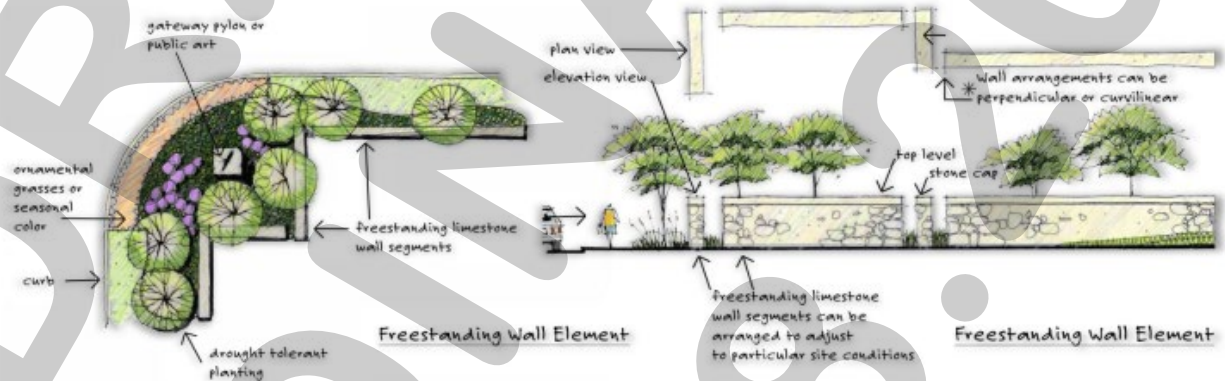
Exhibit 'G':
Density and Development Standards

incorporate ground cover, and shrubbery along the entire length of the frontage. In addition, one (1) canopy trees and one (1) accent trees shall be planted per 100-linear feet of frontage. A six (6) foot sidewalk/trail shall be constructed within the ten (10) foot landscape buffer.

(d) North/South [Enterprise Drive] and East/West [Unnamed] Public Roadways. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Justin (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, and shrubbery along the entire length of the frontage. In addition, one (1) canopy trees and one (1) accent trees shall be planted per 100-linear feet of frontage. A five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.

(5) Place-Making Elements. In accordance with the John King Boulevard Corridor Plan contained in the OURHometown Vision 2040 Comprehensive Plan, place-making elements generally in conformance with *Figures 1 & 2* below shall be incorporated adjacent to the ten (10) foot hike/bike trail required along John King Boulevard at [1] the corner of the intersection of John King Boulevard and the IH-30 Frontage Road, and [2] at the north or south intersection of the currently unnamed east/west roadway -- *bisecting the development* -- and John King Boulevard. In addition, the developer shall provide intersection enhancements in conformance with *Figure 3* below.

FIGURE 1: PLACE MAKING ELEMENT



CONTINUED ON NEXT PAGE ...

**Exhibit 'G':
Density and Development Standards**

FIGURE 2: PLACE MAKING ELEMENT

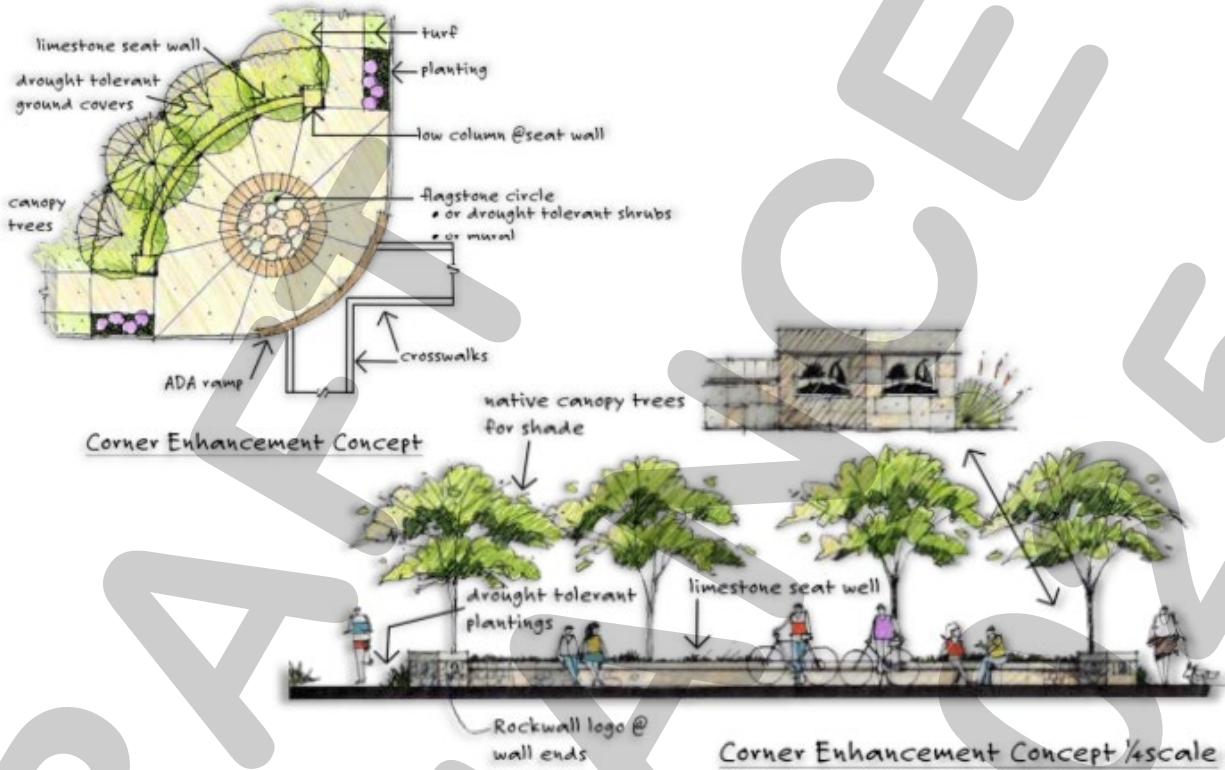
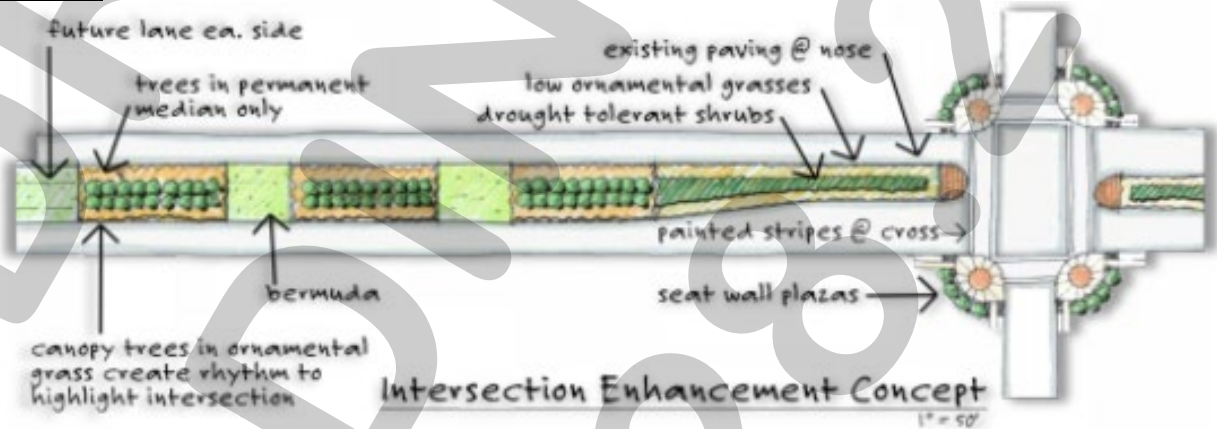


FIGURE 3: INTERSECTION ENHANCEMENT CONCEPT



(6) **Signage.** All signage shall be outside of all existing or proposed easements and conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, two (2) *Shopping Center Signs* conforming to the *Shopping Center Signage Elevations* contained in *Exhibit 'F'* of this ordinance shall be permitted in the locations depicted in the *Shopping Center Signage Plan* contained in *Exhibit 'E'* of this ordinance.

(7) **Variations/Exceptions.** Variations and exceptions to the requirements of this ordinance shall be submitted and approved in accordance with the process and procedures set forth in Article 11, *Development Applications and Review procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2025

PROJECT NUMBER: Z2025-071
PROJECT NAME: SUP for a Residential Infill with a Secondary Guest Quarters/Living Unit
SITE ADDRESS/LOCATIONS: 2592 FM 549

CASE CAPTION: Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and a Guest Quarters/Secondary Living Unit for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as a Lot 2, Block A, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	10/21/2025	Needs Review

10/21/2025: Z2025-071: Specific Use Permit (SUP) for 2592 FM-549

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and a Guest Quarters/Secondary Living Unit for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as a Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, and addressed as 2592 FM-549.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2025-071) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is adjacent to the Lofland Lake Estates Ph 2, which has been in existence for more than ten (10) years, consists of seven (7) lots, and is 100% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 Garage Requirements. Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the proposed garage is a side entry garage which will require a variance to the garage orientation requirements. This will be a discretionary decision for the Planning and Zoning Commission.

I.7 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), a Guest Quarters/Secondary Living Unit requires a Specific Use Permit (SUP) in a Single-Family Estate 4.0 (SFE-4.0) District.

I.8 The Conditional Land Use Standards for the Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit are as follows:

- (1) Guest Quarters or Secondary Living Units may be allowed on a property in a residential zoning district provided that it is ancillary to a single-family home.
- (2) The area of such quarters shall not exceed 30% of the area of the main structure.
- (3) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance.

I.9 The proposed Guest Quarters/Secondary Living Unit will have a building footprint of 1,267 SF. The proposed square footage of the primary structure is 3,287 SF, which would allow a maximum Guest Quarters/Secondary Living Unit size of 986.10 SF. Based on this the proposed structure, does not appear to conform to the requirements for Guest Quarters/Secondary Living Unit. For this reason, the Guest Quarters/Secondary Living Unit is being considered as part of this Specific Use Permit (SUP).

I.10 The height of the proposed Guest Quarters is 15-feet measured at the mid-point of the roof. The maximum height permitted for structures in a Single-Family Estate (SFE-4.0) District is 36-feet. Based on this, the proposed height is in conformance with the development standards.

I.11 According to Subsection 02.03(B), Residential and Lodging Land Uses, of Article 4, Permissible Uses, of the Unified Development Code (UDC), a Guest Quarters/Secondary Living Unit has the following conditions that are required to be met:

- a) Guest Quarters/Secondary Living Units may be allowed on a property in a residential zoning district provided that it is ancillary to an existing single-family home.
- b) The area of the Guest Quarters/Secondary Living Unit shall not exceed 30.00% of the area of the main structure.
- c) The Guest Quarters/Secondary Living Unit shall not incorporate kitchen facilities (e.g. a stove or oven, food preparation area, etc.); however, they may incorporate all other elements of a dwelling unit as outline in the definition of a Dwelling Unit contain in Article 13, Definitions.
- d) A Guest Quarters/Secondary Living Unit may not be sold or conveyed separately without meeting the density and dimensional requirements of the zoning district as outlined in the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinance.
- e) Guest Quarters/Secondary Living Units not meeting the requirements stated above shall require a Specific Use Permit (SUP).

M.12 The floor plan of the Guest Quarters/Secondary Living Unit currently shows a full kitchen. This will need to be updated to show a kitchenette that does not incorporate a stove oven, or food preparation area. The current request would allow two (2) independent dwelling units on a single-lot, which is prohibited by the zoning requirements. This cannot be requested or granted by the Planning and Zoning Commission or City Council.

I.13 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), the Single-Family Estate 4.0 (SFE-4.0) District allows a total of two (2) accessory buildings with the maximum size being 1,250 SF. If more than one (1) accessory building is proposed or if an accessory building, 625 sf or less, is existing then the maximum accessory building that can be constructed is 400 sf. If there is an existing accessory building greater than 625 sf no additional accessory buildings or structures are permitted. In this case, the proposed guest quarters/secondary living unit is 1,267 SF and will be the only accessory structure on the subject property. Based on this, the building meets all of the requirements for a Guest Quarters/Secondary Living Unit.

I.14 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

- 1) The development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the SUP ordinance.
- 2) The construction of a single-family home and guest quarters/secondary living unit on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the SUP ordinance.
- 3) The Guest Quarters/Secondary Living Unit shall not exceed a maximum of 1,270 SF.
- 4) The Guest Quarters/Secondary Living Unit shall not incorporate kitchen facilities.
- 5) The Guest Quarters/Secondary Living Unit shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

M.15 Ordinances. Please review the attached draft ordinance prior to the October 28, 2025 Planning & Zoning Work Session meeting, and provide staff with your markups by November 3, 2025.

I.16 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 3, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 11, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.17 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 28, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on November 11, 2025.

I.18 City Council Meeting Dates. The projected City Council meeting dates for this case will be November 17, 2025 (1st Reading) and December 1, 2025 (2nd Reading).

I.19 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

- 10/23/2025: 1. Finished pad of MIL must be a minimum 2' above the 100 year water surface.
 2. Finished pad must be at the elevation of FM 549 or higher.
 3. Must show the true location (by survey) of the 100 year flood plain and add erosion hazard setback easement, and 100-yr WSEL.
 4. Not approximate. The flood plain has 100 year flood plain elevations.

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- There is an existing 12" water main along FM 549 available for use.
- There is no sewer available for this lot, septic system will be required.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed). Must match the proposed grades of FM 549. Must have a TXDOT permit for driveway construction.
- No gravel or asphalt allowed in any area.
- Culvert (if needed) must be engineered.
- Additional comments may be provided at time of Building Permit.
- All structures must be a minimum of 2' above floodplain water surface elevation.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Needs Review

10/23/2025: GUEST QUARTERS DO NOT MEET THE REQUIREMENTS IN THE UNIFIED DEVELOPMENT CODE

- * Full kitchen
- * These dwellings are not to be rented or otherwise used as a separate domicile.
- * The intent is for temporary accommodations - not permanent living quarters
- * A Carport is required to be integrated with the primary structure, not an accessory building.

Guest Quarters/Secondary Living Unit. A self-contained accessory building that is ancillary to the primary dwelling. Guest Quarters or Secondary Living Units are designed to

provide separate temporary accommodations for guests, or family members of the primary owners or occupants. These units may include amenities such as a bedroom, bathroom, and living area; however, a kitchen facilities are not permitted. These dwellings are not to be rented or otherwise used as a separate domicile.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved

No Comments

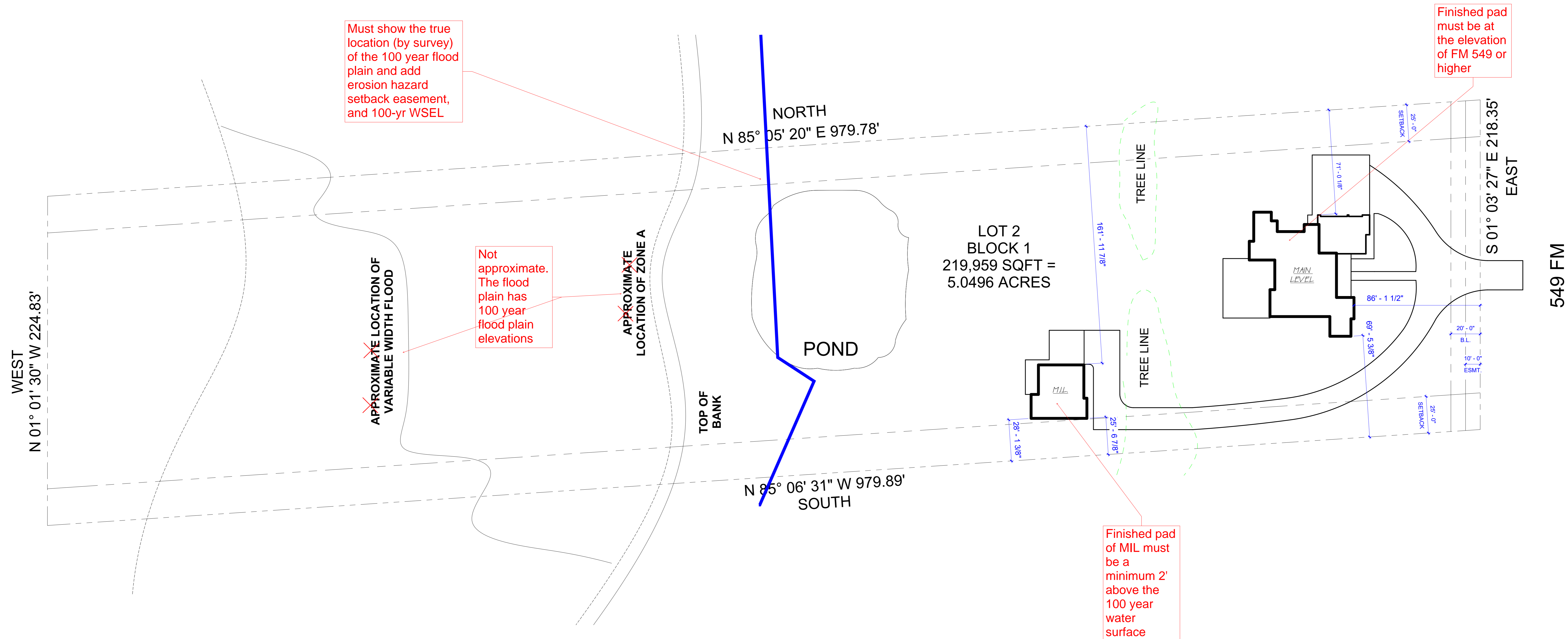
THE INFORMATION WAS OBTAINED BY :

SURVEY PERFORMED BY CDG SURVEYING INC.
 1413 EAST INTERSTATE 30, SUITE 7,
 GARLAND, TEXAS 75043
 PH : (214) 349 - 9485

DATED : 06/26/2021
 JOB # : 1712821

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- There is an existing 12" water main along FM 549 available for use.
- There is no sewer available for this lot, septic system will be required.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed). Must match the proposed grades of FM 549. Must have a TXDOT permit for driveway construction.
- No gravel or asphalt allowed in any area.
- Culvert (if needed) must be engineered.
- Additional comments may be provided at time of Building Permit.
- All structures must be a minimum of 2' above floodplain water surface elevation.



Must show the true location (by survey) of the 100 year flood plain and add erosion hazard setback easement, and 100-yr WSEL

Not approximate. The flood plain has 100 year flood plain elevations

Finished pad must be at the elevation of FM 549 or higher

Finished pad of MIL must be a minimum 2' above the 100 year water surface



TAG & ASSOCIATES
 LLC
 DESIGN • INNOVATE • CREATE

Tag & Tristan Gilkeson
 Cell: 469.544.1000

Email: tag@designedbytag.com

SQUARE FOOTAGE	
Main Level	3,287 sq ft
Total Under Air	3,287 sq ft
Main Cov'd Area	736 sq ft
Garage	884 sq ft
Detached Dwelling	1,267 sq ft
DD - Cov'd	735 sq ft
Total Square Feet	6,909 sq ft

2592 FM 549

549 FM

Tag & Associates, LLC expressly reserves its copyright and other property rights in these plans and drawings. These plans and related drawings are not to be copied in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Tag & Associates, LLC. Any reproduction, distribution, or use of these plans and drawings without the prior written permission of Tag & Associates, LLC is prohibited. All local codes, ordinances and requirements take precedence over any part of these drawings which may conflict with these agency's, rules and / or regulations and be adhered to before and during all construction.

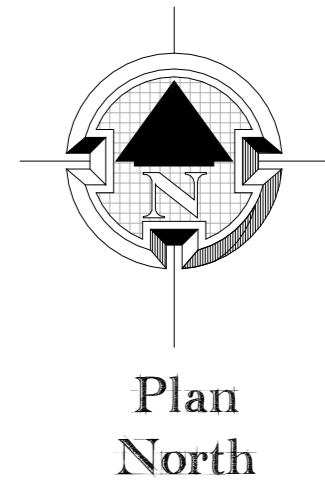
2592 S FARM TO MARKET 549
 ROCKWALL, TEXAS
 75032

SITE PLAN

A1.10

Scale As indicated

01 SITE PLAN
 1" = 30'-0"





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	2592 FM 549		
SUBDIVISION	Lofland Lake Estates		
GENERAL LOCATION	2592 FM 549		
	LOT	2	BLOCK 1

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	S FE-4	CURRENT USE	Residential
PROPOSED ZONING	S FE-4	PROPOSED USE	Residential
ACREAGE	5.05	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Michael Lewis	<input type="checkbox"/> APPLICANT	Michael Lewis
CONTACT PERSON	Michael Lewis	CONTACT PERSON	Michael Lewis
ADDRESS	4208 Ashcrest St	ADDRESS	4208 Ashcrest St
CITY, STATE & ZIP	Mesquite TX 75150	CITY, STATE & ZIP	Mesquite, TX 75150
PHONE	[REDACTED]	PHONE	[REDACTED]
E-MAIL	[REDACTED]	E-MAIL	[REDACTED]

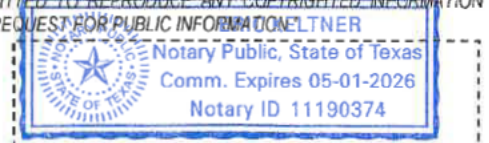
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Lewis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 275.75 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

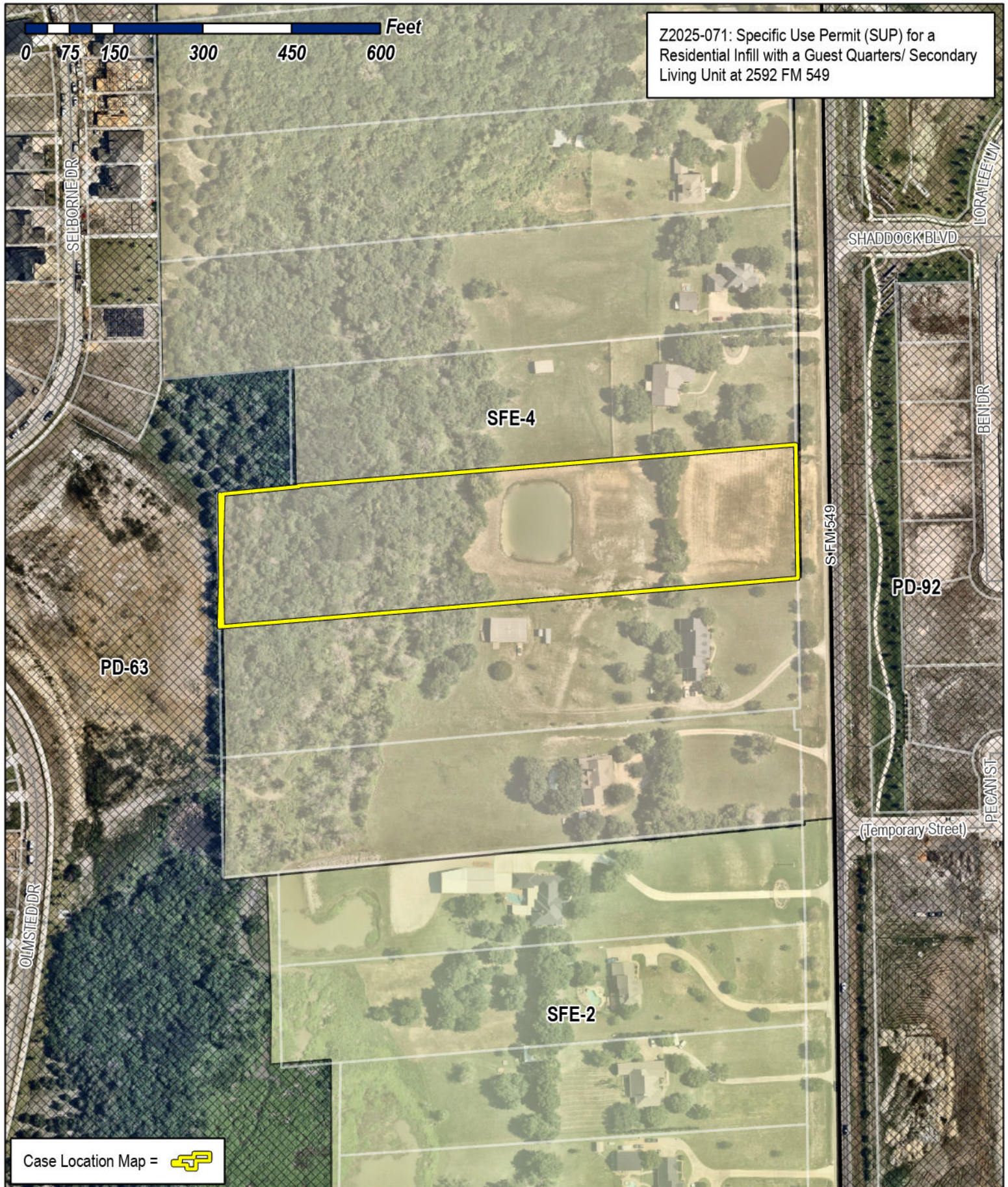
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF October, 2025

OWNER'S SIGNATURE [Signature]




NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES 5/1/2026



Z2025-071: Specific Use Permit (SUP) for a Residential Infill with a Guest Quarters/ Secondary Living Unit at 2592 FM 549

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

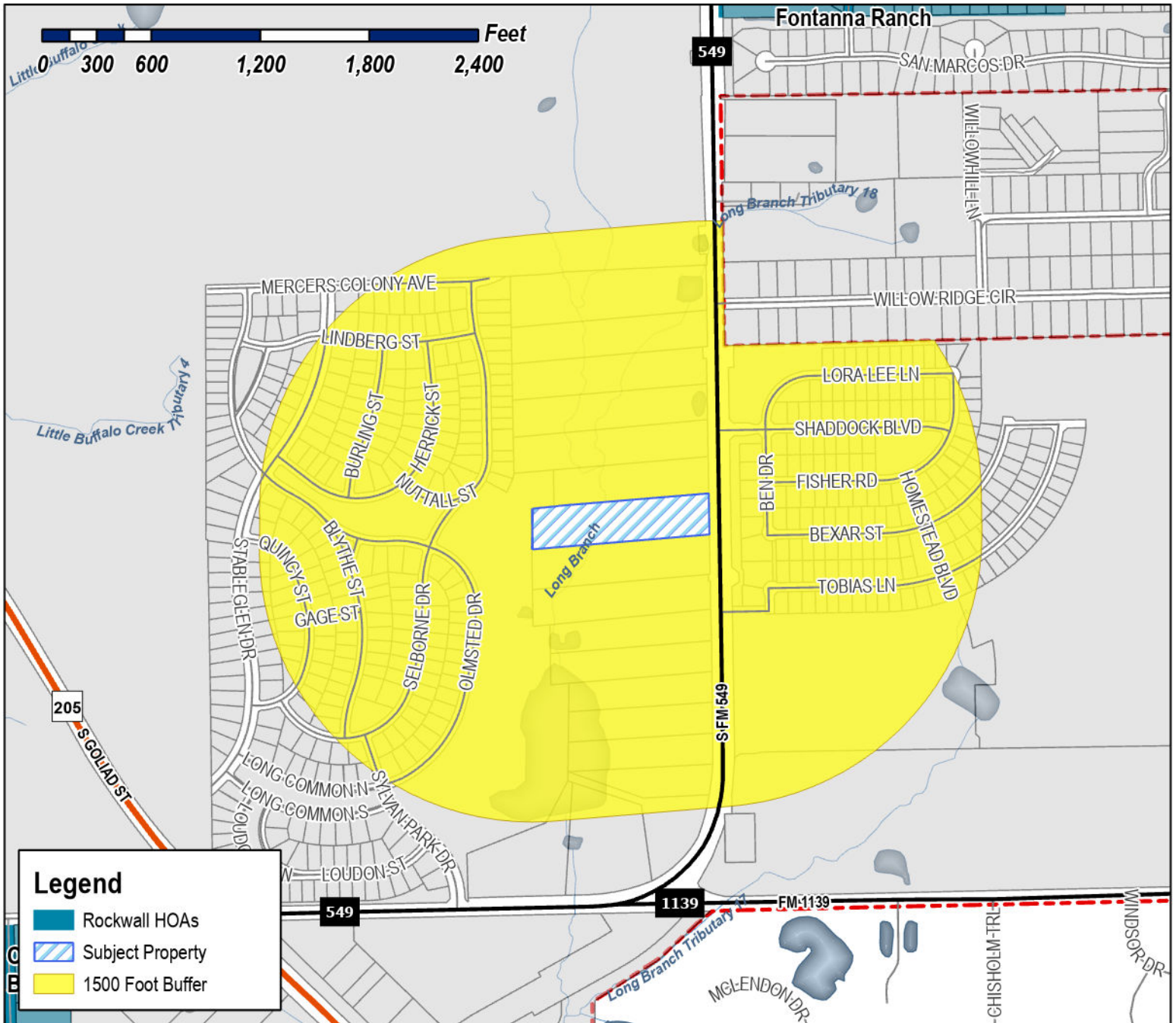




City of Rockwall

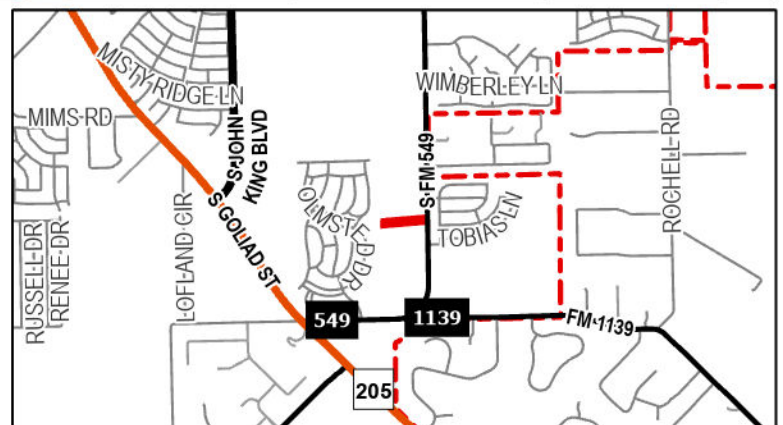
Planning & Zoning Department
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Case Number: Z2025-071
Case Name: SUP for a Residential Infill with a Guest Quarters/ Secondary Living Unit
Case Type: Zoning
Zoning: Single-Family Estate 4 District (SFE-4)
Case Address: 2592 FM 549

Date Saved: 10/17/2025
 For Questions on this Case Call (972) 771-7745

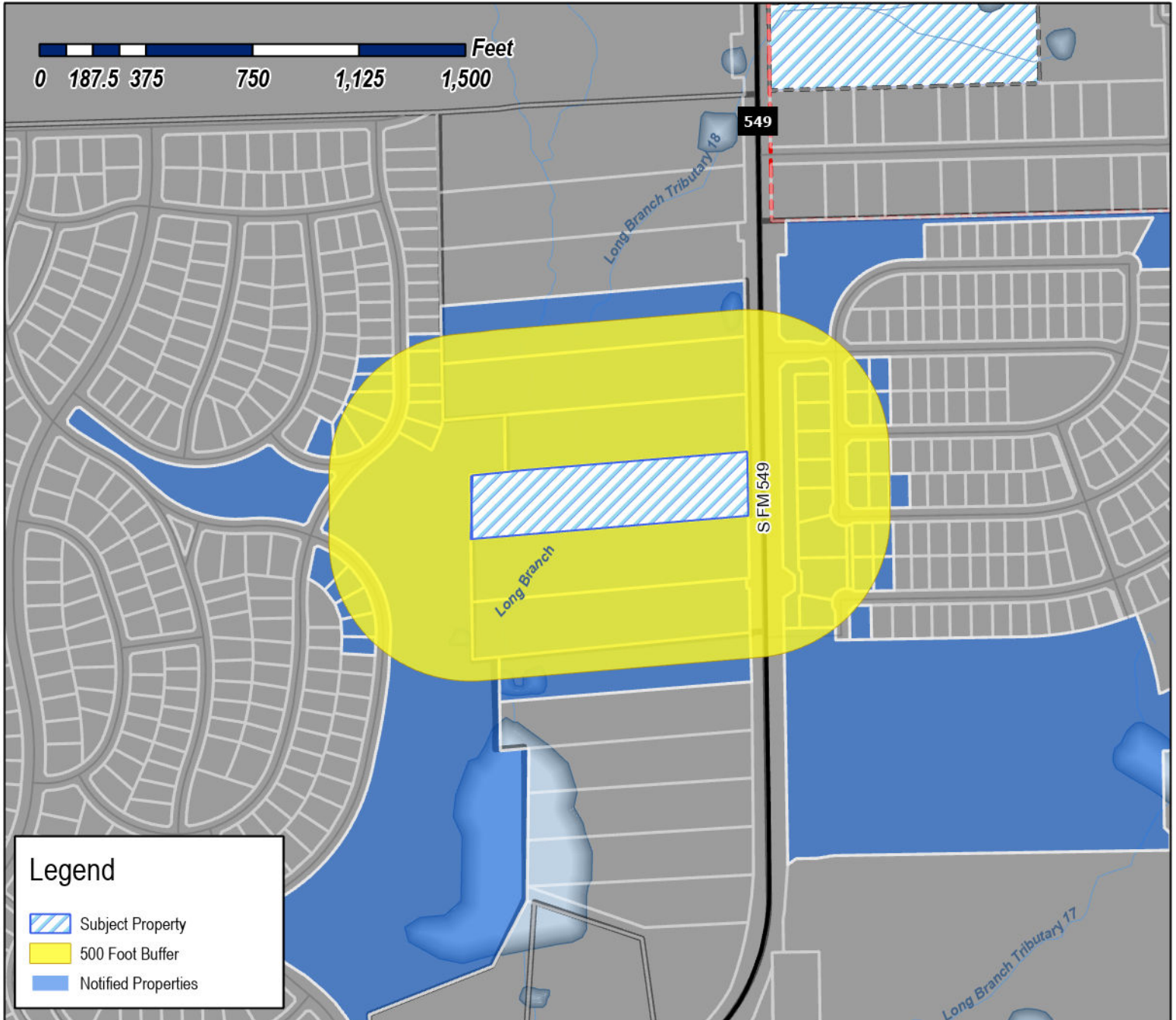




City of Rockwall

Planning & Zoning Department
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(P): (972) 771-7745
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Case Number: Z2025-071

Case Name: SUP for a Residential Infill with a Guest Quarters/ Secondary Living Unit

Case Type: Zoning

Zoning: Single-Family Estate 4 District (SFE-4)

Case Address: 2592 FM 549

Date Saved: 10/17/2025

For Questions on this Case Call: (972) 771-7745



SYVRUD ZACHARY J
108 Brentwood Dr
Heath, TX 75032

DFH COVENTRY, LLC
14701 PHILIPS HWY STE 300
JACKSONVILLE, FL 32256

GRAND HOMES 2014 LP
15455 Dallas Pkwy Ste 1000
Addison, TX 75001

SOMERSET PARK COMMUNITY ASSOCIATION,
INC
1800 PRESTON PARK BLVD STE 200
PLANO, TX 75093

SH DEV KLUTTS ROCKWALL LLC
2400 DALLAS PARKWAY SUITE 460
PLANO, TX 75093

ACOSTA ANTHONY
2480 S FM 549
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L
2516 S FM 549
ROCKWALL, TX 75032

DUGGAN CHRIS AND SHERRI
2516 S FM 549
ROCKWALL, TX 75032

RESIDENT
2521 S FM 549
ROCKWALL, TX 75032

RESIDENT
2548 FM549
ROCKWALL, TX 75032

RESIDENT
2592 FM549
ROCKWALL, TX 75032

RESIDENT
2624 NUTTALL ST
ROCKWALL, TX 75032

RESIDENT
2628 NUTTALL ST
ROCKWALL, TX 75032

RESIDENT
2638 S FM549
ROCKWALL, TX 75032

MCCANN KEVIN J AND ERIN M
2676 FM 549
ROCKWALL, TX 75032

RESIDENT
2716 FM549
ROCKWALL, TX 75032

RESIDENT
2994 S FM549
ROCKWALL, TX 75032

RESIDENT
3100 LORA LEE LN
ROCKWALL, TX 75032

RESIDENT
3101 BEN DR
ROCKWALL, TX 75032

RESIDENT
3101 FISHER RD
ROCKWALL, TX 75032

RESIDENT
3102 BEXAR ST
ROCKWALL, TX 75032

RESIDENT
3102 FISHER RD
ROCKWALL, TX 75032

RESIDENT
3102 TOBIAS LN
ROCKWALL, TX 75032

RESIDENT
3103 BEXAR ST
ROCKWALL, TX 75032

RESIDENT
3103 SHADDOCK BLVD
ROCKWALL, TX 75032

RESIDENT
3104 TOBIAS LN
ROCKWALL, TX 75032

RESIDENT
3105 FISHER RD
ROCKWALL, TX 75032

RESIDENT
3106 BEXAR ST
ROCKWALL, TX 75032

RESIDENT
3106 FISHER RD
ROCKWALL, TX 75032

RESIDENT
3107 SHADDOCK BLVD
ROCKWALL, TX 75032

MORENO JOSE ROBERTO III & ANN MARIE
3107 BEXAR ST
ROCKWALL, TX 75032

RESIDENT
3108 TOBIAS LN
ROCKWALL, TX 75032

RESIDENT
3110 BEXAR ST
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

RESIDENT
3808 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3813 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3814 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3817 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3820 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3821 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3824 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3825 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3828 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3875 SELBORNE DR
ROCKWALL, TX 75032

RESIDENT
3950 BEN DR
ROCKWALL, TX 75032

RESIDENT
3954 BEN DR
ROCKWALL, TX 75032

RESIDENT
4002 BEN DR
ROCKWALL, TX 75032

RESIDENT
4006 BEN DR
ROCKWALL, TX 75032

RESIDENT
4010 BEN DR
ROCKWALL, TX 75032

RESIDENT
4103 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
4107 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
4111 OLMSTEAD DR
ROCKWALL, TX 75032

MCDONALD CHRISTINA MARIE
4111 OLMSTED DR
ROCKWALL, TX 75032

RESIDENT
4115 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
4119 OLMSTEAD DR
ROCKWALL, TX 75032

RESIDENT
4120 PECAN ST
ROCKWALL, TX 75032

LEWIS MIKE AND
MAEGAN GREEN
4208 ASHCREST ST
MESQUITE, TX 75150

TRI POINTE HOMES DFW, LLC
6201 W Plano Pkwy Ste 150
Plano, TX 75093

DREES CUSTOM HOMES LP
6225 N STATE HIGHWAY 161 STE 150
IRVING, TX 75038

POWERS FAMILY TRUST
JAMES DWAIN & PATRICIA ANNETTE POWERS
CO TRUSTEES
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-071: SUP for a Residential Infill with Guest a Quarters/ Secondary Living Unit at 2592 FM 549

Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and a Guest Quarters/Secondary Living Unit for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as a Lot 2, Block A, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-071: SUP for a Residential Infill with Guest a Quarters/ Secondary Living Unit at 2592 FM 549

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

THE INFORMATION WAS OBTAINED BY :

SURVEY PERFORMED BY CDG SURVEYING INC.
1413 EAST INTERSTATE 30, SUITE 7,
GARLAND, TEXAS 75043
PH : (214) 349 - 9485

DATED : 06/26/2021
JOB # : 1712821



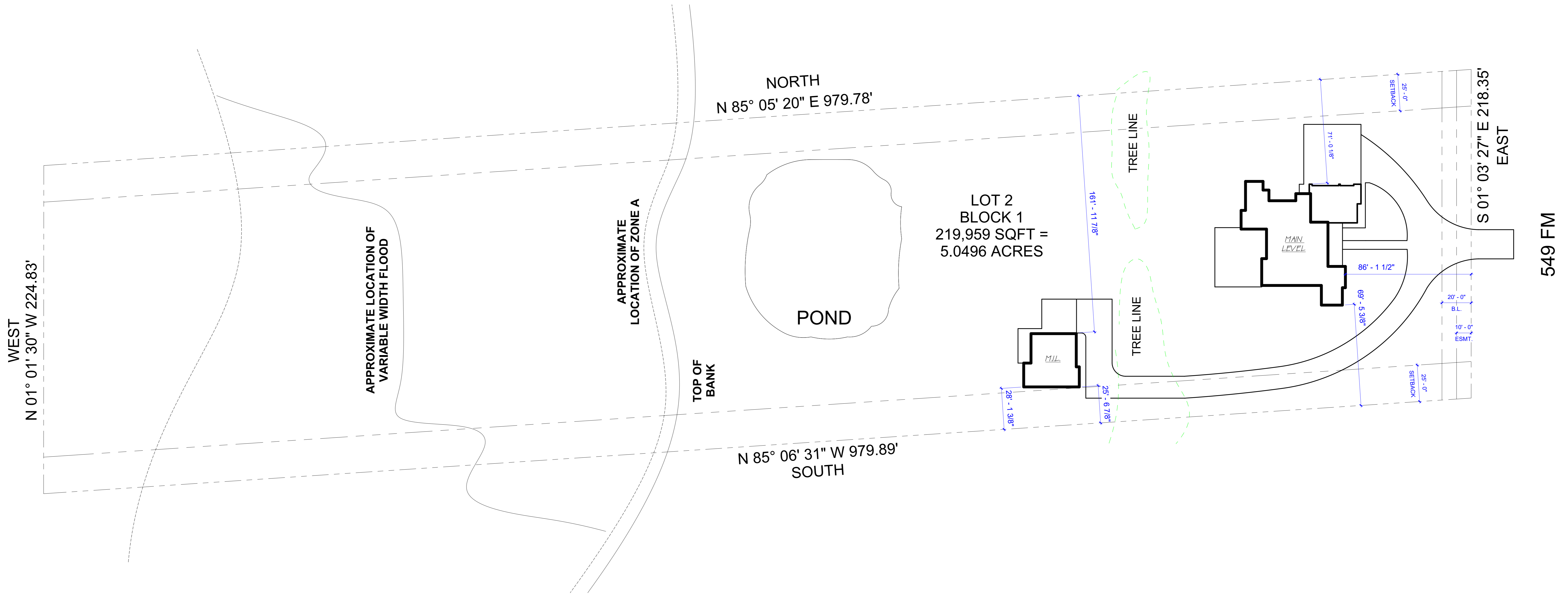
TAG & ASSOCIATES
LLC
DESIGN • INNOVATE • CREATE

Tag & Tristan Gilkeson
Cell: 469.544.1000

Email: tag@designedbytag.com

SQUARE FOOTAGE

Main Level	3,287 sq ft
Total Under Air	3,287 sq ft
Main Cov'd Area	736 sq ft
Garage	884 sq ft
Detached Dwelling	1,267 sq ft
DD - Cov'd	735 sq ft
Total Square Feet	6,909 sq ft



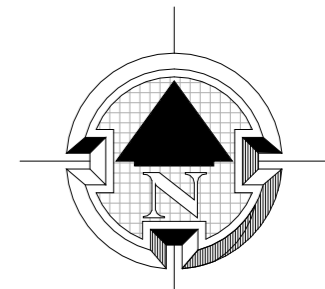
549 FM

2592 FM 549

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2592 S FARM TO MARKET 549
ROCKWALL, TEXAS
75032

SITE PLAN



Plan North

01 SITE PLAN
1" = 30'-0"

A1.10
Scale As indicated

10/17/2025 10:16:47 AM

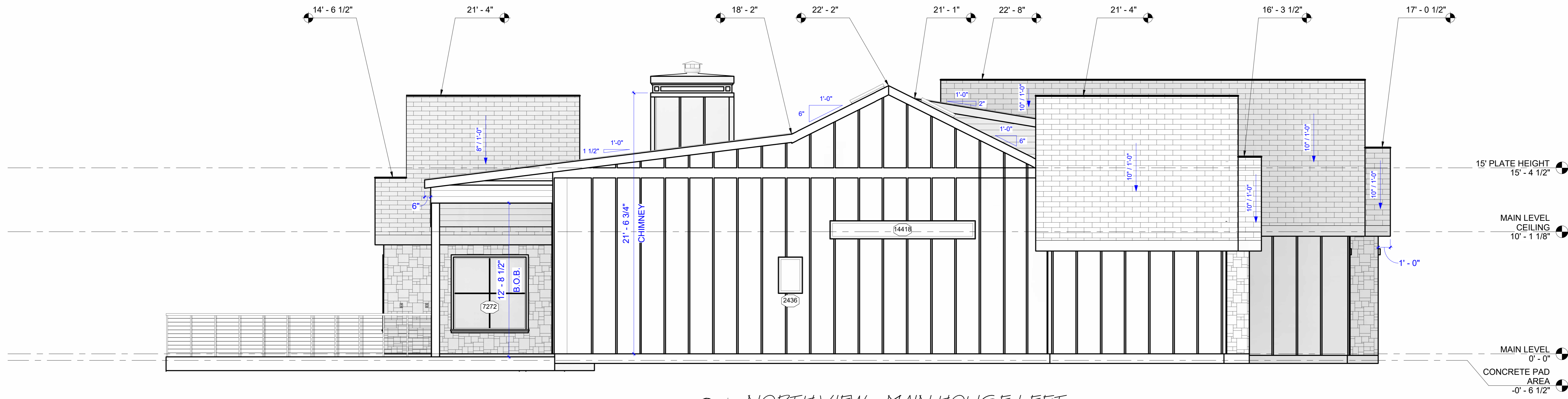


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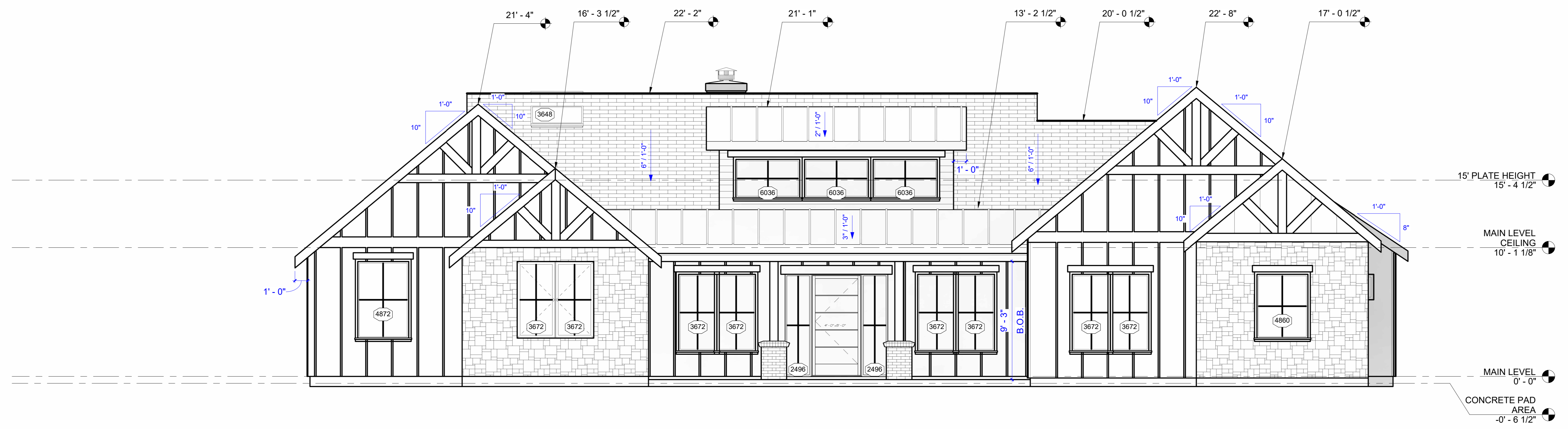
Tag & Tristan Gilkeson
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Email: tag@designedbytag.com

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01 NORTH VIEW - MAIN HOUSE LEFT
1/4" = 1'-0"



02 WEST VIEW - MAIN HOUSE FRONT
1/4" = 1'-0"

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2592 FM 549

2592 S FARM TO
MARKET 549
ROCKWALL, TEXAS
75032

ELEVATIONS

A4.01

Scale 1/4" = 1'-0"

10/17/2025 10:17:37 AM

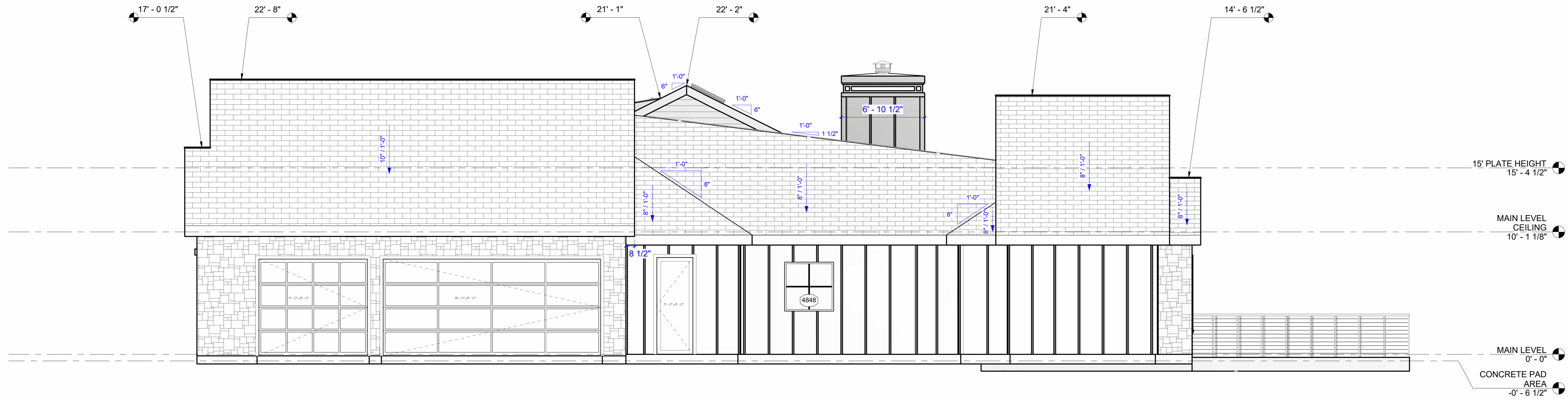


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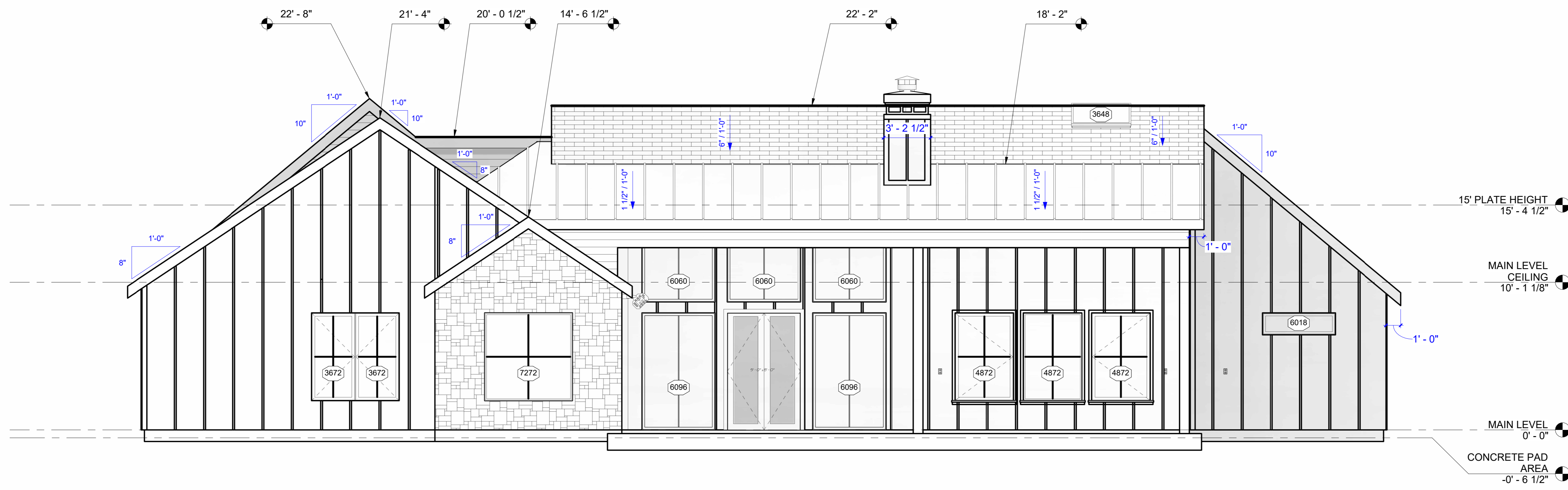
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01 SOUTH VIEW - MAIN HOUSE RIGHT
1/4" = 1'-0"



02 EAST VIEW - MAIN HOUSE REAR
1/4" = 1'-0"

2592 FM 549

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2592 S FARM TO
MARKET 549
ROCKWALL, TEXAS
75032

ELEVATIONS

A4.02

Scale 1/4" = 1'-0"

10/17/2025 10:18:04 AM



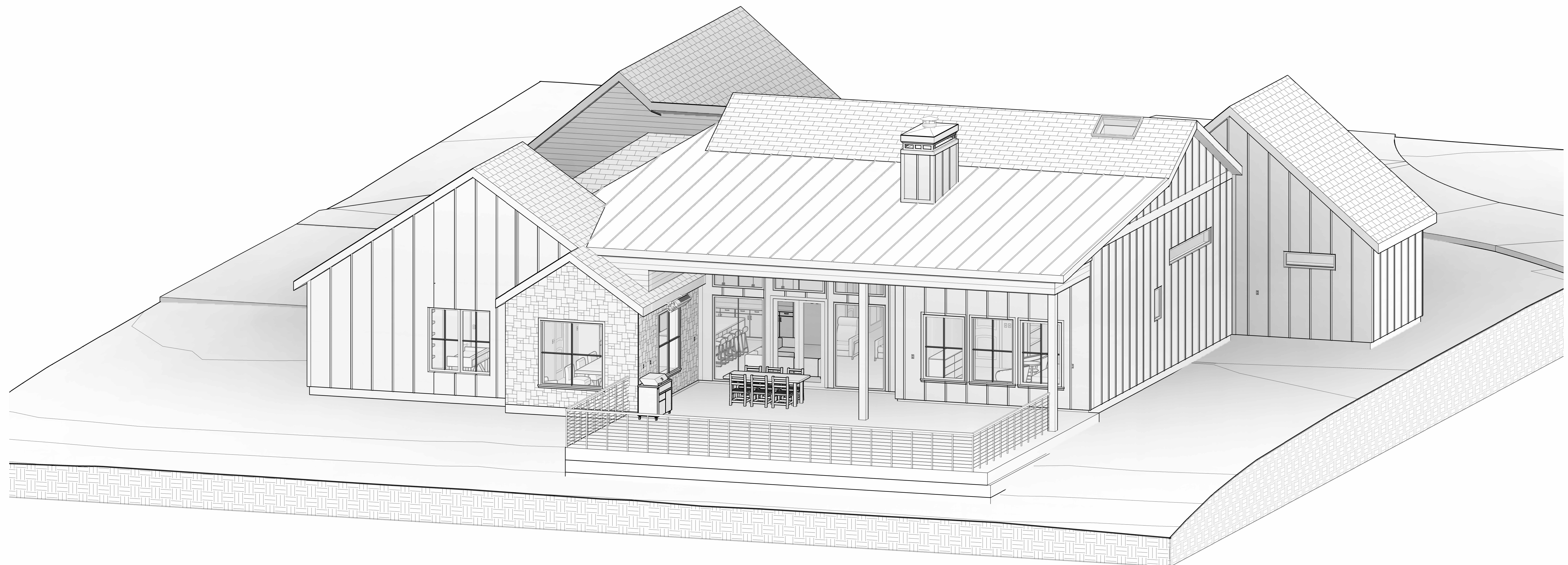
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Cell: 469.544.1000

Email: tag@designedbytag.com

SQUARE FOOTAGE

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2592 FM 549

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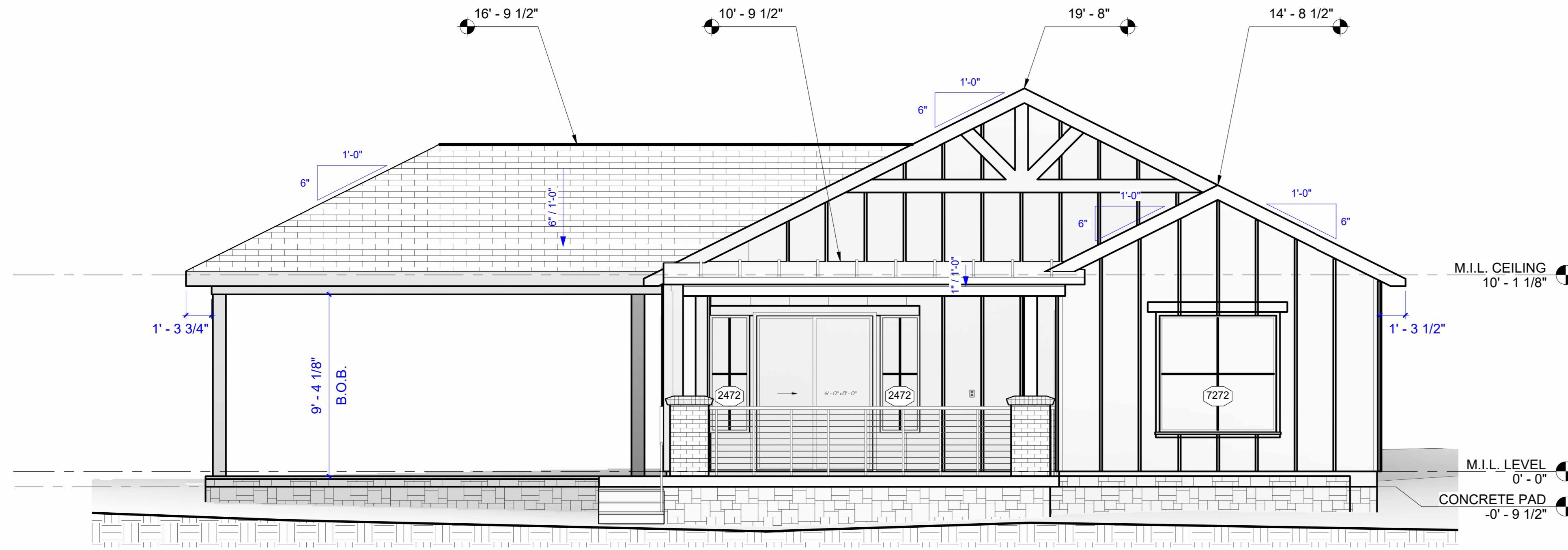
2592 S FARM TO
MARKET 549
ROCKWALL, TEXAS
75032

MAIN LEVEL 3D
ELEVATIONS

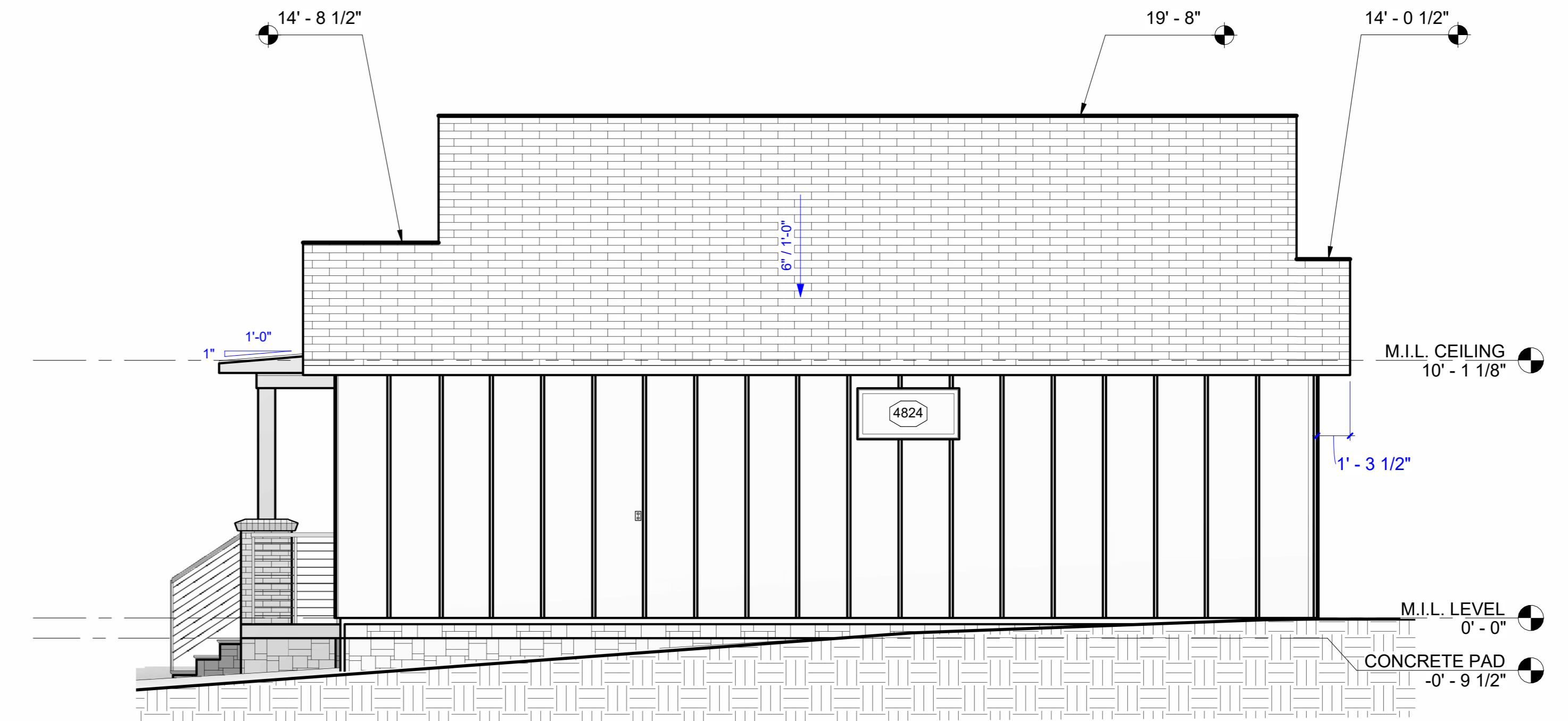
A4.04
Scale

SQUARE FOOTAGE

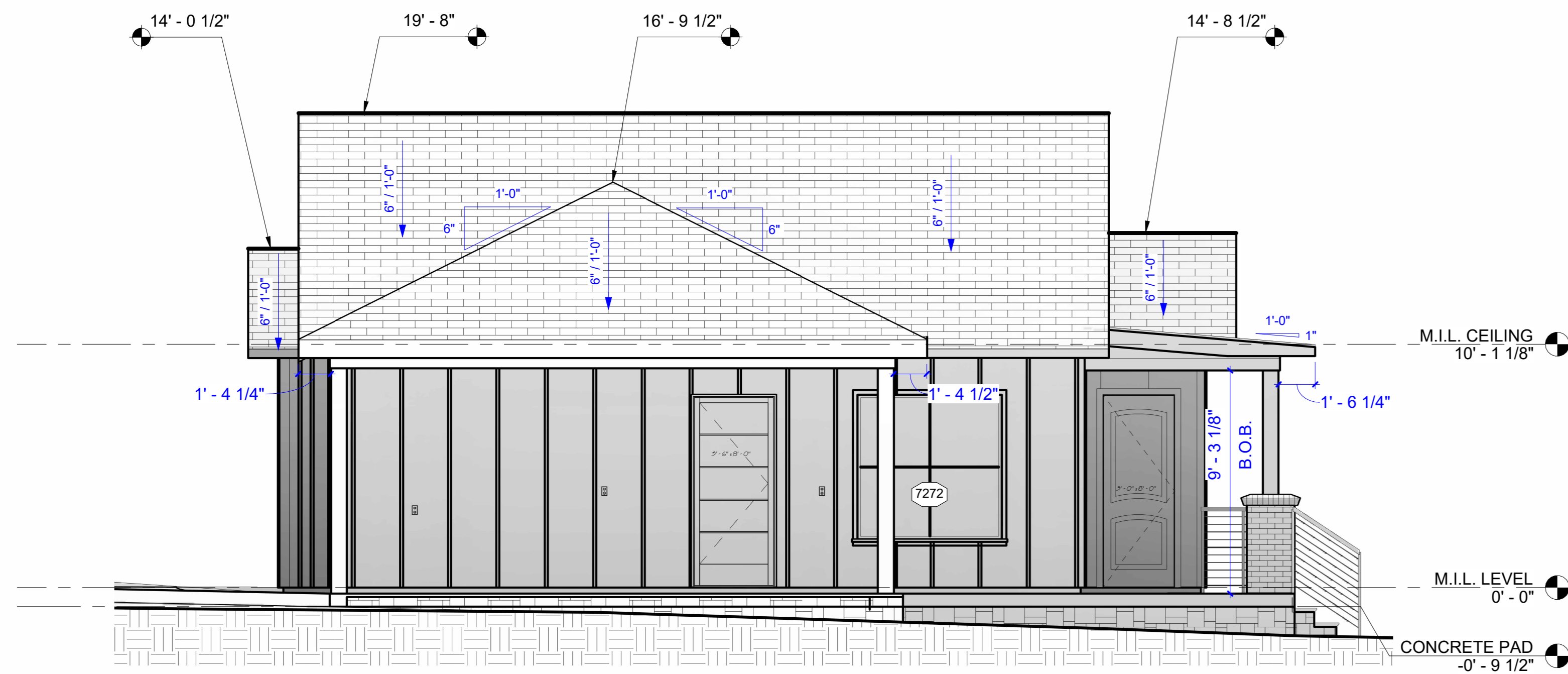
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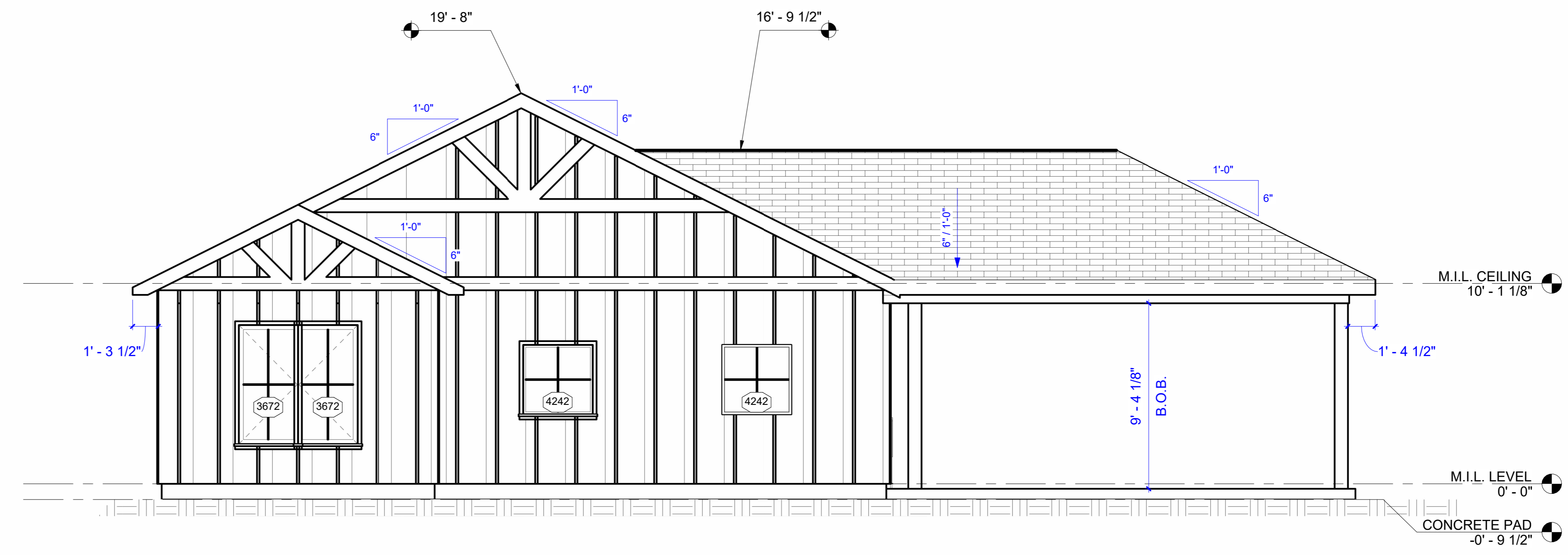
01 EAST VIEW - M.I.L. REAR
1/4" = 1'-0"



02 NORTH VIEW - M.I.L. HOUSE LEFT
1/4" = 1'-0"



03 SOUTH VIEW - M.I.L. HOUSE RIGHT
1/4" = 1'-0"



04 WEST VIEW - M.I.L. HOUSE FRONT
1/4" = 1'-0"

2592 FM 549

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2592 S FARM TO MARKET 549
ROCKWALL, TEXAS
75032

M.I.L. ELEVATIONS

A4.03

Scale 1/4" = 1'-0"



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2592 FM 549

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2592 S FARM TO MARKET 549
ROCKWALL, TEXAS
75032

MAIN LEVEL
FLOOR PLAN

A2.10
Scale As indicated

GENERAL NOTES

- REFER TO EACH DRAWING FOR DRAWING SPECIFIC NOTES. FOR FINISHES, REFER TO THE PROJECT MANUAL (S).
- ALL WORK IS NEW UNLESS OTHERWISE NOTED OR OTHERWISE INDICATED AS EXISTING.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATORY AGENCIES.
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- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

PER ORDINANCE# 26391 (4)(Q)(1)
SLOPE: THE EXISTING SLOPE OF A LOT MUST BE MAINTAINED. THIS PROVISION DOES NOT PREVENT MINOR GRADING AS NECESSARY TO ALLOW CONSTRUCTION. PREVENT LOT-TO-LOT DRAINAGE, OR MATCH THE SLOPE OF CONTIGUOUS LOTS.
NO LOT-TO-LOT DRAINAGE IS ALLOWED PER #26391 (4)(D)

SMOKE DETECTOR ALL SLEEPING AREA, IMM. OUTSIDE AND ALL LEVEL



01 MAIN LEVEL
1/4" = 1'-0"



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Tag & Tristan Gilkeson
Cell: 469.544.1000

Email: tag@designedbytag.com

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2592 FM 549

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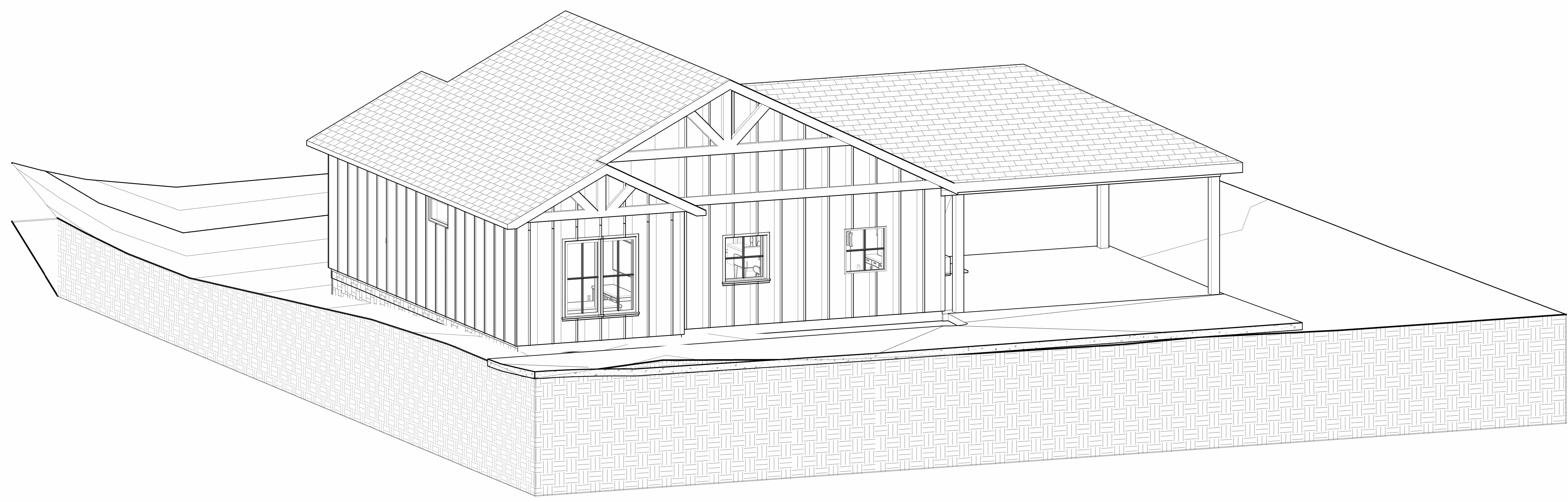
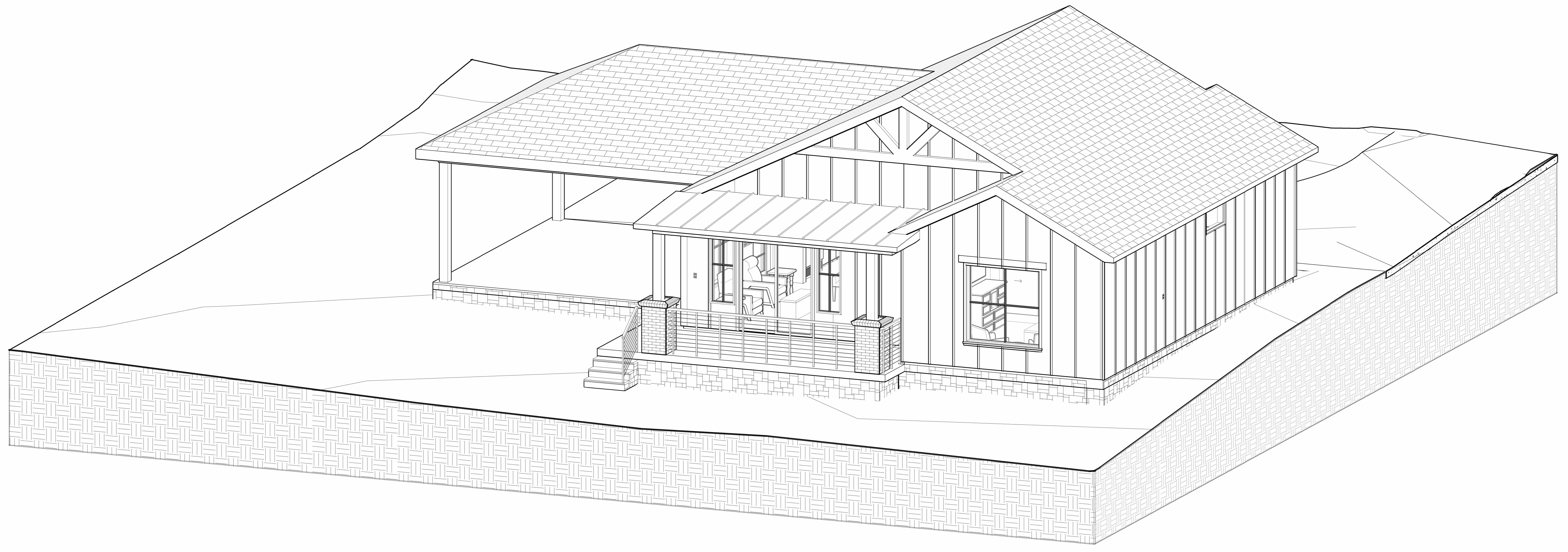
2592 S FARM TO
MARKET 549
ROCKWALL, TEXAS
75032

M.I.L. 3D
ELEVATIONS

A4.05

Scale

10/17/2025 10:19:33 AM





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2592 FM 549

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2592 S FARM TO MARKET 549
ROCKWALL, TEXAS
75032

MAIN LEVEL
FLOOR PLAN

A2.10
Scale As indicated

10/17/2025 10:17:03 AM

GENERAL NOTES

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PER ORDINANCE# 26391 (4)(Q)(1)
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NO LOT-TO-LOT DRAINAGE IS ALLOWED PER #26391 (4)(D)

SMOKE DETECTOR ALL SLEEPING AREA, IMM. OUTSIDE AND ALL LEVEL



01 MAIN LEVEL
1/4" = 1'-0"



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Tag & Tristan Gilkeson
Cell: 469.544.1000

Email: tag@designedbytag.com

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GENERAL NOTES

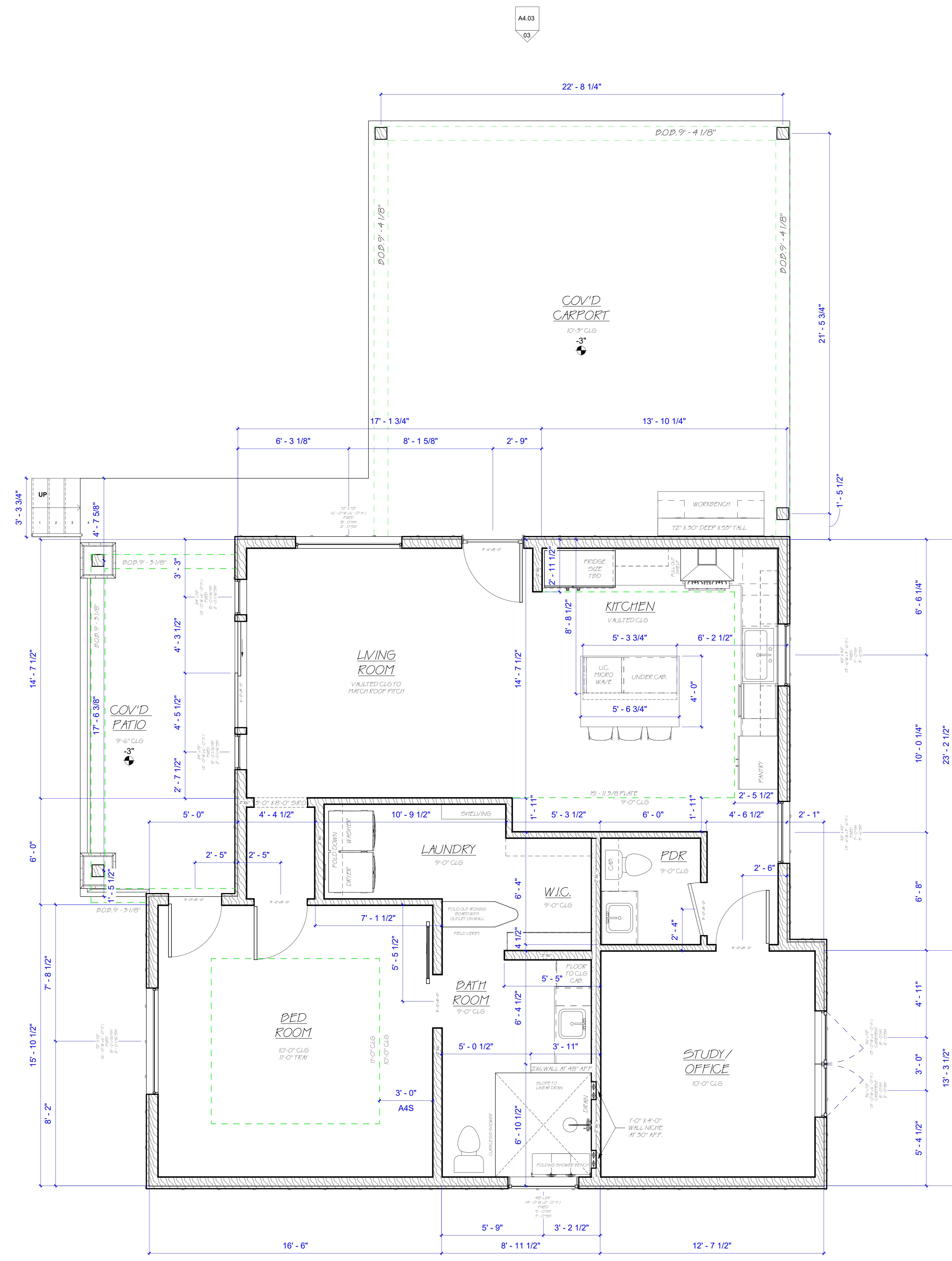
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NO LOT-TO-LOT DRAINAGE IS ALLOWED
PER #26391 (4)(D)

**SMOKE DETECTOR
ALL SLEEPING AREA,
IMM. OUTSIDE AND
ALL LEVEL**



01 M.I.L. LEVEL
3/8" = 1'-0"

2592 FM 549

2592 S FARM TO MARKET 549
ROCKWALL, TEXAS 75032

M.I.L. FLOOR PLAN

A2.11
Scale As indicated

10/17/2025 10:17:04 AM



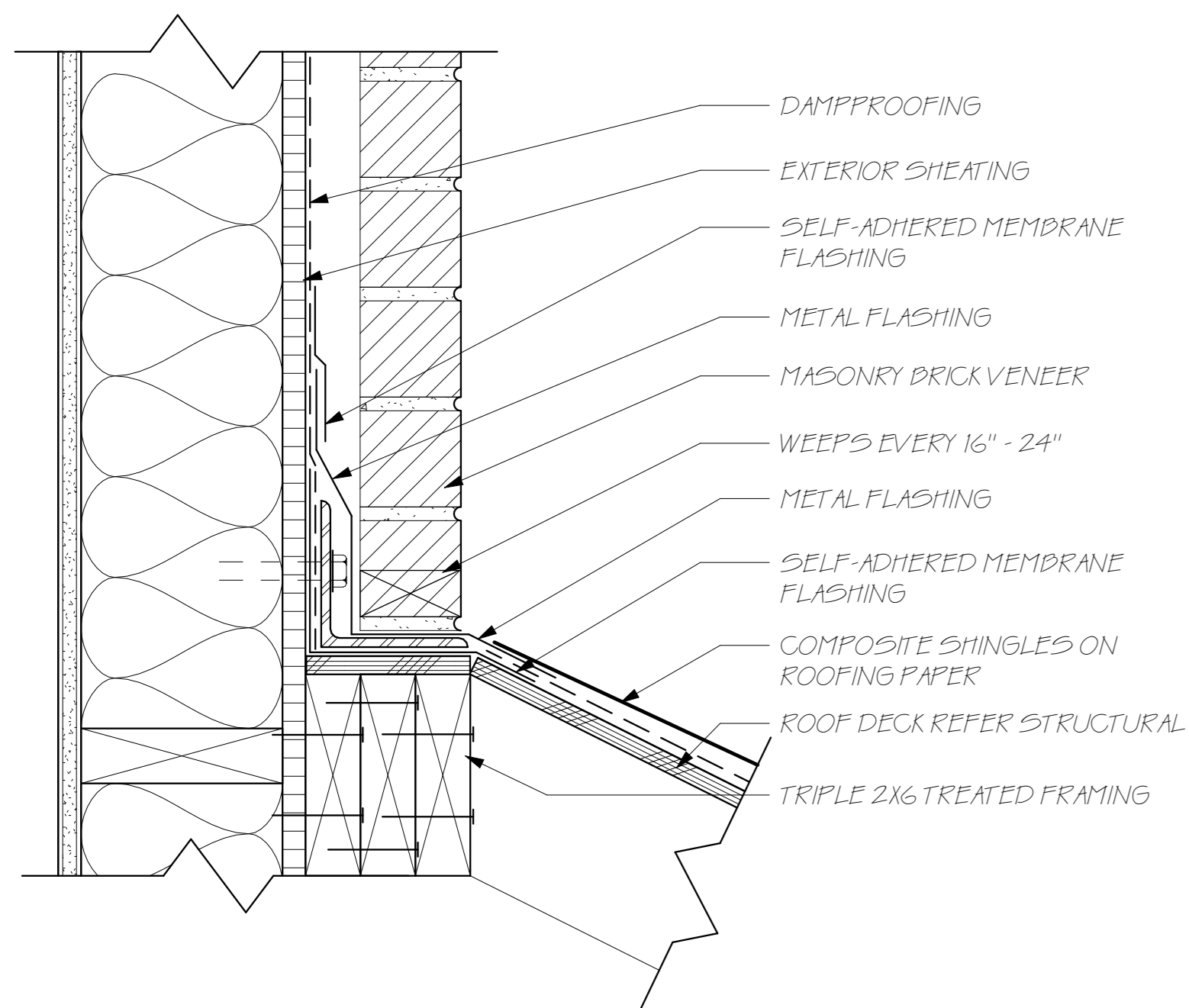
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Tag & Tristan Gilkeson
Cell: 469.544.1000

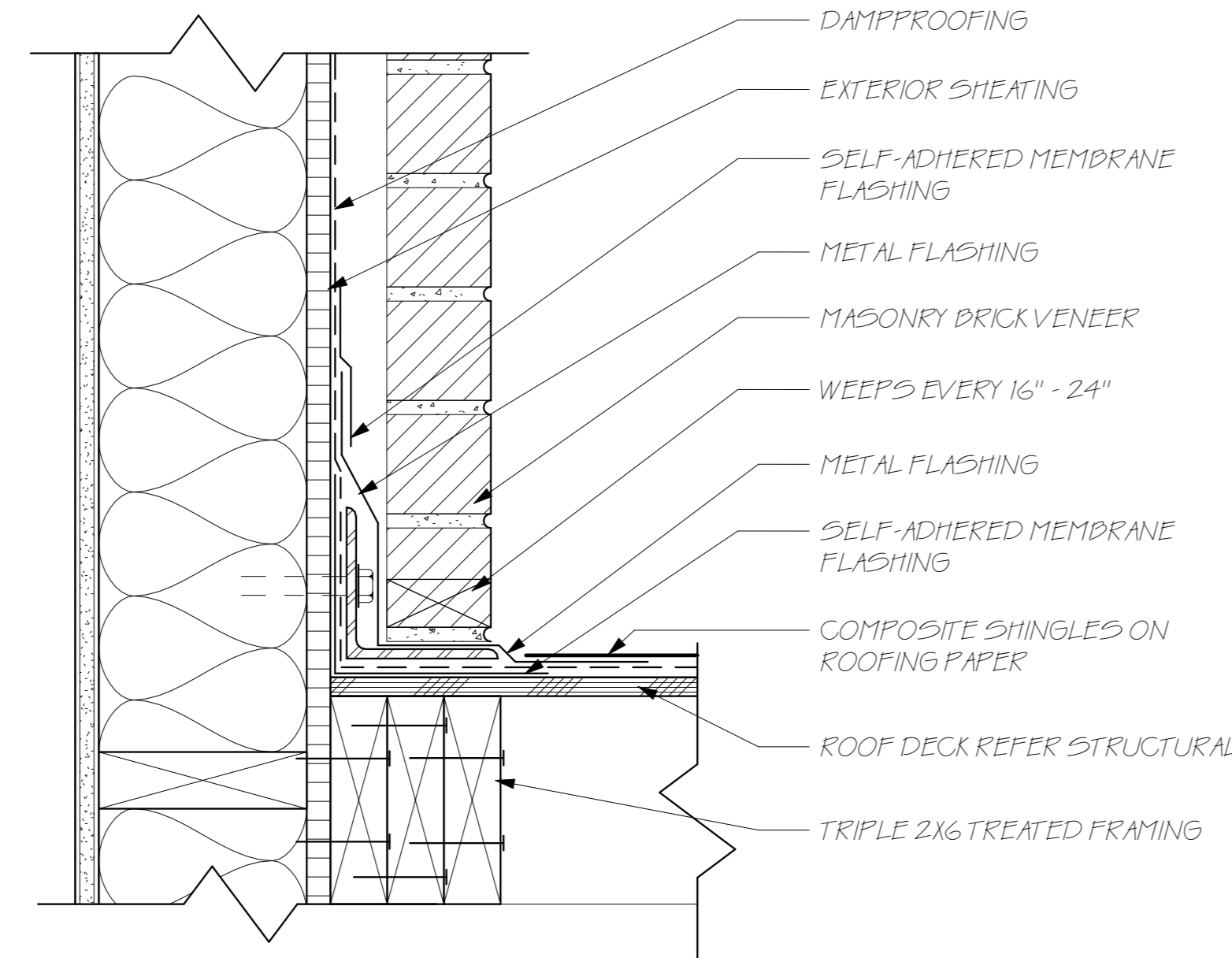
Email: tag@designedbytag.com

SQUARE FOOTAGE

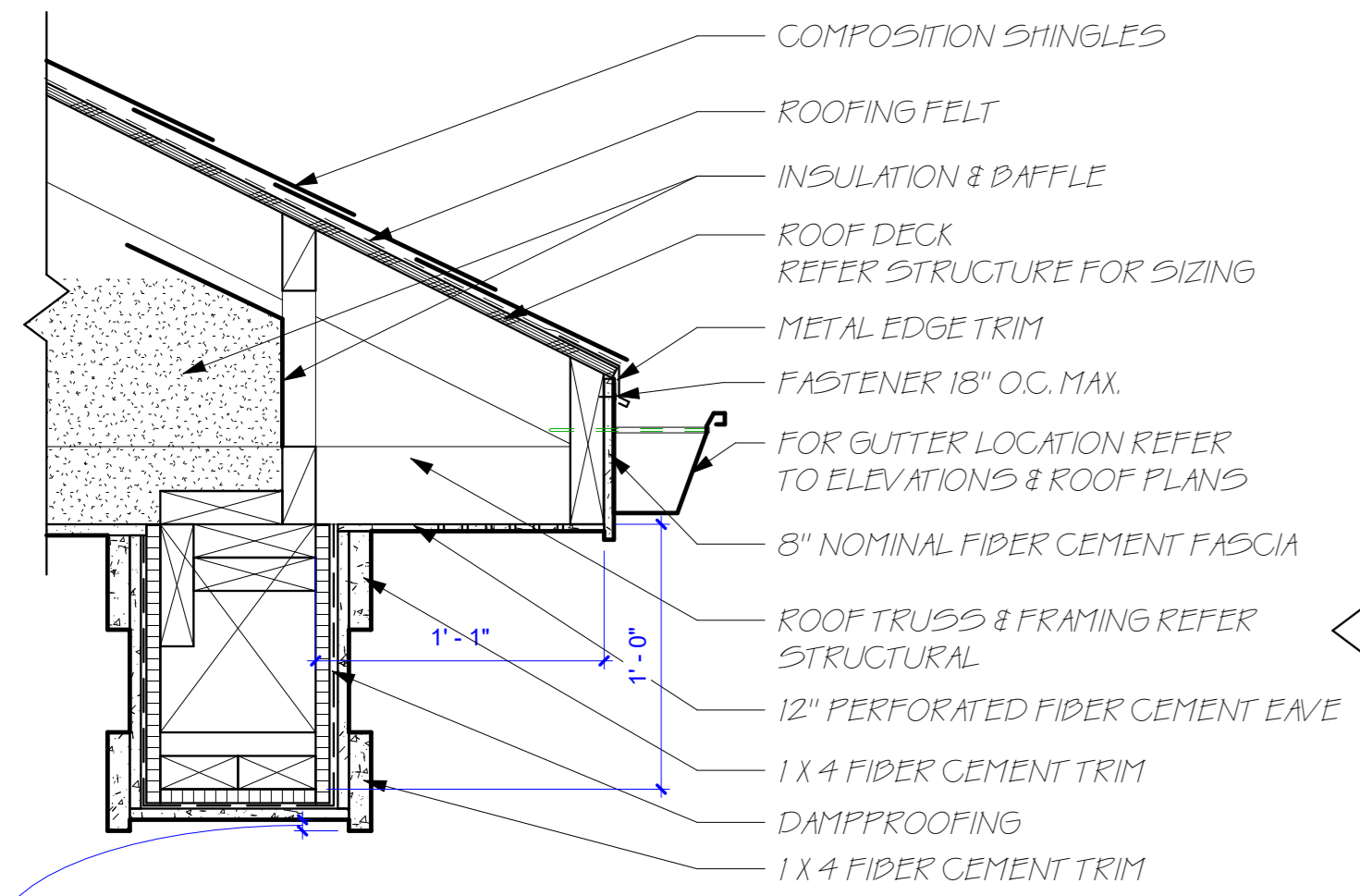
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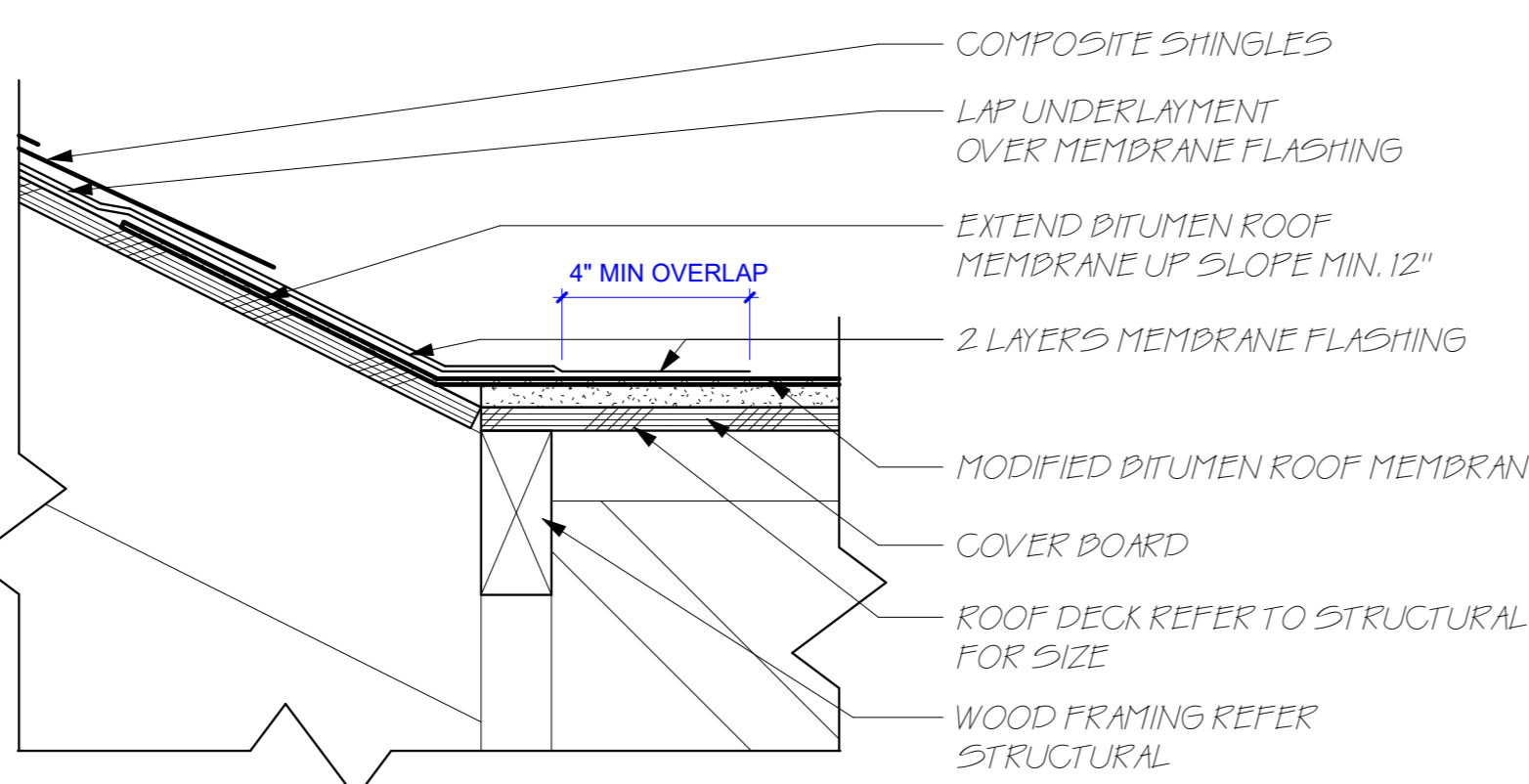
01 BRICK HEAD WALL TO ROOF
3" = 1'-0"



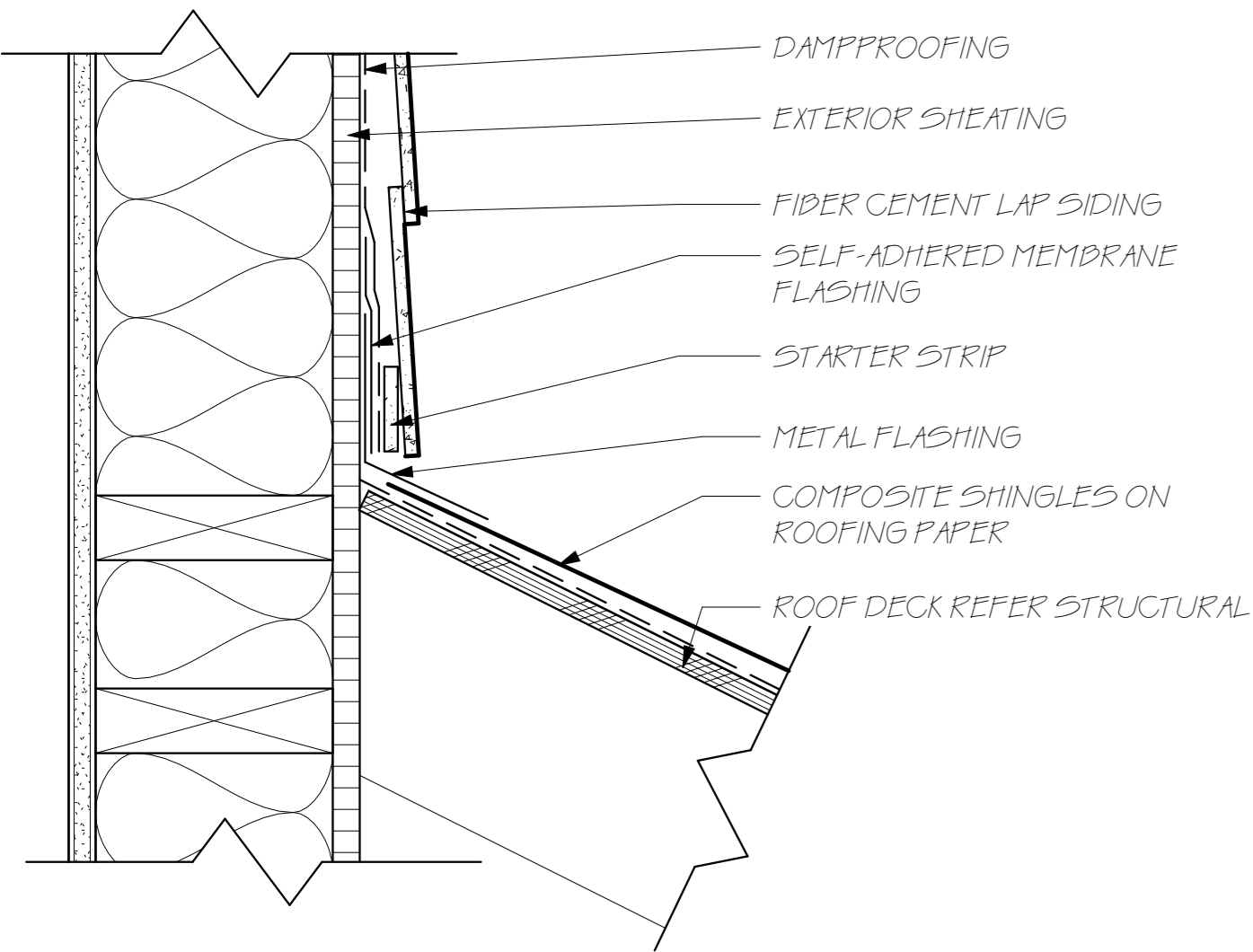
05 BRICK RAKE WALL TO ROOF
3" = 1'-0"



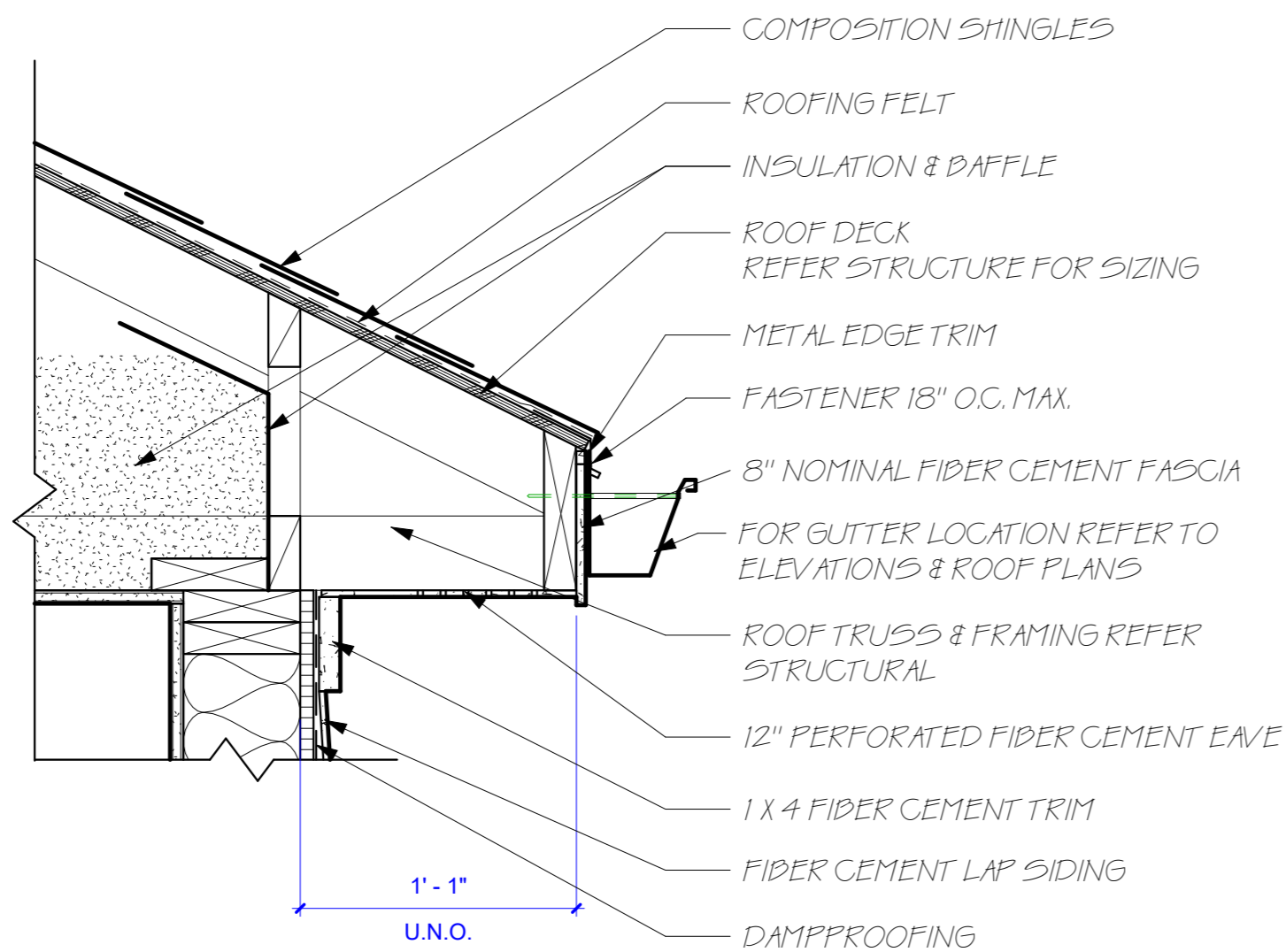
02 TYP ROOF OVERHANG AT BALCONY
1 1/2" = 1'-0"



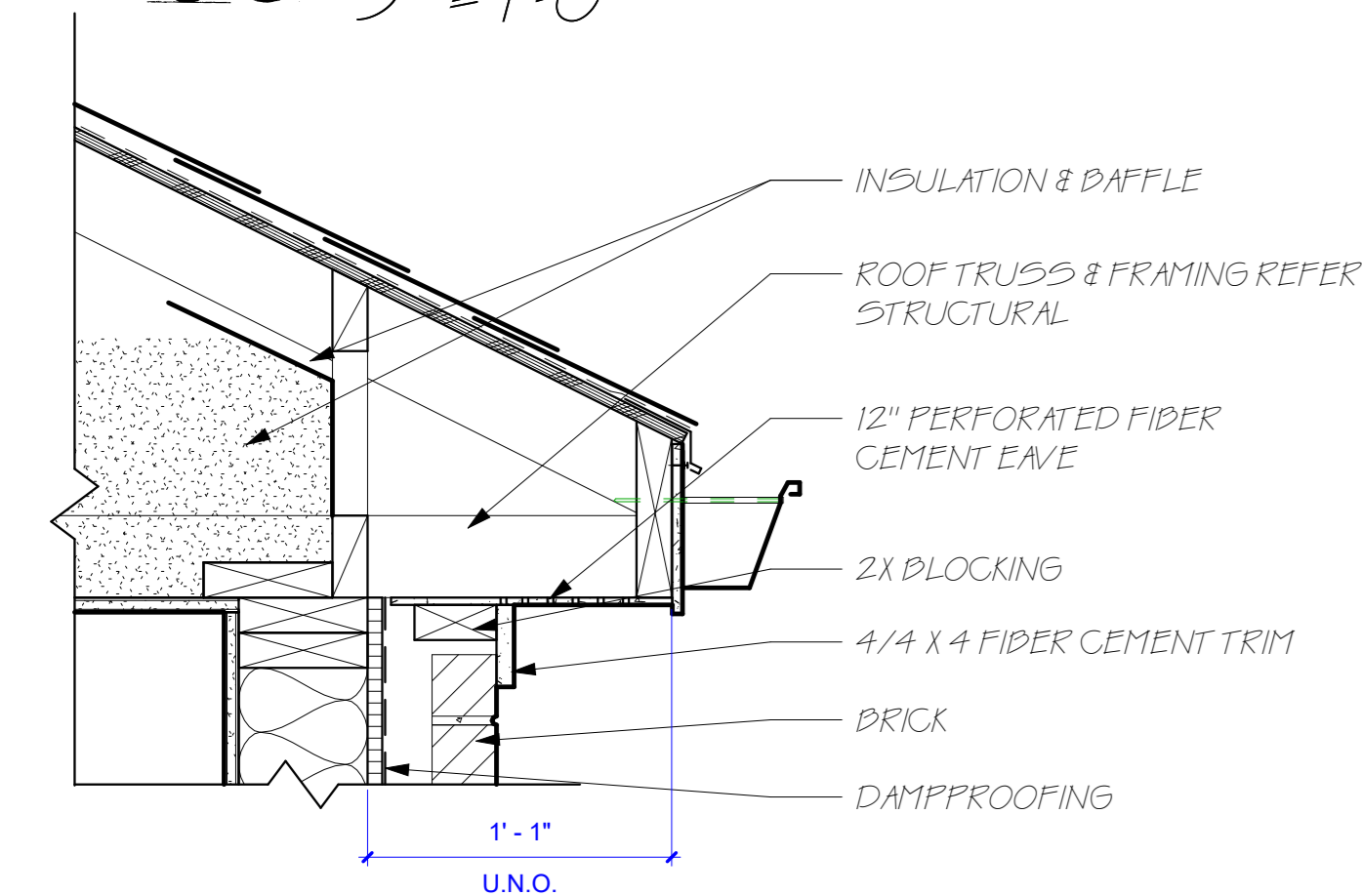
06 SHINGLE ROOF TO MODIFIED BIT ROOF
3" = 1'-0"



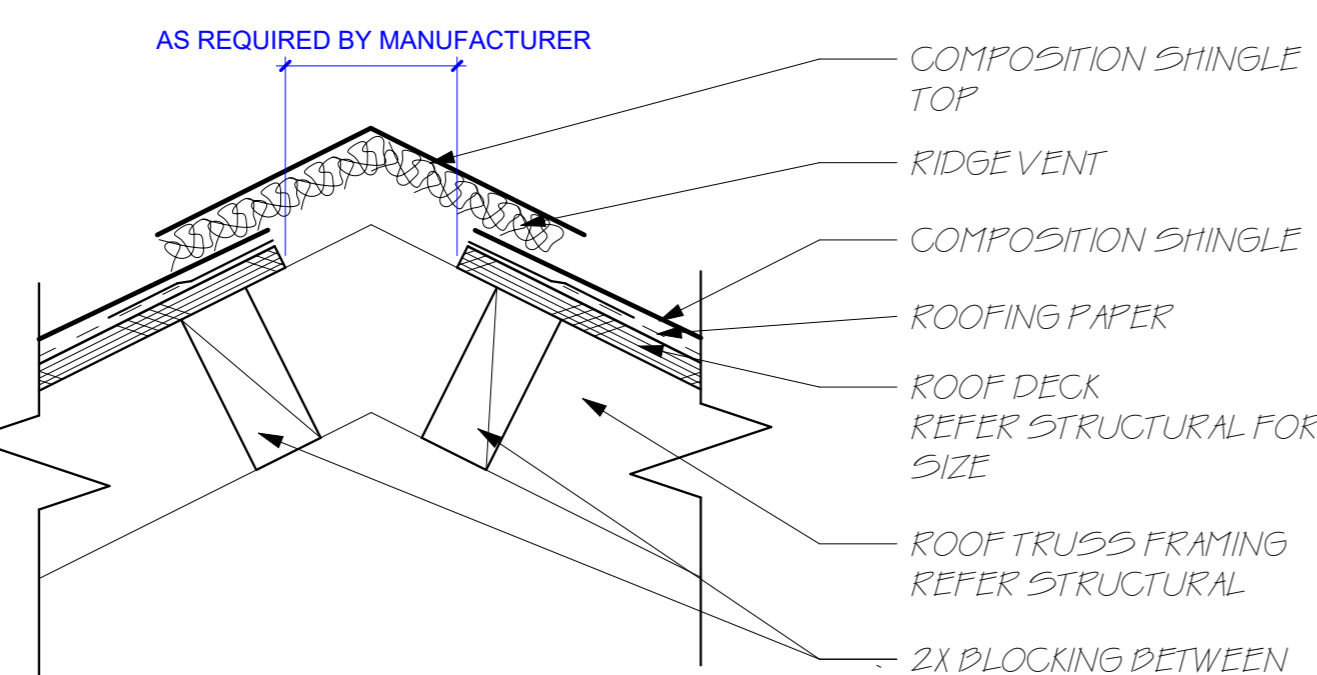
03 SIDING HEAD WALL TO ROOF
3" = 1'-0"



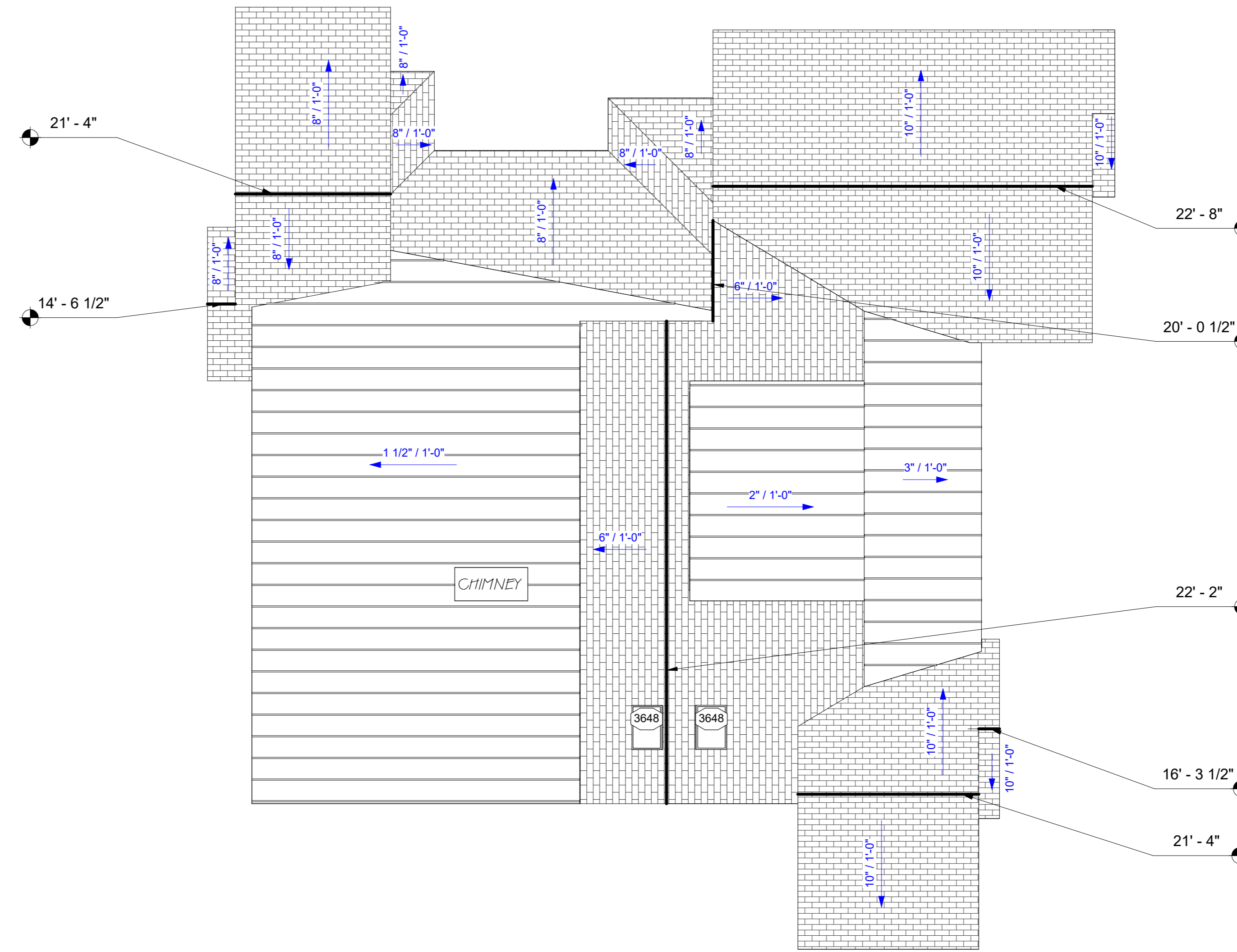
07 TYP ROOF OVERHANG AT SIDING
1 1/2" = 1'-0"



04 TYP ROOF OVERHANG AT BRICK
1 1/2" = 1'-0"

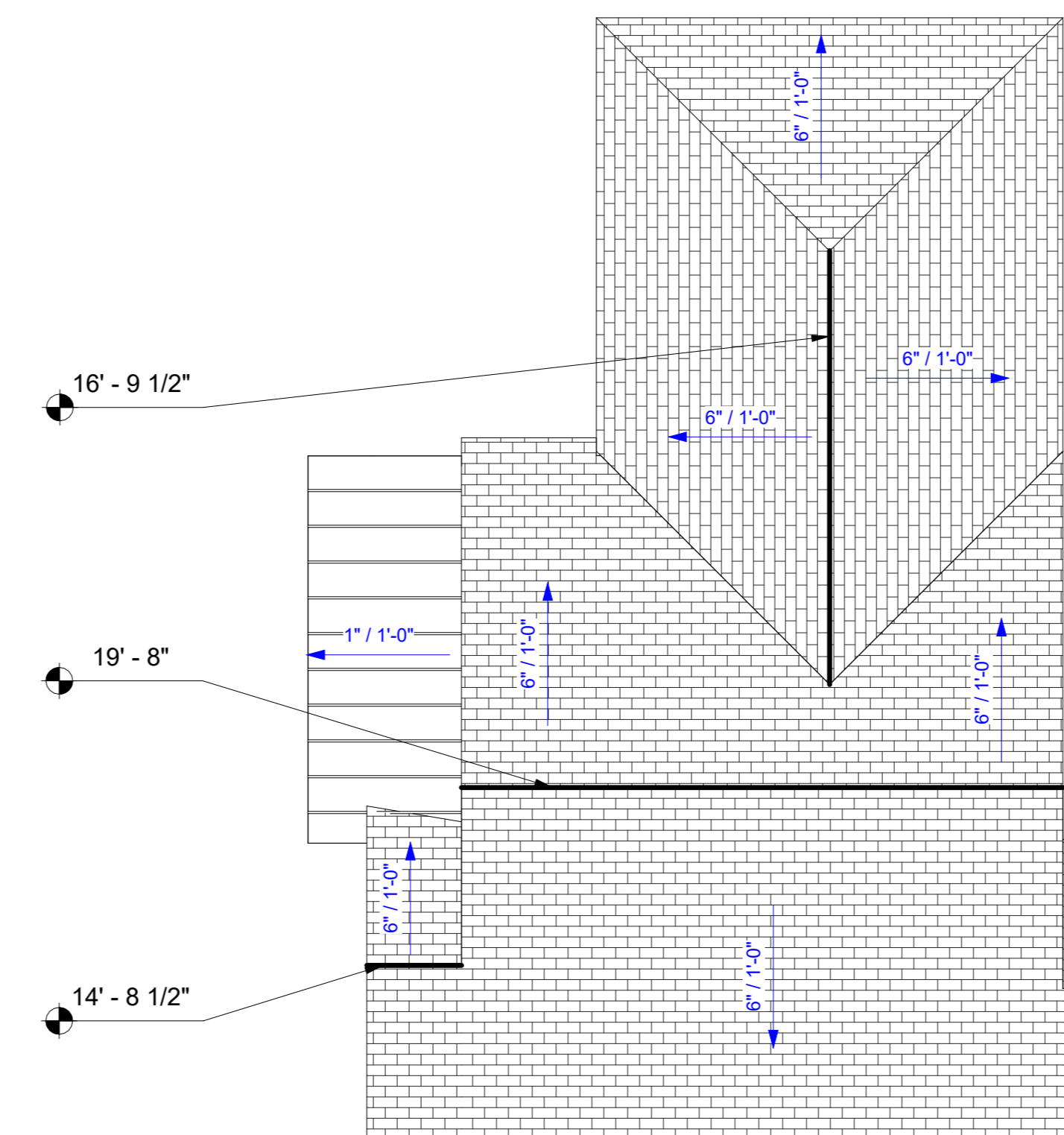


08 TYP RIDGE VENT
3" = 1'-0"



09 MAIN HOUSE ROOF PLAN
1/8" = 1'-0"

NOTE: MAIN HOUSE ROOF AND M.I.L. ROOF SHOWN IN RELATION TO EACH OTHER. DOES NOT REFLECT ACTUAL DISTANCE FROM EACH OTHER.



10 M.I.L. ROOF PLAN
1/8" = 1'-0"

2592 FM 549

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2592 S FARM TO MARKET 549
ROCKWALL, TEXAS
75032

ROOF DETAILS

A2.70
Scale As indicated

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION AND A GUEST QUARTERS/SECONDARY LIVING UNIT* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME AND GUEST QUARTERS ON A 5.05-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK 1, LOFLAND LAKE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision and Guest Quarters/Secondary Living Unit* on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM 549, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.04, *General Residential District Standards*, and Subsection 03.09, *Single Family Estate 4.0 (SFE-4.0) District*, of Article 05, *District Development Standards*, of the Unified

Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Single-Family Home and Guest Quarters/Secondary Living Unit* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) The *Guest Quarters/Secondary Living Unit* shall not exceed a maximum of 1,270 SF.
- 4) The *Guest Quarters/Secondary Living Unit* shall not incorporate kitchen facilities.
- 5) The *Guest Quarters/Secondary Living Unit* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF DECEMBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 17, 2025

2nd Reading: December 1, 2025

**Exhibit 'A':
Location Map**

Address: 2592 FM-549

Legal Description: Lot 2, Block 1, Lofland Lake Estates Addition



Exhibit 'B':
Residential Plot Plan

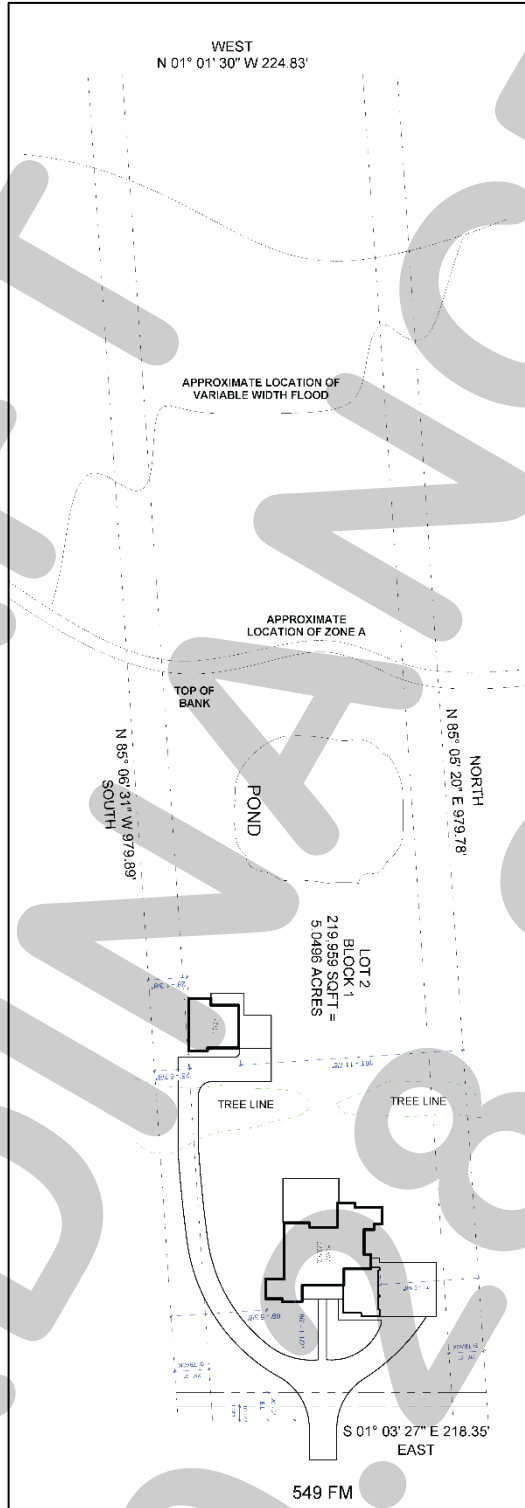
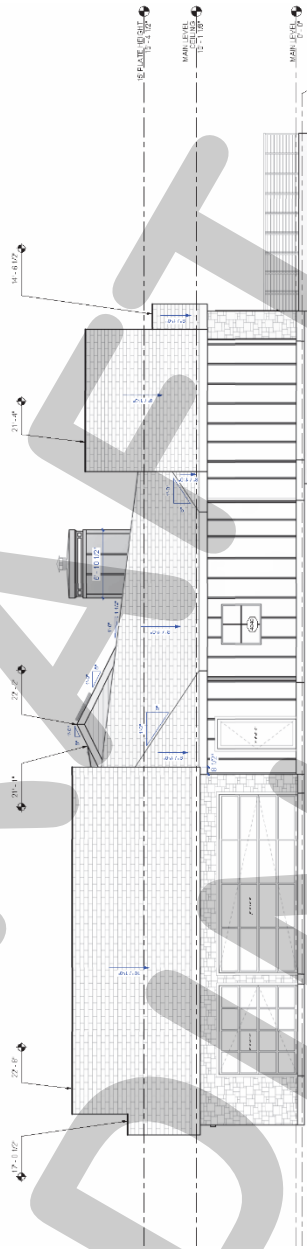
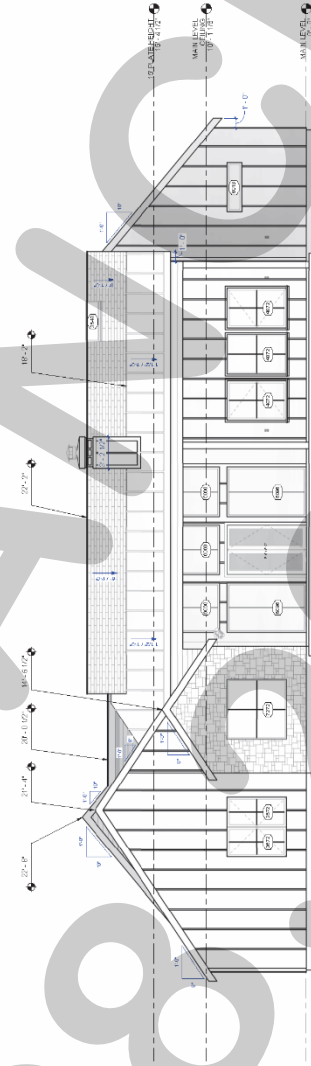


Exhibit 'C':
Building Elevations

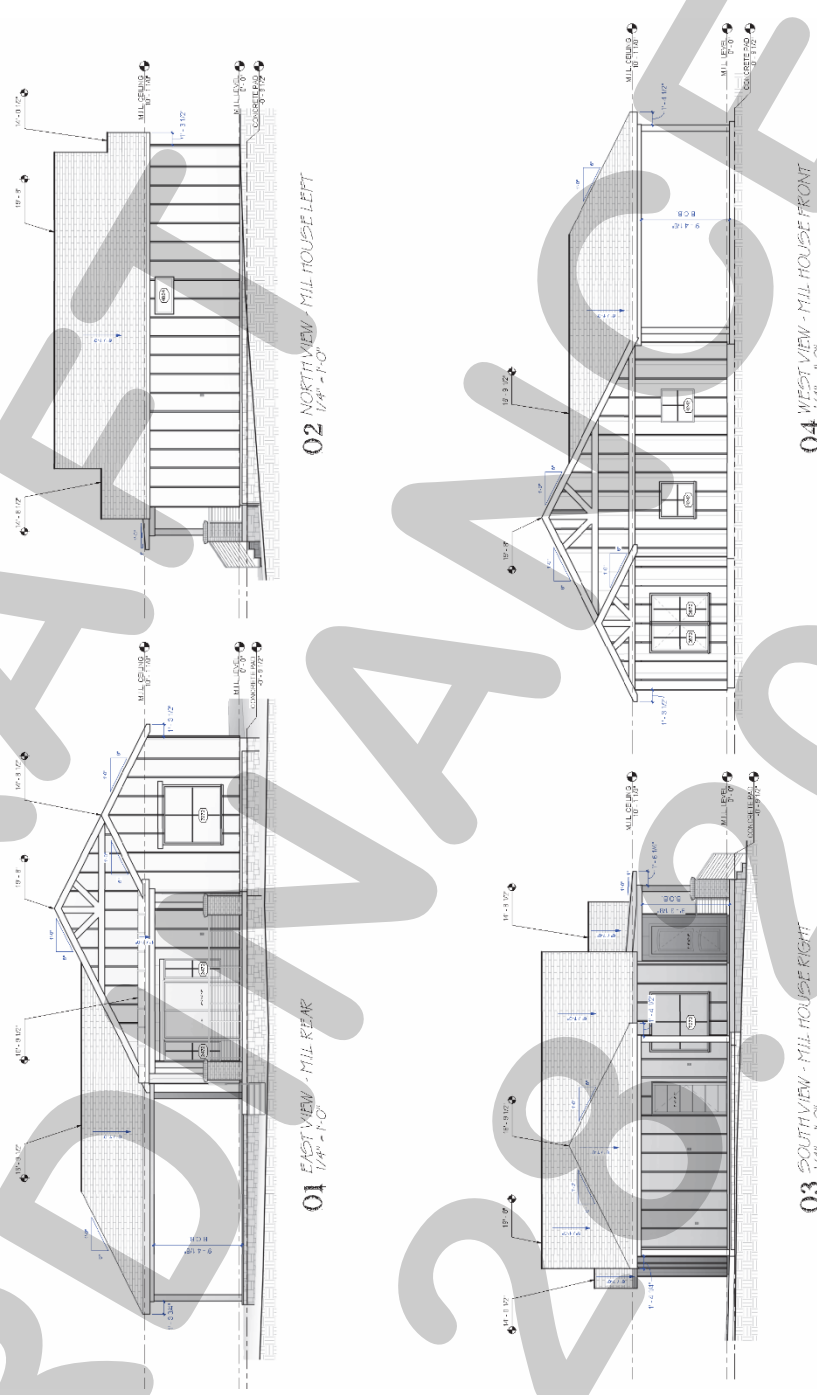


01 SOUTH VIEW - MAIN HOUSE RIGHT
1/4" = 1'-0"



02 EAST VIEW - MAIN HOUSE REAR
1/4" = 1'-0"

Exhibit 'C':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2025

PROJECT NUMBER: Z2025-072
PROJECT NAME: Zoning Change from AG to PD
SITE ADDRESS/LOCATIONS: 3600 S. Goliad Street

CASE CAPTION: Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	10/24/2025	Needs Review

10/24/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2025-072) in the lower right-hand corner of all pages on future submittals.

I.4 Future Land Use Plan. According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the Southwest Residential District and is designated for Commercial/Retail land uses, which are typically considered to be convenience shopping centers and service adjacent residential subdivisions. The proposed developments conformance with the Commercial/Retail will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

I.5 Commercial Goals and Policies. According to the Commercial Goals and Policies contained in the OURHometown Vision 2040 Comprehensive Plan the following is applicable to this zoning request:

(1) CH. 01; Section 02.03; Goal #1 | Policy #3 (Page 1-2). Strip commercial centers should be avoided to encourage development that will not result in a sprawling community.

Staff's Response: The proposed concept plan appears to incorporate a Strip Commercial Center on Lot 2. The concept plan should be changed to be more of a Town Center design that incorporates a mixture of uses as opposed to being a Strip Commercial Center.

(2) CH. 09; Section 02; Goal #1 | Policy #5 (Page 9-1). The City should be proactive in pursuing regional developments at key intersections. This is especially important along S. Goliad Street [SH-205] given that it is a major thoroughfare.

Staff's Response: The proposed plan appears does NOT appear to provide Regional land uses and is currently providing strip retail, offices, and limited light intensity industrial land uses. None of these land uses are considered to be Regional in nature.

(3) CH. 09; Section 02; Goal #1 | Policy #6 (Page 9-1). Developments should incorporate pedestrian elements (i.e. benches, trash receptacles, etc.) at regular intervals to ensure that developments are created to a pedestrian scale.

Staff's Response: Currently, the Planned Development District ordinance does NOT incorporate these elements into the proposed development. This should be incorporated to be better in conformance with the Comprehensive Plan.

(4) CH. 09; Section 02; Goal #2 | Policy #3 (Page 9-2). Shopping centers should incorporate planters, ornamental pots, and landscape beds adjacent to building façades that are visible from streets and open space.

Staff's Response: Currently, the Planned Development District ordinance does NOT incorporate these elements into the proposed development. This should be incorporated to be better in conformance with the Comprehensive Plan.

(5) CH. 09; Section 02; Goal #4 | Policy #1 (Page 9-2). Non-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade.

Staff's Response: The conceptual building elevations provided by the applicant only provide stone for the buildings located on Lot 6 -- while appearing to be 100% masonry -- and do NOT provide stone on any façade for the remaining buildings.

I.6 Permitted Land Uses. Please review the permitted land uses for the General Retail (GR) District and the Commercial (C) District. Staff made changes to the permitted and prohibit land uses in the draft ordinance. These are recommendations, and are subject to change pending your review. Staff should note, the Alcohol Beverage Package Sales land use cannot be included within the ordinance as an Open Option Election would need to be approved. Below is a summary of the land uses that were omitted from the ordinance given that they were already permitted in a Commercial (C) District.

The following land uses were removed because they are already permitted within the Commercial (C) District by-right:

- Animal Clinic for Small Animals without Outdoor Pens
- Daycare with Seven (7) or More Children
- General Personal Service
- Indoor Commercial Amusement/Recreation

M.7 Within the Planned Development District Draft Ordinance staff has broken the property into Subdistrict A and Subdistrict B based on the requested base zoning. Please provide staff an exhibit of each Subdistrict to include in the Draft Ordinance.

M.8 Please update the proposed conceptual building elevations to note that the back side of the parapets must be finished with the same material as the external façade.

M.9 Please clarify where decomposed granite is being proposed.

M.10 Please removed the landscaping from the concept plan.

M.11 Detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs, berms, and accent and canopy trees. There shall be a minimum of one (1) Canopy Tree per 750 SF and one (1) Accent Tree per 1,500 SF of detention area.

M.12 Landscape Buffers. Please review the requirements for landscape buffer along (1) S. Goliad Street, (2) Lofland Circle, and (3) the south property line.

M.13 Please review the requirement staff has included within the Draft Ordinance. These requirements follow the standards contained within the Unified Development Code.

- (1) Utility Placement. All overhead utilities shall be placed underground.
- (2) Loading Docks & Outside Storage. All Loading Docks and Outside Storage area shall be screened from adjacent properties and rights-of-way with three (3) tiered landscaping (i.e. one (1) row of canopy trees, one (1) row of accent trees, and one (1) row of shrubs).
- (3) Dumpster Enclosure. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.
- (4) Variances/Exceptions. Variances and exceptions to the requirements of this ordinance shall be submitted and approved in accordance with the process and procedures set forth in Article 11, Development Applications and Review procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

M.14 Please review the attached draft ordinance prior to the October 28, 2025 Planning & Zoning Commission Work Session meeting, and provide staff with your markups by November 4, 2025. Please carefully read through this document as staff has incorporated changes from what was originally submitted.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 11, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.16 The projected City Council meeting dates for this case will be November 17, 2025 (1st Reading) and December 1, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

10/23/2025: 1. All proposed easements must be minimum 20' wide. Please keep in mind proposed landscape trees and berms cannot be planted within easements. You will need extra room for landscaping.

2. min 425'

3. All proposed easements must be minimum 20' wide. Please keep in mind proposed landscape trees and berms cannot be planted within easements. You will need extra room for landscaping.

4. Install 12" water line and dedicate minimum 20' easement.

5. Must build 24' of City street with 5' sidewalk.

6. We will require approval letter from the gas company for construction on top of this easement when you get to Engineering.

General Items:

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences with easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Show commercial dumpster locations on the site plan. Dumpsters may not directly face a roadway.
- Additional comments may be provided at time of Site Plan and Engineering.
- All roadways shall have a minimum 10' utility easement along ROW.
- TXDOT permits required for utility, drainage, and driveway with ROW of I-30.

- Must have written approval to pave across the gas easement that runs north-south.

Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without a City approved turnaround area.
- All drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- Culverts for driveways (if needed) will need to be engineered.
- City driveway spacing requirements must be met.
- TXDOT permit will be required for the proposed driveway location along SH-205 frontage.
- TXDOT spacing requirements must be met along SH 205 frontage (425' apart)
- Must construct all roadways on the current Master Thoroughfare Plan
- A TIA will be required for both SH 205 and Lofland Circle. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
- Minimum 10' utility easements required along all roadway frontages.
- 5' sidewalk along Lofland Circle and SH 205
- Must dedicate ROW for SH 205 to equal 60' from the centerline of the existing ROW
- Must dedicate ROW for Lofland Circle equal to 30' from centerline of roadway
- Must build a minimum of 24' of concrete will need to be installed for Lofland Circle.
- First driveway on Lofland isn't allowed. Doesn't meet spacing

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Must install off-site sewer
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- All commercial sewer connections must be made by a proposed or existing manhole.
- Min 20' utility easements. No structures allowed in easements
- Sewer is being installed but is off-site. Will need off-site easement.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in an easement.
- City's Master Water plan calls for a 12" water main to run the entire property along Lofland Circle to tie to ex. 16" on the north side of SH 205
- Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- 10' utility easement required along all frontages.
- Possible pro-ratas to be assessed with Engineering (including but limited to \$94.91/acre sewer pro-rata plus \$432.74/acre for existing FM 3097 lift stations)
- Heath's water line is along Lofland Circle. Will need their permission to install paving over.

Drainage Items:

- Existing flow patterns must be maintained.
- Detention must be provided for the entire site. Detention calculations are based on zoning, not land use area.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%. Will need off-site easement for outfall of detention system.
- Detention easement required at the free-board elevation.
- Detention ponds must provide an emergency spillway.
- Detention ponds must be irrigated.

- No vertical walls are allowed in detention easement.
- No public water or sanitary sewer are allowed in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- 100-year WSEL must be called out for detention ponds.
- Detention ponds cannot be located within the 100yr floodplain. Detention must be above the 100yr floodplain elevation where adjacent.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be provided for the 100yr floodplain area.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.
- Flood Study is required if you "touch" the floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Nothing is allowed in the flood plain. No storage included.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved

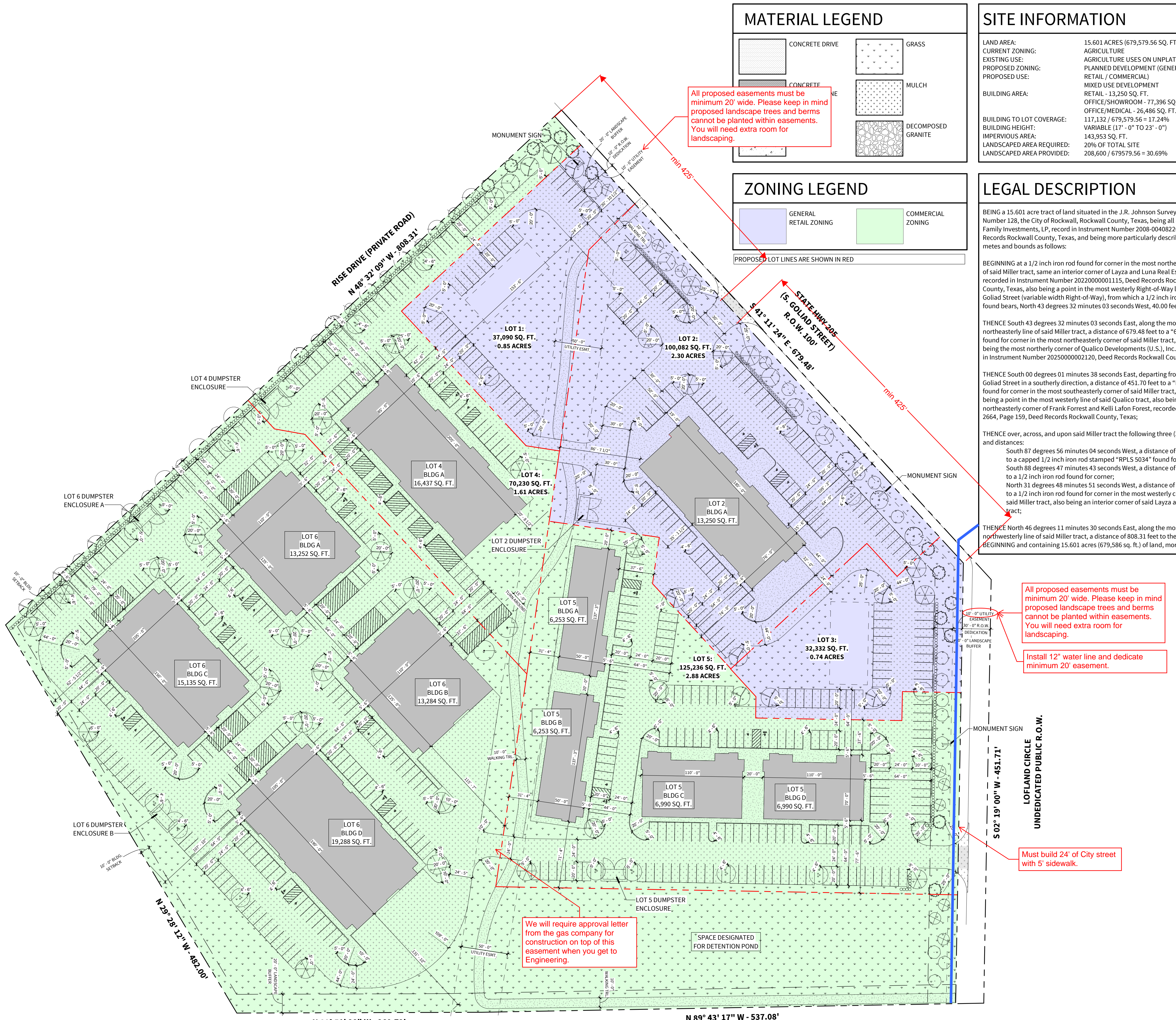
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved

No Comments



All proposed easements must be minimum 20' wide. Please keep in mind proposed landscape trees and berms cannot be planted within easements. You will need extra room for landscaping.

All proposed easements must be minimum 20' wide. Please keep in mind proposed landscape trees and berms cannot be planted within easements. You will need extra room for landscaping.

Install 12" water line and dedicate minimum 20' easement.

Must build 24' of City street with 5' sidewalk.

We will require approval letter from the gas company for construction on top of this easement when you get to Engineering.

- General Items:**
- Must meet City's 2023 Standards of Design and Construction Manual
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer & Roadway)
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18' or taller) must be rock, stone, or stone face. No smooth concrete walls.
 - No signage is allowed within easements or ROW.
 - No structures or fences with easements.
 - Tree mitigation will be required for the removal of any existing trees on site.
 - All utilities must be underground.
 - Show commercial dumpster locations on the site plan. Dumpsters may not directly face a roadway.
 - Additional comments may be provided at time of Site Plan and Engineering.
 - All roadways shall have a minimum 10' utility easement along ROW.
 - TXDOT permits required for utility, drainage, and driveway with ROW of 1-30.
 - Must have written approval to pave across the gas easement that runs north-south.

- Roadway Paving Items:**
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)
 - All Parking to be 20'x9' minimum.
 - No dead-end parking allowed without a City approved turnaround area.
 - All drive aisles to be 24' wide.
 - Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Fire lane (if needed) to be in a platted easement.
 - Culverts for driveways (if needed) will need to be engineered.
 - City driveway spacing requirements must met.
 - TXDOT permit will be required for the proposed driveway location along SH-205 frontage.
 - TXDOT spacing requirements must be met along SH 205 frontage (425' apart)
 - Must construct all roadways on the current Master Thoroughfare Plan
 - A TIA will be required for both SH 205 and Lofland Circle. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
 - Minimum 10' utility easements required along all roadway frontages.
 - 5' sidewalk along Lofland Circle and SH 205
 - Must dedicate ROW for SH 205 to equal 60' from the centerline of the existing ROW
 - Must dedicate ROW for Lofland Circle equal to 30' from centerline of roadway
 - Must build a minimum of 24' of concrete will need to be installed for Lofland Circle.
 - First driveway on Lofland isn't allowed. Doesn't meet spacing

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Must install off-site sewer
 - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - All commercial sewer connections must be made by a proposed or existing manhole.
 - Min 20' utility easements. No structures allowed in easements
 - Sewer is being installed but is off-site. Will need off-site easement.
 - Water to be 10' separated from storm and sewer lines.
 - All public utilities must be centered in an easement.
 - City's Master Water plan calls for a 12" water main to run the entire property along Lofland Circle to tie to ex. 16" on the north side of SH 205
 - Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
 - Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
 - Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
 - 10' utility easement required along all frontages.
 - Possible pro-ratas to be assessed with Engineering (including but limited to \$94.91/acre sewer pro-rata plus \$432.74/acre for existing FM 3097 lift stations)
 - Heath's water line is along Lofland Circle. Will need their permission to install paving over.

- Drainage Items:**
- Existing flow patterns must be maintained.
 - Detention must be provided for the entire site. Detention calculations are based on zoning, not land use area.
 - Detention pond max side slope of 4:1 with a minimum bottom slope of 1%. Will need off-site easement for outfall of detention system.
 - Detention easement required at the free-board elevation.
 - Detention ponds must provide an emergency spillway.
 - Detention ponds must be irrigated.
 - No vertical walls are allowed in detention easement.
 - No public water or sanitary sewer are allowed in detention easement.
 - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
 - No grate inlets allowed.
 - FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
 - 100-year WSEL must be called out for detention ponds.
 - Detention ponds cannot be located within the 100yr floodplain. Detention must be above the 100yr floodplain elevation where adjacent.
 - Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
 - Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
 - Must show and meet erosion hazard setback for all creeks/streams.
 - Drainage easement/erosion hazard setback easement shall be provided for the 100yr floodplain area.
 - Dumpster areas shall drain to an oil/water separator and then into the storm system.
 - Flood Study is required if you "touch" the floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
 - Nothing is allowed in the flood plain. No storage included.

- Landscaping:**
- No trees to be with 10' of any public water, sewer, or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape berms or tree plantings to be located on top of City utilities or within easements.

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

THIS REVIEW SHEET AND ANY COMMENTS ARE NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION PURPOSES

ARCHITECT:
 JUSTIN S. GILMORE
 LEVEL 5 ARCHITECTURE



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3600 S Goliad St, Rockwall, TX 75032

SUBDIVISION A0128 J R JOHNSON

LOT

BLOCK

GENERAL LOCATION Across the street from Springer Elementary School

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agriculture & Commercial

CURRENT USE Vacant

PROPOSED ZONING Planned Development

PROPOSED USE Mixed Use

ACREAGE 15.601

LOTS [CURRENT]

1

LOTS [PROPOSED]

5-6

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Gardner Land Holdings LLC

APPLICANT Gardner Land Holdings LLC

CONTACT PERSON Bart Gardner

CONTACT PERSON James Martin

ADDRESS 15950 SH 205

ADDRESS 15950 SH 205

CITY, STATE & ZIP Terrell, Texas 75160

CITY, STATE & ZIP Terrell, Texas 75160

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

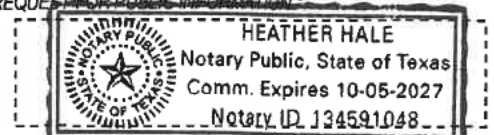
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BART GARDNER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 134.02 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF OCTOBER, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

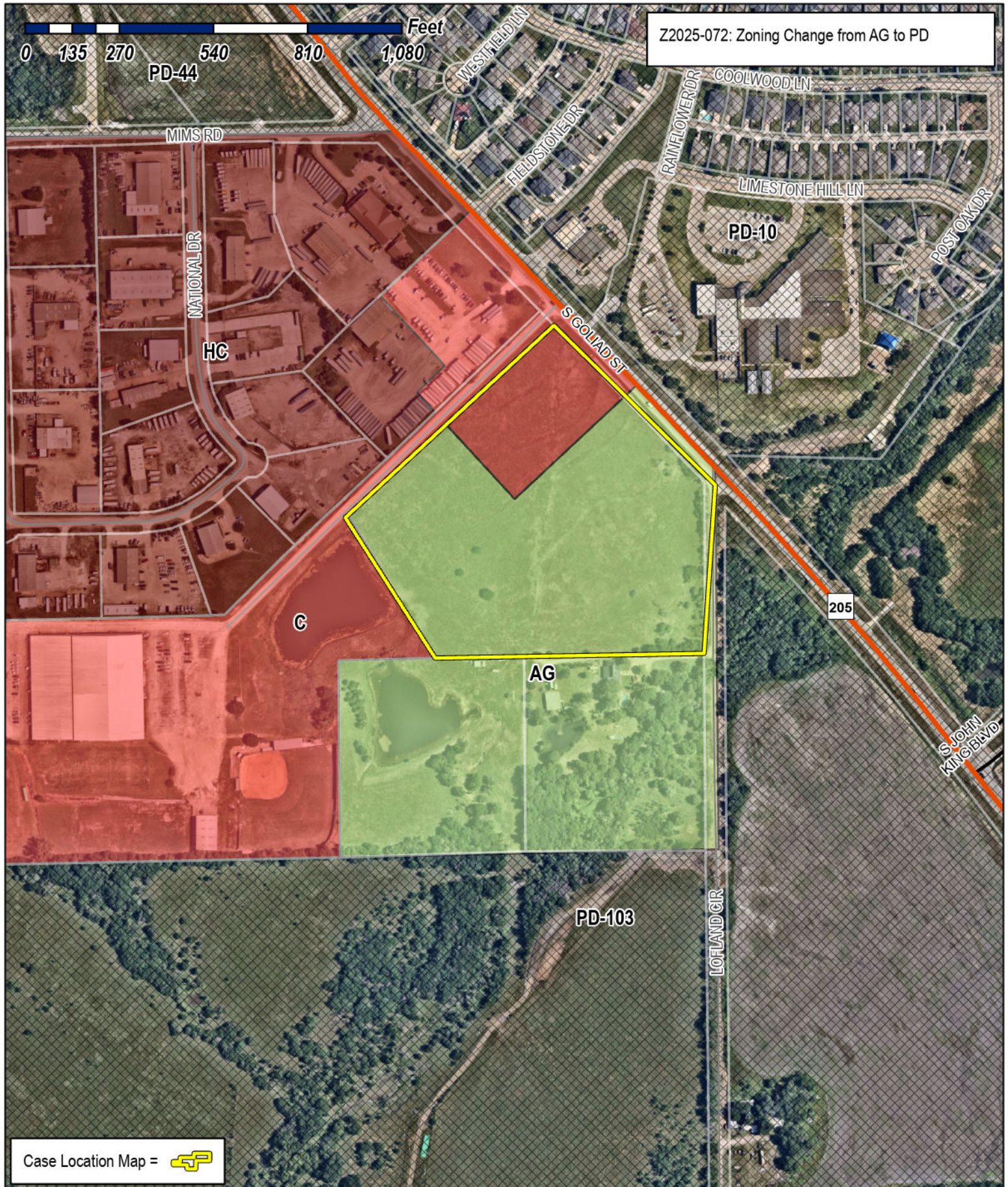
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF October, 2025.

OWNER'S SIGNATURE X

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 10-05-2027



Z2025-072: Zoning Change from AG to PD

0 135 270 540 810 1,080 Feet

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

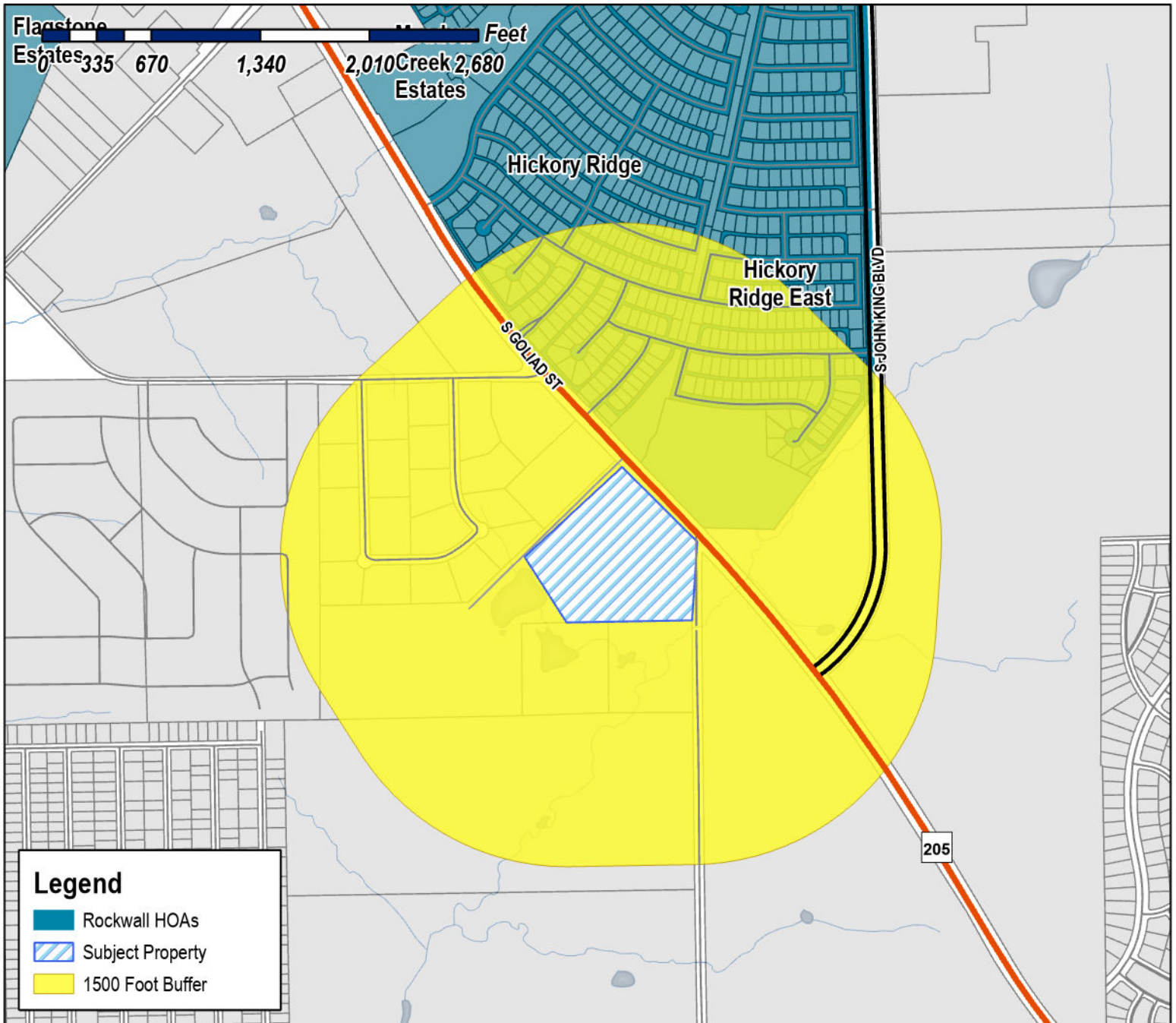




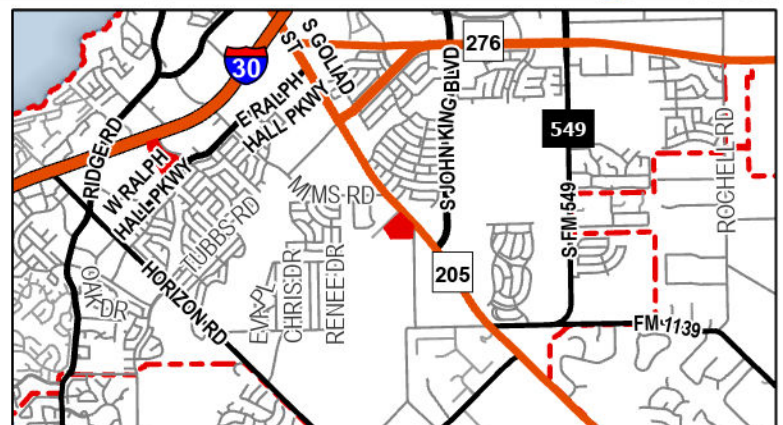
City of Rockwall

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Case Number: Z2025-072
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 3600 S. Goliad Street



Date Saved: 10/18/2025

For Questions on this Case Call (972) 771-7745

From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)
Subject: Neighborhood Notification Program [Z2025-072]
Date: Wednesday, October 22, 2025 12:39:48 PM
Attachments: [Public Notice \(10.20.2025\).pdf](#)
[HOA Map \(10.18.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, October 24, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, November 11, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, November 17, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-072: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a [Zoning Change](#) from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.

Thank you,

Melanie Zavala

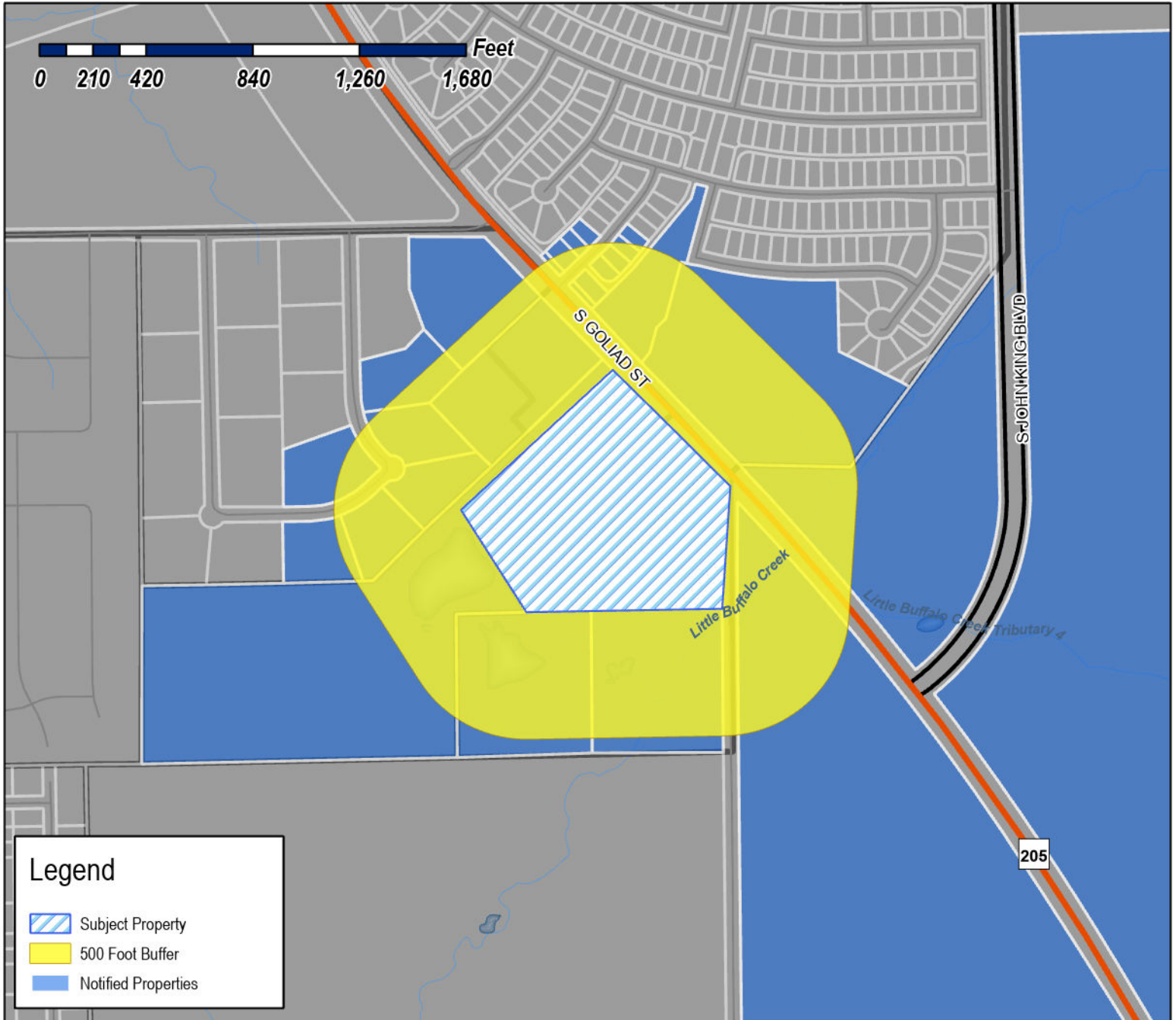
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-072
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 3600 S. Goliad Street

Date Saved: 10/18/2025
 For Questions on this Case Call: (972) 771-7745



RESIDENT
HWY205/FIELDSTONE
ROCKWALL, TX 75032

JONES MICHAEL
125 Deverson Dr
Rockwall, TX 75087

ZIYADEH MUNEEER R ABU
1490 FIELDSTONE DR
ROCKWALL, TX 75032

REYES JULIO CESAR & URANIA S
1491 FIELDSTONE DR
ROCKWALL, TX 75032

CONFIDENTIAL
1500 FIELDSTONE DR
ROCKWALL, TX 75032

NICKERSON TELISA A
1501 FIELDSTONE DR
ROCKWALL, TX 75032

KROLL MONTY R
1506 FIELDSTONE DR
ROCKWALL, TX 75032

RESIDENT
1507 FIELDSTONE DR
ROCKWALL, TX 75032

CRUZET MARIE FLOR
1512 FIELDSTONE DR
ROCKWALL, TX 75032

AUTENCIO ROSELYN P & PHILIP
1518 FIELDSTONE DR
ROCKWALL, TX 75032

NXG SERVICES LLC
1520 Bell Haven Ct
Rockwall, TX 75032

MILLER FAMILY INVESTMENT LP
17430 Campbell Rd Ste 230
Dallas, TX 75252

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 Preston Park Blvd Ste 101
Plano, TX 75093

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 Preston Park Blvd Ste 101
Plano, TX 75093

RESIDENT
227 NATIONAL DR
ROCKWALL, TX 75032

RESIDENT
2890 S GOLIAD
ROCKWALL, TX 75032

RESIDENT
2890 S GOLIAD
ROCKWALL, TX 75032

RESIDENT
291 NATIONAL DR
ROCKWALL, TX 75032

RESIDENT
2915 S GOLIAD
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
2922 S GOLIAD ST
ROCKWALL, TX 75032

RESIDENT
3025 LIMESTONE HILL LN
ROCKWALL, TX 75032

RESIDENT
311 NATIONAL DR
ROCKWALL, TX 75032

EPES TRANSPORT SYSTEM LLC
3400 EDGEFIELD CT
GREENSBORO, NC 27408

RESIDENT
355 NATIONAL DR
ROCKWALL, TX 75032

RESIDENT
368 NATIONAL DR
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON
3808 LOFLAND CIR
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON
3808 LOFLAND CIR
ROCKWALL, TX 75032

RESIDENT
381 NATIONAL DR
ROCKWALL, TX 75032

HPLI LLC
3820 AZURE LN
ADDISON, TX 75001

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

GADDIS ROY F FAMILY TRUST
ROY F GADDIS TRUSTEE
6 BRIGHT MEADOWS ROAD
HEATH, TX 75032

QUALICO DEVELOPMENTS US INC
6950 Tpc Dr Ste 150 2 GREENSIDE AT CRAIG
RANCH
McKinney, TX 75070

GROUP 1 REALTY INC
730 Town and Country Blvd Ste 500
Houston, TX 77024

D & A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

TJT INVESTMENT TRUST
JAMES DWAIN POWERS & PATRICIA ANNETTE
POWERS - CO-TRUSTEES
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-072: Zoning Change from AG and C to PD

Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-072: Zoning Change from AG and C to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLANNED DEVELOPMENT (PD) NARRATIVE

Project Name: The Exchange at Rockwall

Location: 3600 S. Goliad St., Rockwall, Texas 75032

Applicant/Developer: Gardner Construction / ConTex Development Partners

Architect: Level 5 Architecture

Date: October 17, 2025

1. Purpose and Intent

This Planned Development (PD) District establishes a unified regulatory framework for a mixed-use project incorporating **General Retail (GR)** and **Commercial (C)** uses across approximately **15.6 acres**.

The PD is designed to accommodate a complementary mix of neighborhood-oriented retail and commercial uses consistent with the vision for the **S. Goliad / SH-205 corridor**. The development provides flexibility for phased implementation while maintaining cohesive design and operational standards.

PD Objectives:

- Create a neighborhood-friendly environment with retail and service uses that complement adjacent development.
- Establish a smooth land-use transition from retail frontage to commercial uses to the rear of the site.
- Allow flexibility for individual lot development, marketing, or sale under unified design controls.
- Promote high-quality architecture, landscaping, and coordinated site circulation.

2. Purpose and Compatibility Statement

The proposed PD is consistent with the City of Rockwall Comprehensive Plan and supports the City's long-term vision for balanced commercial growth along the SH-205 corridor.

Key Compatibility Elements:

- **Land Use Integration:** Creates a logical transition between retail, neighborhood commercial, and employment uses.

- **Economic Diversity:** Expands the City's tax base through a mix of general retail, office, and flexible commercial space.
- **Enhanced Design Standards:** Incorporates architectural and landscape features that exceed base zoning requirements to enhance corridor aesthetics.
- **Coordinated Access:** Reduces vehicular conflicts through shared drives, internal circulation, and integrated parking.
- **Adaptable Framework:** Supports evolving market demand while maintaining a cohesive architectural identity.

Collectively, this PD establishes a high-quality and compatible development pattern that complements existing and planned uses within the corridor.

3. Development Summary

<u>Lot</u>	<u>Acreage / SF</u>	<u>Building SF</u>	<u>Primary Use</u>	<u>District</u>	<u>Ownership Strategy</u>
1	0.85 ac / 37,090 SF	TBD	Retail Pad Site	GR	Sell as pad site
2	2.30 ac / 100,082 SF	13,250 SF	Multi-Tenant Retail Center	GR	Build and lease
3	0.74 ac / 32,332 SF	TBD	Retail Pad Site	GR	Sell as pad site
4	1.61 ac / 70,230 SF	16,437 SF	Various Commercial Uses	C	Build and lease
5	2.88 ac / 125,236 SF	26,486 SF	Office / Professional	C	Build and lease or sell
6	6.77 ac / 294,694 SF	60,977 SF	Various Commercial Uses	C	Build and lease

Total 15.6 ac / 679,000 SF ~117,000 SF

4. PD Summary and Permitted Use Matrix

The PD consists of two sub-districts to promote clarity and compatibility:

1. Sub-District 1: General Retail (Lots 1-3)
 - a. Uses shall conform to the City of Rockwall UDC with the following additional "Permitted by Right" uses to enhance neighborhood accessibility and support local demand:
 - i. Restaurant (less than 2,000 SF) with Drive-Through or Drive-In
 - ii. Restaurant (2,000 SF or more) with Drive-Through or Drive-In
 - b. These additions provide convenient dining options for nearby residents without increasing traffic along the I-30 corridor.
2. Sub-District 2: Commercial (Lots 4-6)
 - a. Uses shall conform to the City of Rockwall UDC with the following additional "Permitted by Right" uses to align with modern commercial demand for small and mid-sized business tenants:
 - i. Animal Clinic (Small Animals, no outdoor pens)
 - ii. Daycare (7 or more children)
 - iii. Indoor Commercial Amusement / Recreation
 - iv. Alcoholic Beverage Package Sales
 - v. General Personal Services
 - vi. Building & Landscape Material Sales (Limited Outdoor Storage)
 - vii. Wholesale Showroom Facility
 - viii. Light Assembly & Fabrication (*from Light Industrial District*)
 - ix. Light Manufacturing (*from Light Industrial District*)
 - x. Machine Shop (*from Light Industrial District*)
 - b. These uses support a balanced employment base and flexible commercial environment responsive to market needs.

5. Development Standards

Final PD standards, including setbacks, height, parking, access, landscaping, lighting, and signage, will be defined in coordination with City staff and documented within the PD ordinance. The intent is to maintain consistency with the City's design framework while providing flexibility for site-specific solutions.

6. PD Exhibits

1. Zoning and Site Plan Schematic
2. Legal Description
3. Elevations and Floor Plans
4. Landscape and Treescape Plans
5. Lighting Plan

7. Summary Statement

The Exchange at Rockwall establishes a high-quality, flexible development framework that enhances the S. Goliad / SH-205 corridor through compatible retail, office, and light commercial uses unified by cohesive design standards. The PD provides a predictable outcome for the City while offering developers the flexibility to respond to evolving tenant and market demand.

LAND DESCRIPTION

BEING a 15.601 acre tract of land situated in the J.R. Johnson Survey, Abstract Number 128, the City of Rockwall, Rockwall County, Texas, being all of Miller Family Investments, LP, record in Instrument Number 2008-00408220, Deed Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for corner in the most northerly corner of said Miller tract, same an interior corner of Layza and Luna Real Estate, LLC, recorded in Instrument Number 20220000001115, Deed Records Rockwall County, Texas, also being a point in the most westerly Right-of-Way line of Goliad Street (variable width Right-of-Way), from which a 1/2 inch iron rod found bears, North 43 degrees 32 minutes 03 seconds West, 40.00 feet;

THENCE South 43 degrees 32 minutes 03 seconds East, along the most northeasterly line of said Miller tract, a distance of 679.48 feet to a "60D" Nail found for corner in the most northeasterly corner of said Miller tract, same being the most northerly corner of Qualico Developments (U.S.), Inc., recorded in Instrument Number 20250000002120, Deed Records Rockwall County, Texas;

THENCE South 00 degrees 01 minutes 38 seconds East, departing from said Goliad Street in a southerly direction, a distance of 451.70 feet to a "Mag" Nail found for corner in the most southeasterly corner of said Miller tract, same being a point in the most westerly line of said Qualico tract, also being the most northeasterly corner of Frank Forrest and Kelli Lafon Forest, recorded in Volume 2664, Page 159, Deed Records Rockwall County, Texas;

THENCE over, across, and upon said Miller tract the following three (3) courses and distances:

South 87 degrees 56 minutes 04 seconds West, a distance of 537.08 feet to a capped 1/2 inch iron rod stamped "RPLS 5034" found for corner;

South 88 degrees 47 minutes 43 seconds West, a distance of 260.79 feet to a 1/2 inch iron rod found for corner;

North 31 degrees 48 minutes 51 seconds West, a distance of 482.00 feet to a 1/2 inch iron rod found for corner in the most westerly corner of said Miller tract, also being an interior corner of said Layza and Luna tract;

THENCE North 46 degrees 11 minutes 30 seconds East, along the most northwesterly line of said Miller tract, a distance of 808.31 feet to the POINT OF BEGINNING and containing 15.601 acres (679,586 sq. ft.) of land, more or less.

MATERIAL LEGEND

	CONCRETE DRIVE		GRASS
	CONCRETE DRIVE: FIRE LANE		MULCH
	CONCRETE SIDEWALK		DECOMPOSED GRANITE

ZONING LEGEND

	GENERAL RETAIL ZONING		COMMERCIAL ZONING
--	-----------------------	--	-------------------

PROPOSED LOT LINES ARE SHOWN IN RED

SITE INFORMATION

LAND AREA:	15.601 ACRES (679,579.56 SQ. FT.)
CURRENT ZONING:	AGRICULTURE
EXISTING USE:	AGRICULTURE USES ON UNPLATTED LAND
PROPOSED ZONING:	PLANNED DEVELOPMENT (GENERAL RETAIL / COMMERCIAL)
PROPOSED USE:	MIXED USE DEVELOPMENT
BUILDING AREA:	RETAIL - 13,250 SQ. FT. OFFICE/SHOWROOM - 77,396 SQ. FT. OFFICE/MEDICAL - 26,486 SQ. FT. 117,132 / 679,579.56 = 17.24%
BUILDING TO LOT COVERAGE:	VARIABLE (17' - 0" TO 23' - 0")
BUILDING HEIGHT:	143,953 SQ. FT.
IMPERVIOUS AREA:	20% OF TOTAL SITE
LANDSCAPED AREA REQUIRED:	208,600 / 679,579.56 = 30.69%
LANDSCAPED AREA PROVIDED:	

LEGAL DESCRIPTION

BEING a 15.601 acre tract of land situated in the J.R. Johnson Survey, Abstract Number 128, the City of Rockwall, Rockwall County, Texas, being all of Miller Family Investments, LP, record in Instrument Number 2008-00408220, Deed Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

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THENCE South 00 degrees 01 minutes 38 seconds East, departing from said Goliad Street in a southerly direction, a distance of 451.70 feet to a "Mag" Nail found for corner in the most southeasterly corner of said Miller tract, same being a point in the most westerly line of said Qualico tract, also being the most northeasterly corner of Frank Forrest and Kelli Lafon Forest, recorded in Volume 2664, Page 159, Deed Records Rockwall County, Texas;

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THENCE North 46 degrees 11 minutes 30 seconds East, along the most northwesterly line of said Miller tract, a distance of 808.31 feet to the POINT OF BEGINNING and containing 15.601 acres (679,586 sq. ft.) of land, more or less.

LOT 1 PAD SITE PARKING COUNT

SPACE TYPE	PARKING RATIO	SQUARE FOOTAGE	REQUIRED PARKING COUNT	PROVIDED PARKING
LOT 1 PAD SITE - 9' x 20'				32
TOTAL				32

LOT 2 BUILDING A PARKING COUNT

SPACE TYPE	PARKING RATIO	SQUARE FOOTAGE	REQUIRED PARKING COUNT	PROVIDED PARKING
RETAIL STD. - 9' x 20'	1:150	13250	89	90
RETAIL ACCESSIBLE- 9' x 20'			3	3
RETAIL ACCESSIBLE- 9' x 20' VAN 2			1	1
TOTAL			93	94

LOT 3 PAD SITE PARKING COUNT

SPACE TYPE	PARKING RATIO	SQUARE FOOTAGE	REQUIRED PARKING COUNT	PROVIDED PARKING
LOT 3 PAD SITE - 9' x 20'				30
TOTAL				30

LOT 4 BUILDING A PARKING COUNT

SPACE TYPE	PARKING RATIO	SQUARE FOOTAGE	REQUIRED PARKING COUNT	PROVIDED PARKING
OFFICE/SHOWROOM E STD. - 9' x 20'	1:300	16437	55	67
OFFICE/SHOWROOM E ACCESSIBLE- 9' x 20' 2			2	2
OFFICE/SHOWROOM E ACCESSIBLE- 9' x 20' VAN 2			1	1
TOTAL			58	70

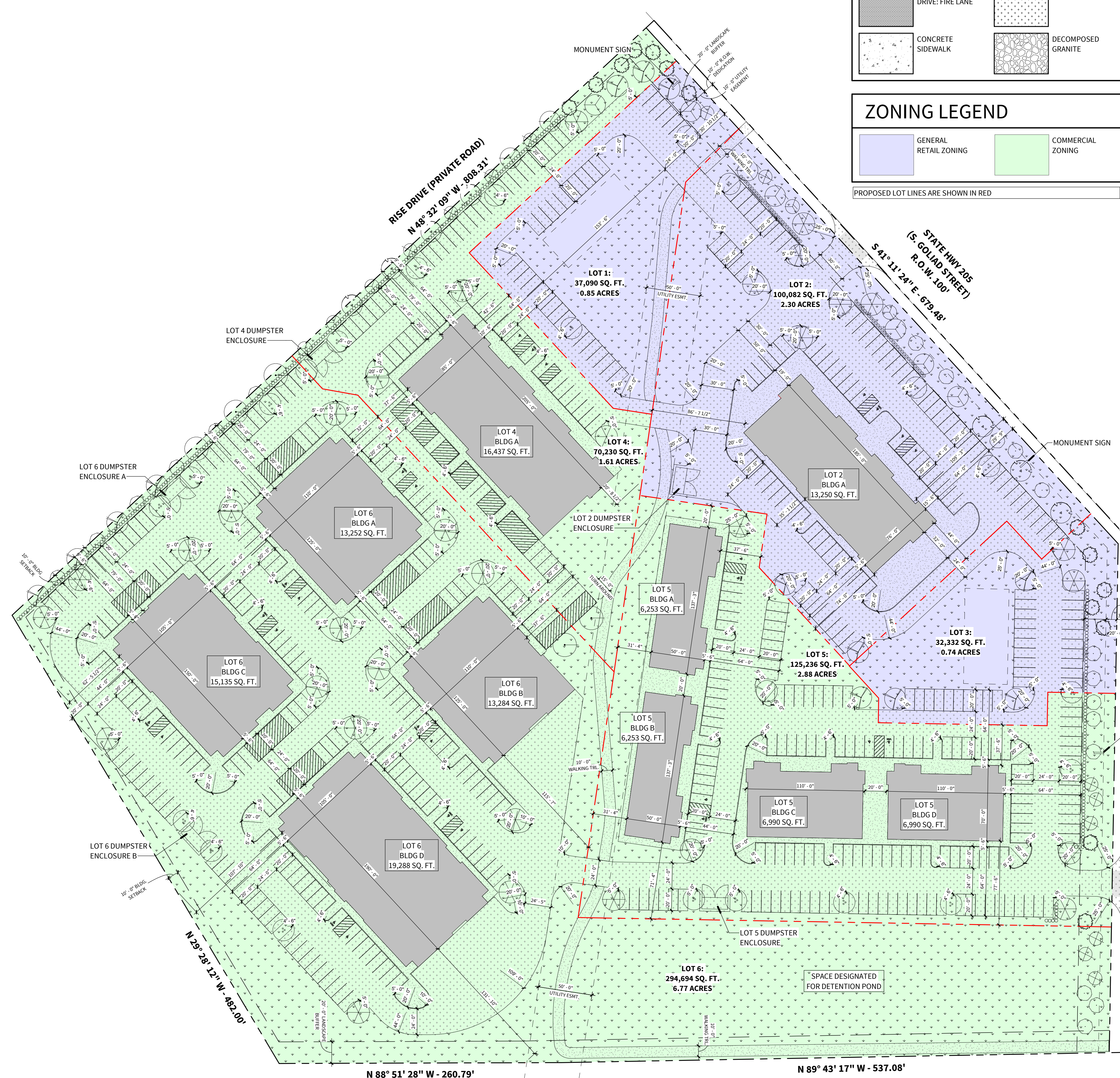
LOT 5 BUILDING'S A THRU D PARKING COUNT

SPACE TYPE	PARKING RATIO	SQUARE FOOTAGE	REQUIRED PARKING COUNT	PROVIDED PARKING
OFFICE/MEDICAL STD. - 9' x 20'	1:200	26486	133	143
OFFICE/MEDICAL ACCESSIBLE- 9' x 20'			4	3
OFFICE/MEDICAL ACCESSIBLE- 9' x 20' VAN			1	3
TOTAL			138	149

LOT 6 BUILDING'S A THRU D PARKING COUNT

SPACE TYPE	PARKING RATIO	SQUARE FOOTAGE	REQUIRED PARKING COUNT	PROVIDED PARKING
OFFICE/SHOWROOM A-D STD. - 9' x 20'	1:300	60959	204	190
OFFICE/SHOWROOM A-D ACCESSIBLE- 9' x 20'			6	7
OFFICE/SHOWROOM A-D ACCESSIBLE- 9' x 20' VAN			1	7
TOTAL			211	204

LOT 1 & 3 PAD SIGHTS ARE FOR FUTURE DEVELOPMENT; WHILE PARKING WAS PROVIDED WE HAVE NOT PROVIDED ANY HANDICAPPED PARKING ON THE PLANS DUE TO NOT KNOWING WHAT THE DESIGN OF THESE BUILDING WOULD ENTAIL. HC PARKING WILL BE ADDED BY DURING CONSTRUCTION AT THE LOCATION THAT IS BEST SUITED FOR THE STRUCTURE DESIGNED



PROJECT INFORMATION
 THE EXCHANGE AT ROCKWALL
 3600 S. GOLIAD STREET
 ROCKWALL, TX 75032
 CASE NUMBER:

OWNER INFORMATION
 GARDNER LAND HOLDING LLC
 15950 SH 205
 TERRELL, TX 75160
 214.675.4435

DEVELOPER INFORMATION
 CONTEX DEVELOPMENT PARTNERS
 15950 SH 205
 TERRELL, TX 75160
 214.675.4435

APPROVED:
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WITNESS OUR HANDS, this ___ day of ___, 2025.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

LEVEL

5

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ARCHITECT:
 JUSTIN S. GILMORE
 LEVEL 5 ARCHITECTURE



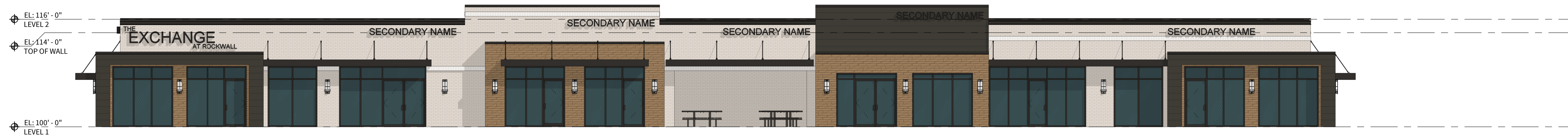
④ NORTHWEST ELEVATION - LOT 2 BUILDING A
SCALE: 1/8" = 1'-0"



③ SOUTHEAST ELEVATION - LOT 2 BUILDING A
SCALE: 1/8" = 1'-0"



② SOUTHWEST ELEVATION - LOT 2 BUILDING A
SCALE: 1/8" = 1'-0"



① NORTHEAST ELEVATION - LOT 2 BUILDING A
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND			
FIELD BRICK	ACCENT BRICK	LEUDER STONE	WOOD LOOK FIBER CEMENT SIDING
ACM PANEL	CAST STONE	RAL PAINT	

MATERIALS CALCULATIONS			
ORIENTATION	MATERIAL	AREA	%
NORTHEAST (FRONT)			
NORTHEAST (FRONT)	BRICK	1109	40
NORTHEAST (FRONT)	GLAZING	1008	36
NORTHEAST (FRONT)	METAL PANEL	329	12
NORTHEAST (FRONT)	SIDING	337	12
		2783	
NORTHWEST (RIGHT)			
NORTHWEST (RIGHT)	BRICK	476	43
NORTHWEST (RIGHT)	GLAZING	375	34
NORTHWEST (RIGHT)	METAL PANEL	256	0%
NORTHWEST (RIGHT)	SIDING	0	23
		1107	
SOUTHEAST (LEFT)			
SOUTHEAST (LEFT)	BRICK	476	43
SOUTHEAST (LEFT)	GLAZING	375	34
SOUTHEAST (LEFT)	METAL PANEL	256	0
SOUTHEAST (LEFT)	SIDING	0	23
		1107	
SOUTHWEST (REAR)			
SOUTHWEST (REAR)	BRICK	1372	53
SOUTHWEST (REAR)	DOORS	147	6
SOUTHWEST (REAR)	METAL PANEL	79	3
SOUTHWEST (REAR)	SIDING	979	38
		2577	



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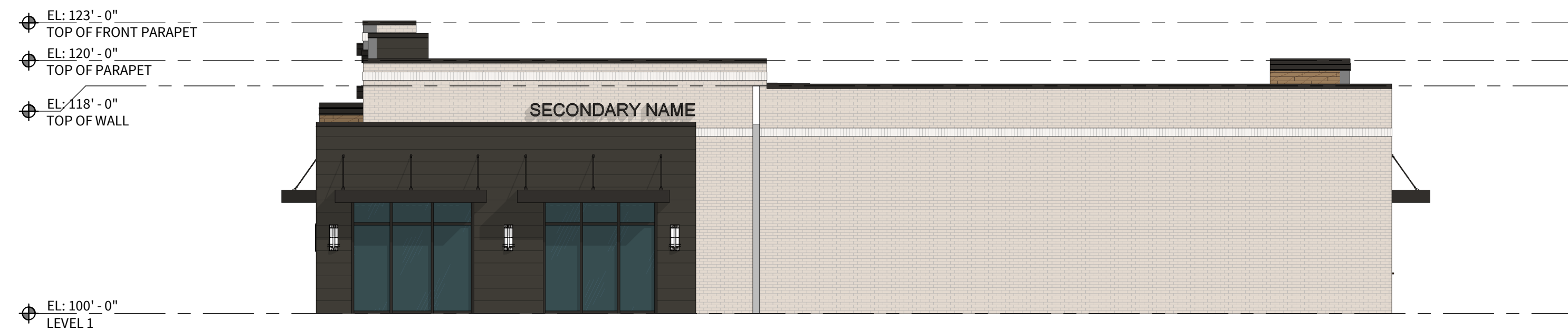
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WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

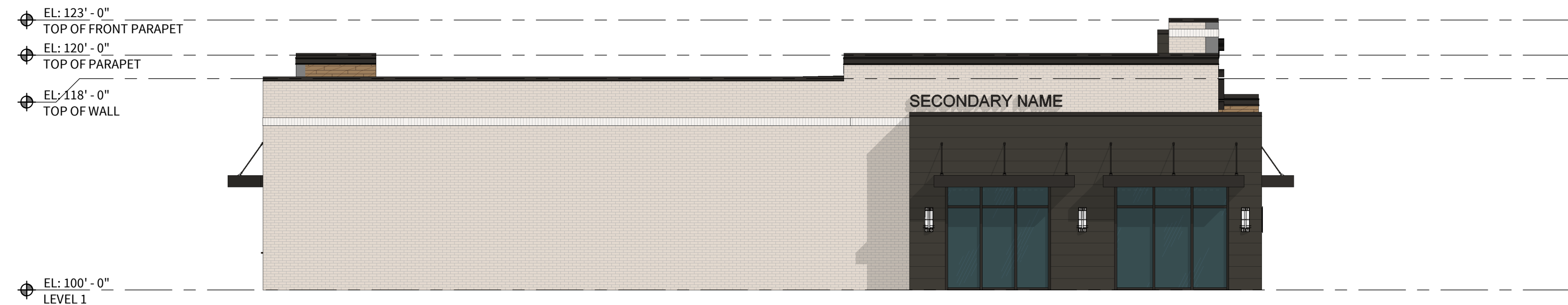
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LEVEL 5 ARCHITECTURE



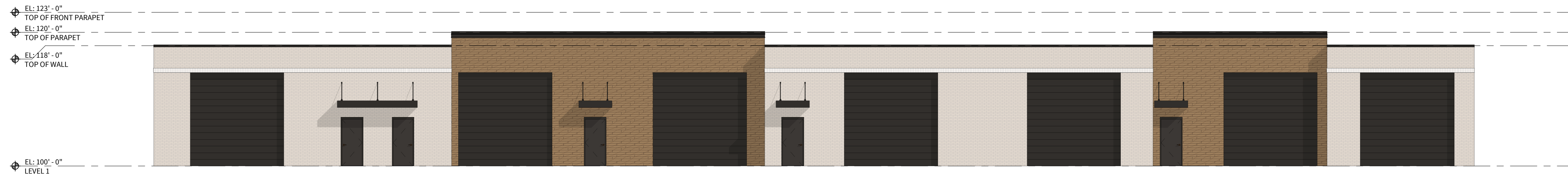
③ NORTHWEST ELEVATION - LOT 4 BUILDING A

SCALE: 1/8" = 1'-0"



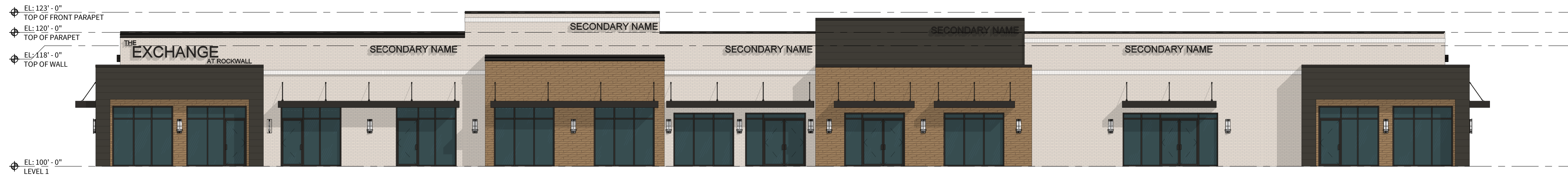
④ SOUTHEAST ELEVATION - LOT 4 BUILDING A

SCALE: 1/8" = 1'-0"



② SOUTHWEST ELEVATION - LOT 4 BUILDING A

SCALE: 1/8" = 1'-0"



① NORTHEAST ELEVATION - LOT 4 BUILDING A

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND			
FIELD BRICK	ACCENT BRICK	LEUDER STONE	WOOD LOOK FIBER CEMENT SIDING
ACM PANEL	CAST STONE	RAL PAINT	

MATERIALS CALCULATIONS			
ORIENTATION	MATERIAL	AREA	%
NORTHEAST (FRONT)			
NORTHEAST (FRONT)	BRICK	1776	44
NORTHEAST (FRONT)	GLAZING	1049	26
NORTHEAST (FRONT)	METAL PANEL	534	14
NORTHEAST (FRONT)	SIDING	636	16
		3995	
NORTHWEST (RIGHT)			
NORTHWEST (RIGHT)	BRICK	1123	73
NORTHWEST (RIGHT)	GLAZING	164	10
NORTHWEST (RIGHT)	METAL PANEL	256	17
		1543	
SOUTHEAST (LEFT)			
SOUTHEAST (LEFT)	BRICK	1123	73
SOUTHEAST (LEFT)	GLAZING	164	10
SOUTHEAST (LEFT)	METAL PANEL	256	17
		1543	
SOUTHWEST (REAR)			
SOUTHWEST (REAR)	BRICK	1347	37
SOUTHWEST (REAR)	DOORS	1495	42
SOUTHWEST (REAR)	SIDING	755	21
		3597	



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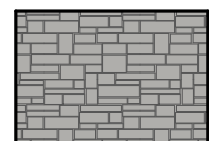
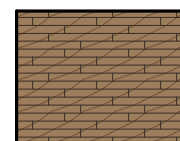
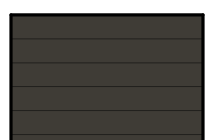


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CONTEX DEVELOPMENT PARTNERS
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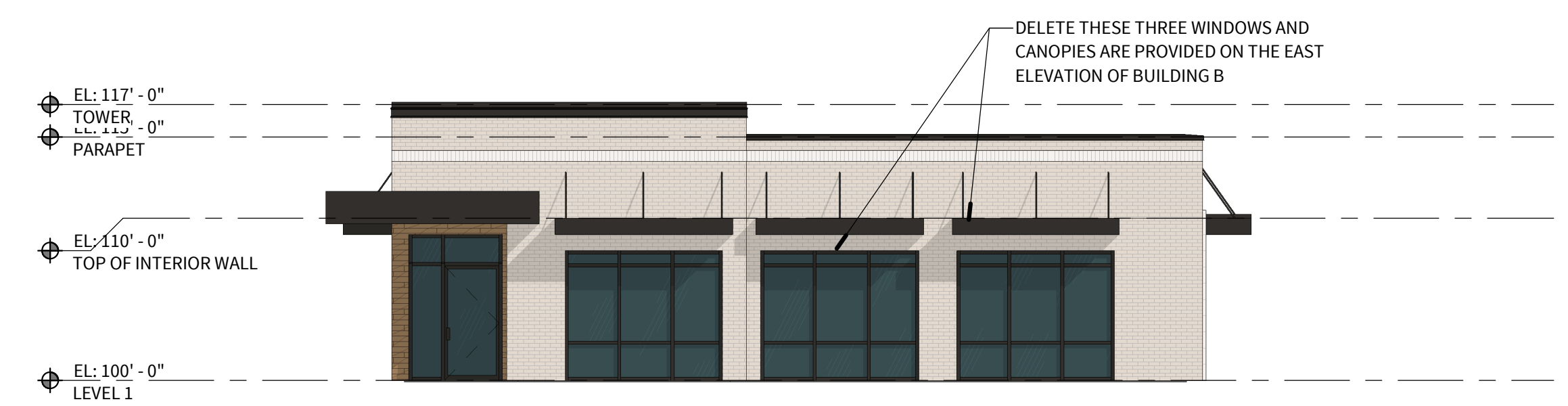
Planning & Zoning Commission, Chairman Director of Planning and Zoning

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ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 ARCHITECTURE

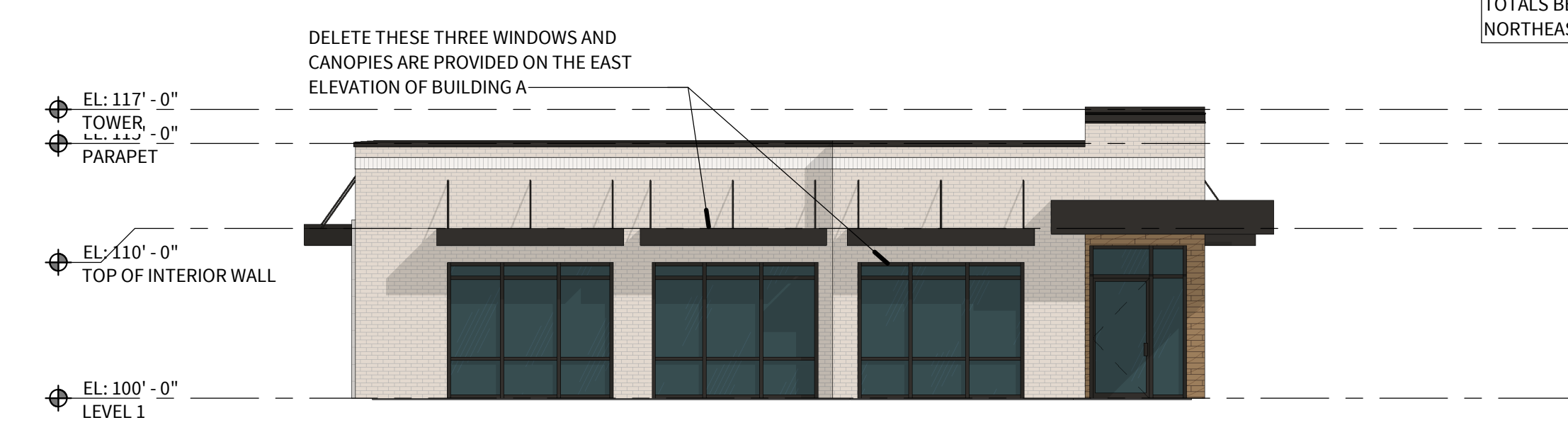
MATERIAL LEGEND			
			
FIELD BRICK	ACCENT BRICK	LEUDER STONE	WOOD LOOK FIBER CEMENT SIDING
			
ACM PANEL	CAST STONE	RAL PAINT	

MATERIALS CALCULATIONS			
ORIENTATION	MATERIAL	AREA	%
NORTHEAST (LEFT)			
NORTHEAST (LEFT)	BRICK	461	60
NORTHEAST (LEFT)	GLAZING	286	38
NORTHEAST (LEFT)	SIDING	16	2
		763	
NORTHWEST (REAR)			
NORTHWEST (REAR)	BRICK	1626	83
NORTHWEST (REAR)	DOORS	72	2
NORTHWEST (REAR)	GLAZING	240	12
NORTHWEST (REAR)	STONE	56	3
		1994	
SOUTHEAST (FRONT)			
SOUTHEAST (FRONT)	BRICK	541	27
SOUTHEAST (FRONT)	GLAZING	601	31
SOUTHEAST (FRONT)	METAL PANEL	434	22
SOUTHEAST (FRONT)	SIDING	392	20
		1968	
SOUTHWEST (RIGHT)			
SOUTHWEST (RIGHT)	BRICK	696	91
SOUTHWEST (RIGHT)	GLAZING	52	7
SOUTHWEST (RIGHT)	SIDING	16	2
		764	

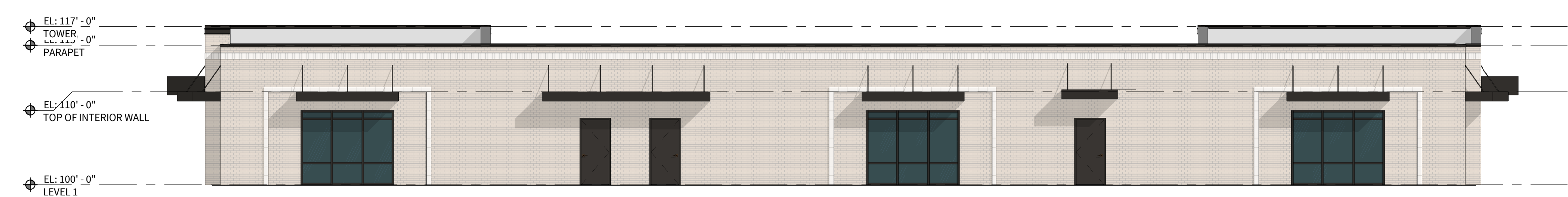
CALCULATION ARE SHOWN FOR BUILDING A. BUILDING B WOULD HAVE THE SAME CALCULATIONS WITH THE EXCEPTION OF THE GLAZING AND BRICK TOTALS BEING INTERCHANGABLE ON THE NORTHEAST AND SOUTHWEST ELEVATIONS.



④ NORTHEAST ELEVATION - LOT 5 BUILDING A
SCALE: 1/8" = 1'-0"



③ SOUTHWEST ELEVATION - LOT 5 BUILDING A
SCALE: 1/8" = 1'-0"



② NORTHWEST ELEVATION - LOT 5 BUILDING A & B
SCALE: 1/8" = 1'-0"



① SOUTHEAST ELEVATION - LOT 5 BUILDING A & B
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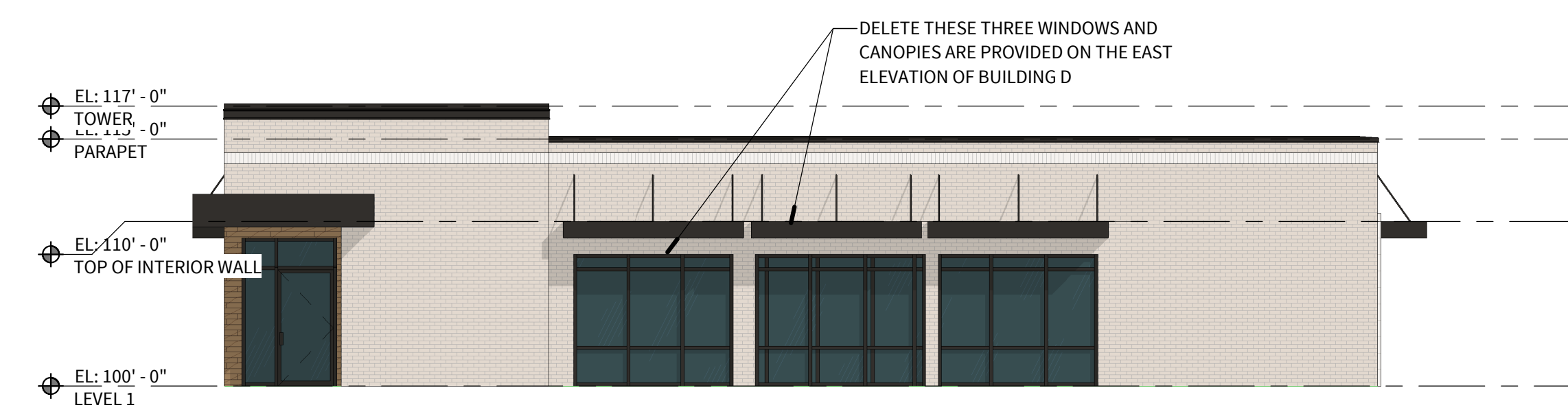
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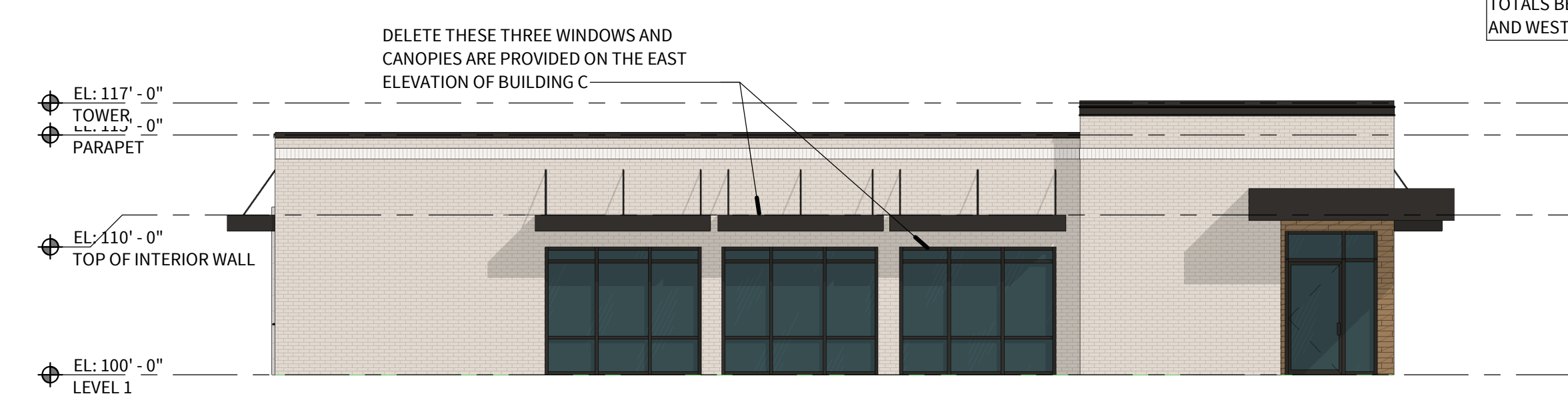
MATERIAL LEGEND			
FIELD BRICK	ACCENT BRICK	LEUDER STONE	WOOD LOOK FIBER CEMENT SIDING
ACM PANEL	CAST STONE	RAL PAINT	

MATERIALS CALCULATIONS			
ORIENTATION	MATERIAL	AREA	%
EAST (RIGHT)			
EAST (RIGHT)	BRICK	945	93
EAST (RIGHT)	GLAZING	52	5
EAST (RIGHT)	SIDING	16	2
		1013	
NORTH (FRONT)			
NORTH (FRONT)	BRICK	285	19
NORTH (FRONT)	GLAZING	446	29
NORTH (FRONT)	METAL PANEL	416	27
NORTH (FRONT)	SIDING	392	25
		1539	
SOUTH (REAR)			
SOUTH (REAR)	BRICK	1216	77
SOUTH (REAR)	DOORS	72	5
SOUTH (REAR)	GLAZING	240	15
SOUTH (REAR)	STONE	56	3
		1584	
WEST (LEFT)			
WEST (LEFT)	BRICK	706	70
WEST (LEFT)	GLAZING	290	28
WEST (LEFT)	SIDING	16	2
		1012	

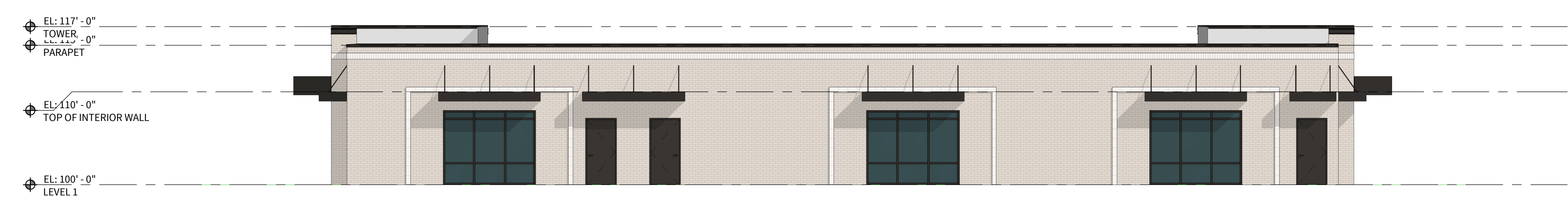
CALCULATION ARE SHOWN FOR BUILDING C. BUILDING D WOULD HAVE THE SAME CALCULATIONS WITH THE EXCEPTION OF THE GLAZING AND BRICK TOTALS BEING INTERCHANGABLE ON THE EAST AND WEST ELEVATIONS.



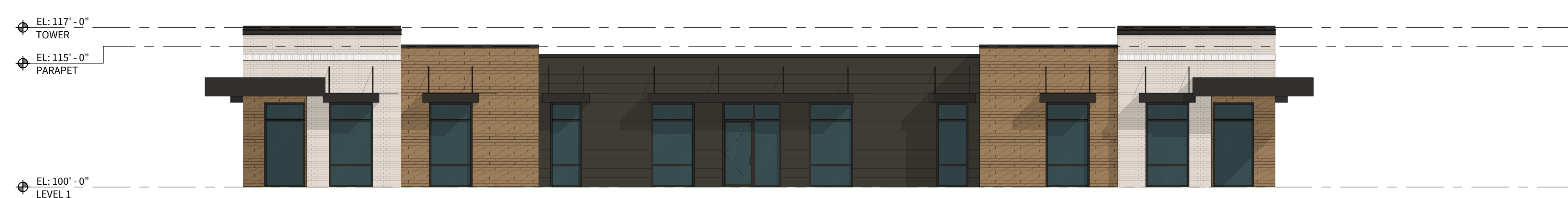
4 WEST ELEVATION - LOT 5 BUILDING C
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION - LOT 5 BUILDING D
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION - LOT 5 BUILDING C & D
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION - LOT 5 BUILDING C & D
SCALE: 1/8" = 1'-0"

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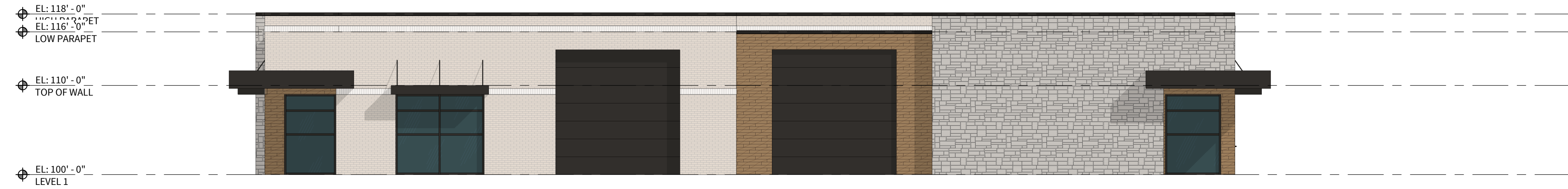
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Planning & Zoning Commission, Chairman

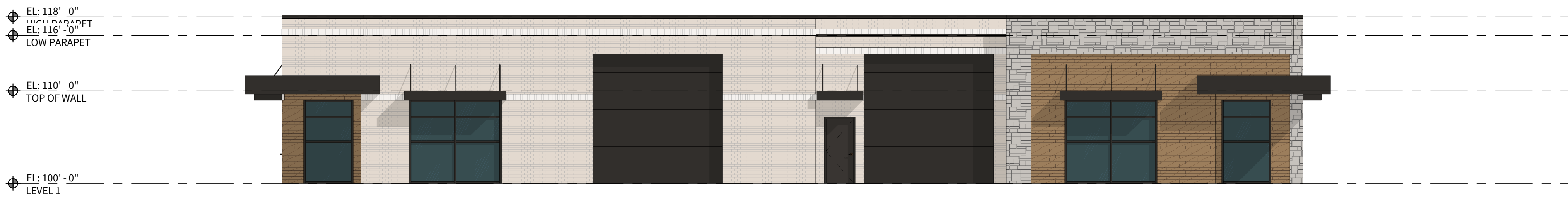
Director of Planning and Zoning



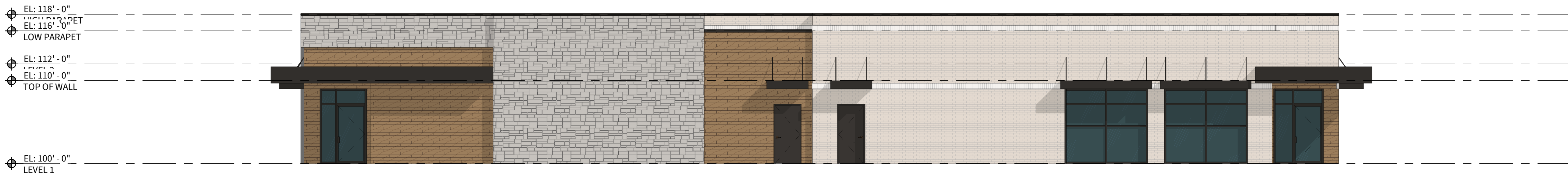
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ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 ARCHITECTURE



4 **SOUTHEAST ELEVATION - LOT 6 BUILDING A**
SCALE: 1/8" = 1'-0"



3 **NORTHWEST ELEVATION - LOT 6 BUILDING A**
SCALE: 1/8" = 1'-0"



2 **SOUTHWEST ELEVATION - LOT 6 BUILDING A**
SCALE: 1/8" = 1'-0"



1 **NORTHEAST ELEVATION - LOT 6 BUILDING A**
SCALE: 1/8" = 1'-0"

MATERIALS CALCULATIONS			
ORIENTATION	MATERIAL	AREA	%
NORTHEAST (FRONT)			
NORTHEAST (FRONT)	BRICK	823	39
NORTHEAST (FRONT)	DOORS	48	2
NORTHEAST (FRONT)	GLAZING	467	22
NORTHEAST (FRONT)	SIDING	294	14
NORTHEAST (FRONT)	STONE	493	12
		2125	
NORTHWEST (LEFT)			
NORTHWEST (LEFT)	BRICK	768	41
NORTHWEST (LEFT)	DOORS	416	21
NORTHWEST (LEFT)	GLAZING	276	15
NORTHWEST (LEFT)	SIDING	256	14
NORTHWEST (LEFT)	STONE	176	9
		1892	
SOUTHEAST (RIGHT)			
SOUTHEAST (RIGHT)	BRICK	611	32
SOUTHEAST (RIGHT)	DOORS	392	21
SOUTHEAST (RIGHT)	GLAZING	198	10
SOUTHEAST (RIGHT)	SIDING	172	9
SOUTHEAST (RIGHT)	STONE	524	28
		1897	
SOUTHWEST (REAR)			
SOUTHWEST (REAR)	BRICK	821	39
SOUTHWEST (REAR)	DOORS	48	2
SOUTHWEST (REAR)	GLAZING	288	13
SOUTHWEST (REAR)	SIDING	422	20
SOUTHWEST (REAR)	STONE	542	26
		2121	

MATERIAL LEGEND			
FIELD BRICK	ACCENT BRICK	LEUDER STONE	WOOD LOOK FIBER CEMENT SIDING
ACM PANEL	CAST STONE	RAL PAINT	

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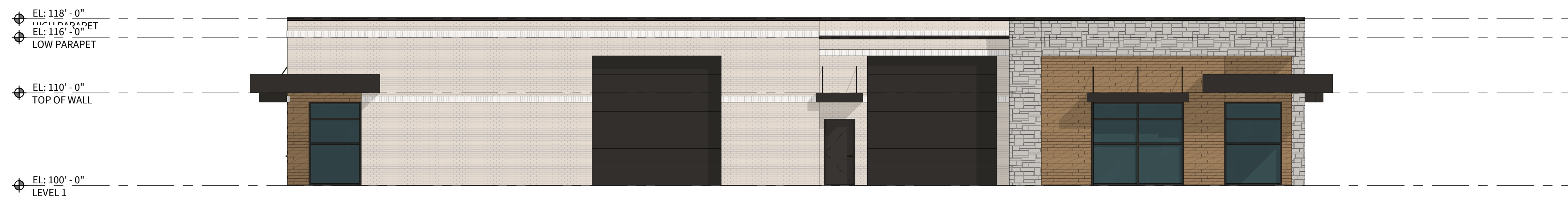


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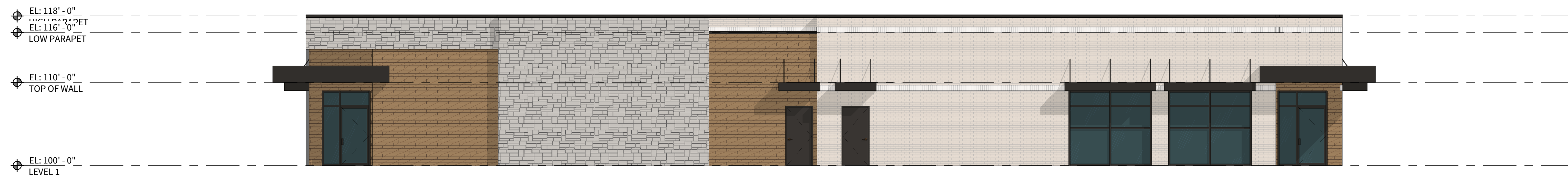
ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 ARCHITECTURE



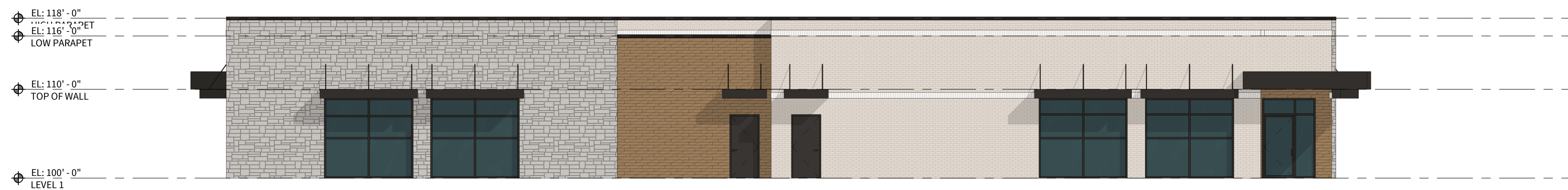
④ SOUTHEAST ELEVATION - LOT 6 BUILDING B
SCALE: 1/8" = 1'-0"



③ NORTHWEST ELEVATION - LOT 6 BUILDING B
SCALE: 1/8" = 1'-0"



② SOUTHWEST ELEVATION - LOT 6 BUILDING B
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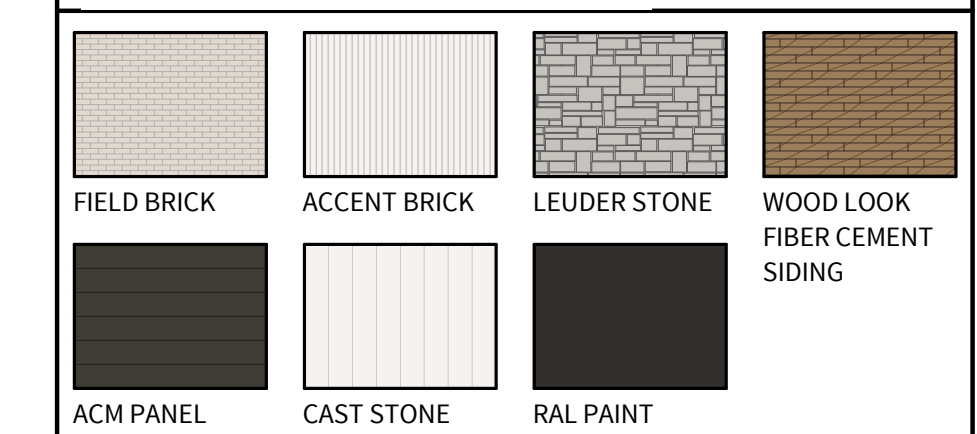


① NORTHEAST ELEVATION - LOT 6 BUILDING B
SCALE: 1/8" = 1'-0"

MATERIALS CALCULATIONS

ORIENTATION	MATERIAL	AREA	%
NORTHEAST (FRONT)			
NORTHEAST (FRONT)	BRICK	820	38
NORTHEAST (FRONT)	DOORS	48	2
NORTHEAST (FRONT)	GLAZING	414	19
NORTHEAST (FRONT)	SIDING	272	13
NORTHEAST (FRONT)	STONE	589	27
		2143	
NORTHWEST (LEFT)			
NORTHWEST (LEFT)	BRICK	901	47
NORTHWEST (LEFT)	DOORS	416	22
NORTHWEST (LEFT)	GLAZING	197	10
NORTHWEST (LEFT)	SIDING	232	12
NORTHWEST (LEFT)	STONE	187	10
		1933	
SOUTHEAST (RIGHT)			
SOUTHEAST (RIGHT)	BRICK	582	30
SOUTHEAST (RIGHT)	DOORS	392	20
SOUTHEAST (RIGHT)	GLAZING	138	7
SOUTHEAST (RIGHT)	SIDING	183	10
SOUTHEAST (RIGHT)	STONE	621	32
		1916	
SOUTHWEST (REAR)			
SOUTHWEST (REAR)	BRICK	818	38
SOUTHWEST (REAR)	DOORS	48	2
SOUTHWEST (REAR)	GLAZING	286	13
SOUTHWEST (REAR)	SIDING	450	21
SOUTHWEST (REAR)	STONE	542	25
		2144	

MATERIAL LEGEND



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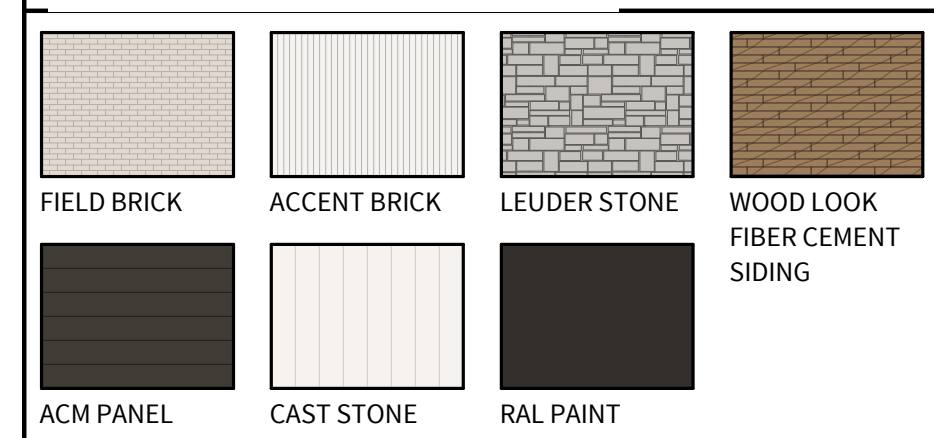
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ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 ARCHITECTURE

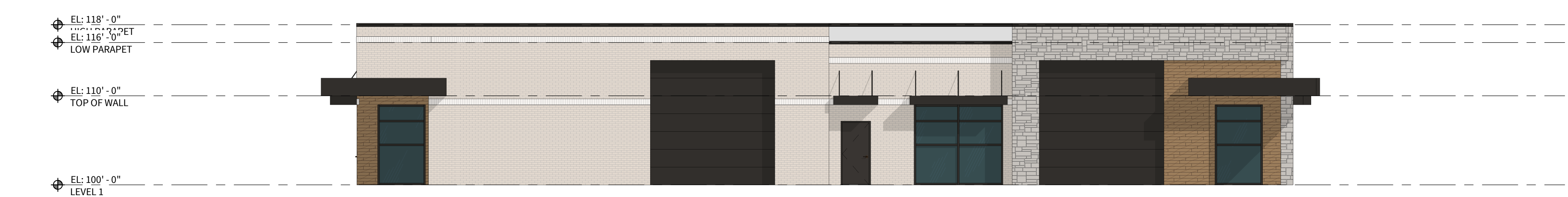
MATERIALS CALCULATIONS

ORIENTATION	MATERIAL	AREA	%
NORTHEAST (FRONT)			
NORTHEAST (FRONT)	BRICK	840	33
NORTHEAST (FRONT)	DOORS	48	2
NORTHEAST (FRONT)	GLAZING	378	15
NORTHEAST (FRONT)	SIDING	495	19
NORTHEAST (FRONT)	STONE	814	32
		2575	
NORTHWEST (LEFT)			
NORTHWEST (LEFT)	BRICK	884	49
NORTHWEST (LEFT)	DOORS	416	23
NORTHWEST (LEFT)	GLAZING	185	10
NORTHWEST (LEFT)	SIDING	147	8
NORTHWEST (LEFT)	STONE	179	10
		1811	
SOUTHWEST (RIGHT)			
SOUTHWEST (RIGHT)	BRICK	540	30
SOUTHWEST (RIGHT)	DOORS	391	23
SOUTHWEST (RIGHT)	GLAZING	284	16
SOUTHWEST (RIGHT)	SIDING	137	8
SOUTHWEST (RIGHT)	STONE	423	24
		1775	
SOUTHWEST (REAR)			
SOUTHWEST (REAR)	BRICK	843	33
SOUTHWEST (REAR)	DOORS	48	2
SOUTHWEST (REAR)	GLAZING	280	11
SOUTHWEST (REAR)	SIDING	623	24
SOUTHWEST (REAR)	STONE	765	30%
		2559	

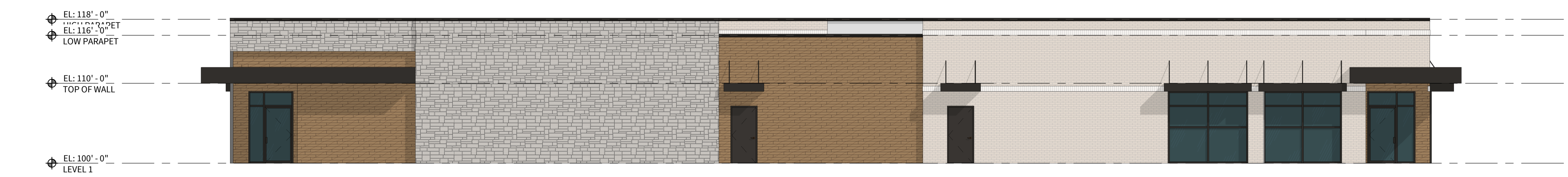
MATERIAL LEGEND



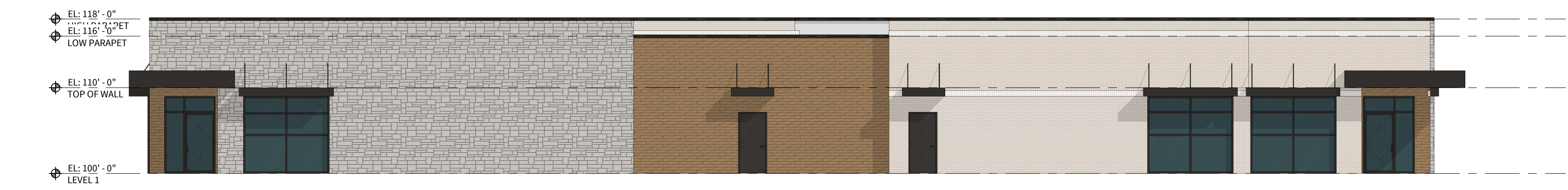
4 **SOUTHEAST ELEVATION - LOT 6 BUILDING C**
SCALE: 1/8" = 1'-0"



3 **NORTHWEST ELEVATION - LOT 6 BUILDING C**
SCALE: 1/8" = 1'-0"



2 **SOUTHWEST ELEVATION - LOT 6 BUILDING C**
SCALE: 1/8" = 1'-0"



1 **NORTHEAST ELEVATION - LOT 6 BUILDING C**
SCALE: 1/8" = 1'-0"

PROJECT INFORMATION
THE EXCHANGE AT ROCKWALL
3600 S. GOLIAD STREET
ROCKWALL, TX 75032
CASE NUMBER:

OWNER INFORMATION
GARDNER LAND HOLDING LLC
15950 SH 205
TERRELL, TX 75160
214.675.4435

DEVELOPER INFORMATION
CONTEX DEVELOPMENT PARTNERS
15950 SH 205
TERRELL, TX 75160
214.675.4435

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Planning & Zoning Commission, Chairman Director of Planning and Zoning

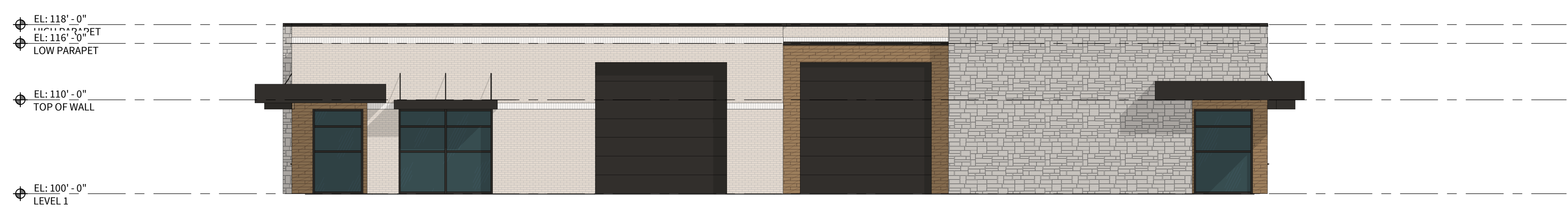
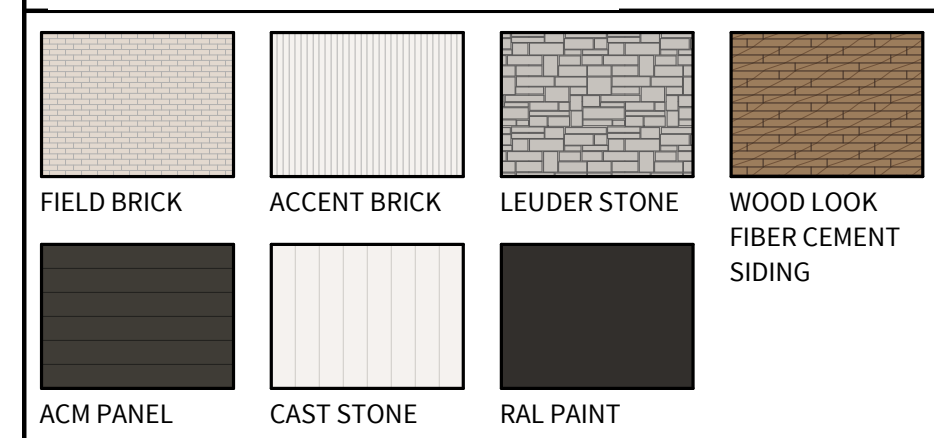


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LEVEL 5 ARCHITECTURE

MATERIALS CALCULATIONS

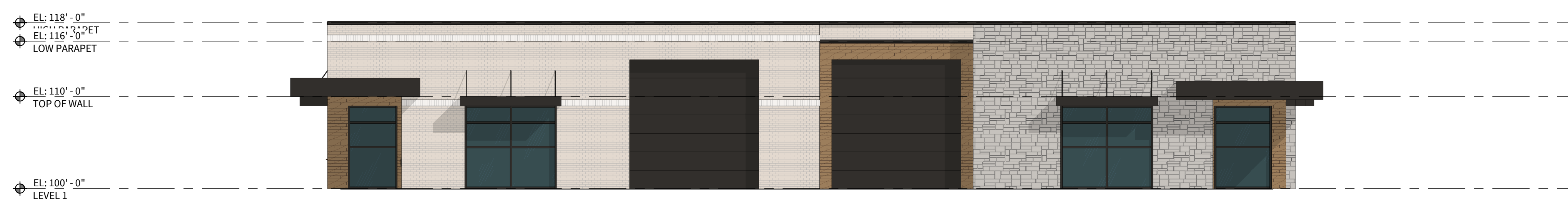
ORIENTATION	MATERIAL	AREA	%
NORTHEAST (FRONT)			
NORTHEAST (FRONT)	BRICK	1387	43
NORTHEAST (FRONT)	DOORS	292	9
NORTHEAST (FRONT)	GLAZING	602	19
NORTHEAST (FRONT)	SIDING	417	13
NORTHEAST (FRONT)	STONE	518	16
		3216	
NORTHWEST (LEFT)			
NORTHWEST (LEFT)	BRICK	582	32
NORTHWEST (LEFT)	DOORS	392	22
NORTHWEST (LEFT)	GLAZING	284	16
NORTHWEST (LEFT)	SIDING	120	7
NORTHWEST (LEFT)	STONE	420	23
		1798	
SOUTHEAST (RIGHT)			
SOUTHEAST (RIGHT)	BRICK	567	32
SOUTHEAST (RIGHT)	DOORS	392	22
SOUTHEAST (RIGHT)	GLAZING	195	11
SOUTHEAST (RIGHT)	SIDING	135	8
SOUTHEAST (RIGHT)	STONE	502	28
		1791	
SOUTHWEST (REAR)			
SOUTHWEST (REAR)	BRICK	850	27
SOUTHWEST (REAR)	DOORS	268	9
SOUTHWEST (REAR)	GLAZING	458	15
SOUTHWEST (REAR)	SIDING	698	22
SOUTHWEST (REAR)	STONE	878	28
		3152	

MATERIAL LEGEND



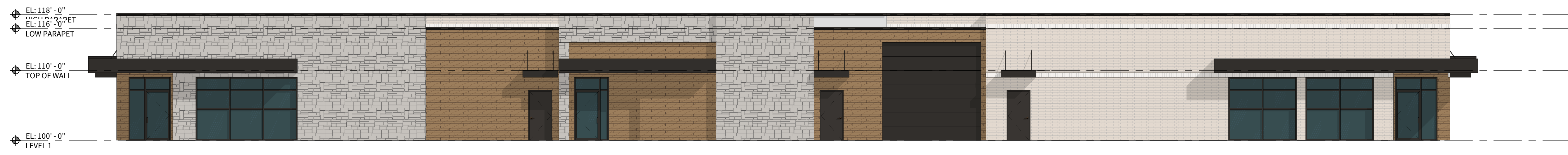
4 **SOUTHEAST ELEVATION - LOT 6 BUILDING D**

SCALE: 1/8" = 1'-0"



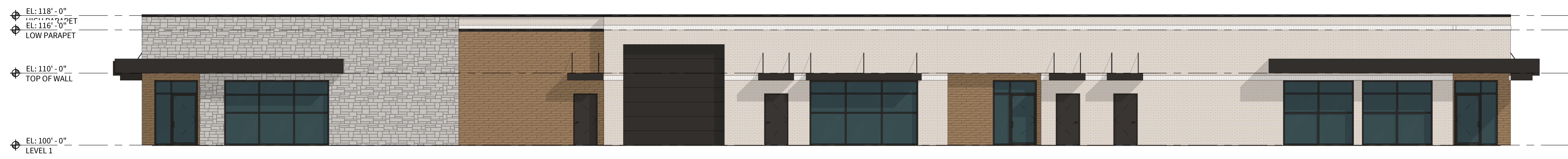
3 **NORTHWEST ELEVATION - LOT 6 BUILDING D**

SCALE: 1/8" = 1'-0"



2 **SOUTHWEST ELEVATION - LOT 6 BUILDING D**

SCALE: 1/8" = 1'-0"



1 **NORTHEAST ELEVATION - LOT 6 BUILDING D**

SCALE: 1/8" = 1'-0"

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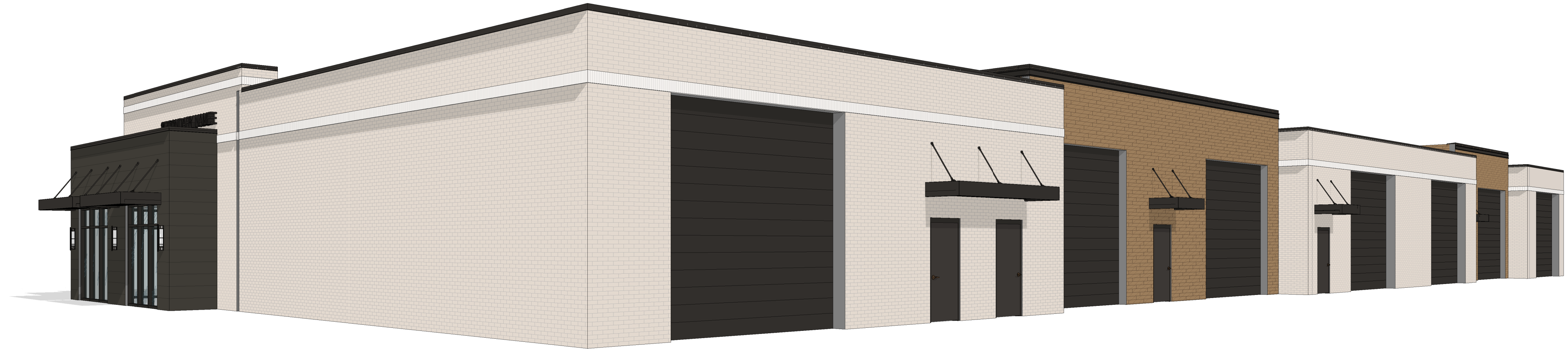
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Level 5 Architecture
 Mansfield, TX | Springdale, AR
 level5architecture.com

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 ARCHITECT:
 JUSTIN S. GILMORE
 LEVEL 5 ARCHITECTURE



② **PERSPECTIVE - LOT 4 BUILDING A**
SCALE:



① **PERSPECTIVE - LOT 4 BUILDING A**
SCALE:

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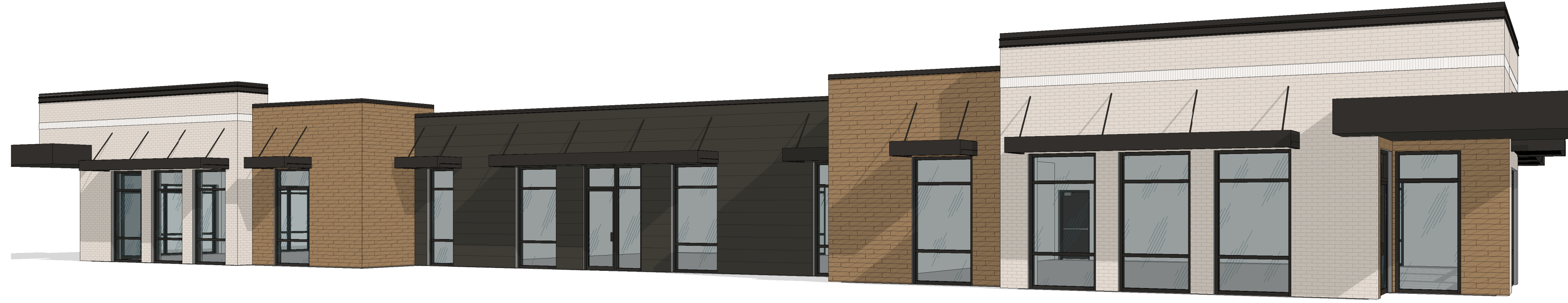
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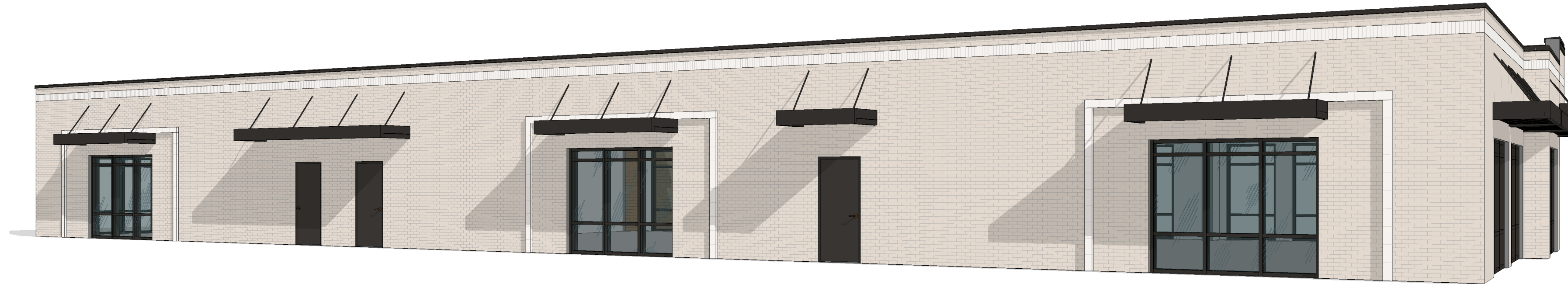


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ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 ARCHITECTURE



④ **PERSPECTIVE - LOT 5 BUILDING A & B**
SCALE:



③ **PERSPECTIVE - LOT 5 BUILDING A & B**
SCALE:



② **PERSPECTIVE - LOT 5 BUILDING A & B**
SCALE:



① **PERSPECTIVE - LOT 5 BUILDING A & B**
SCALE:

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JUSTIN S. GILMORE
LEVEL 5 ARCHITECTURE



④ **PERSPECTIVE - LOT 5 BUILDING C & D**
SCALE:



③ **PERSPECTIVE - LOT 5 BUILDING C & D**
SCALE:



② **PERSPECTIVE - LOT 5 BUILDING C & D**
SCALE:



① **PERSPECTIVE - LOT 5 BUILDING C & D**
SCALE:

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③ **PERSPECTIVE - LOT 6 BUILDING A**
SCALE:



② **PERSPECTIVE - LOT 6 BUILDING A**
SCALE:



① **PERSPECTIVE - LOT 6 BUILDING A**
SCALE:

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WITNESS OUR **BUILDING A 3D VIEWS**

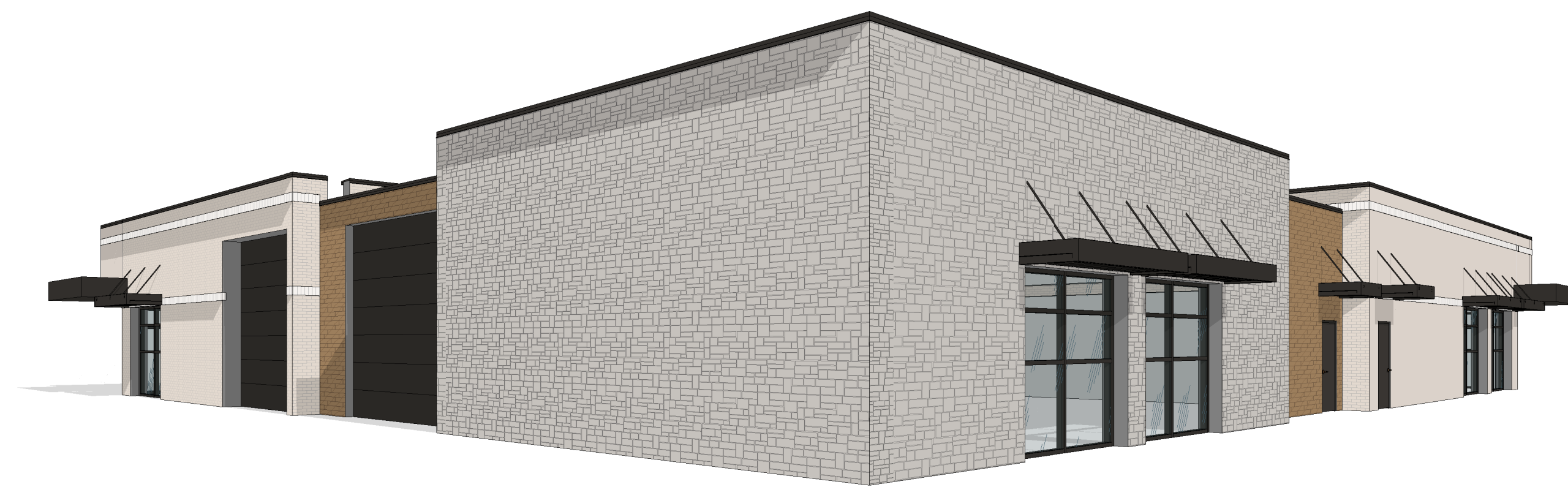
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LEVEL 5 ARCHITECTURE



② **PERSPECTIVE - LOT 6 BUILDING B**
SCALE:



③ **PERSPECTIVE - LOT 6 BUILDING B**
SCALE:



① **PERSPECTIVE - LOT 6 BUILDING B**
SCALE:

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WITNESS OUR HANDS AND SEAL OF OFFICE:
BUILDING A 3D VIEWS

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ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 ARCHITECTURE



③ **PERSPECTIVE - LOT 6 BUILDING C**
SCALE:



② **PERSPECTIVE - LOT 6 BUILDING C**
SCALE:



① **PERSPECTIVE - LOT 6 BUILDING C**
SCALE:

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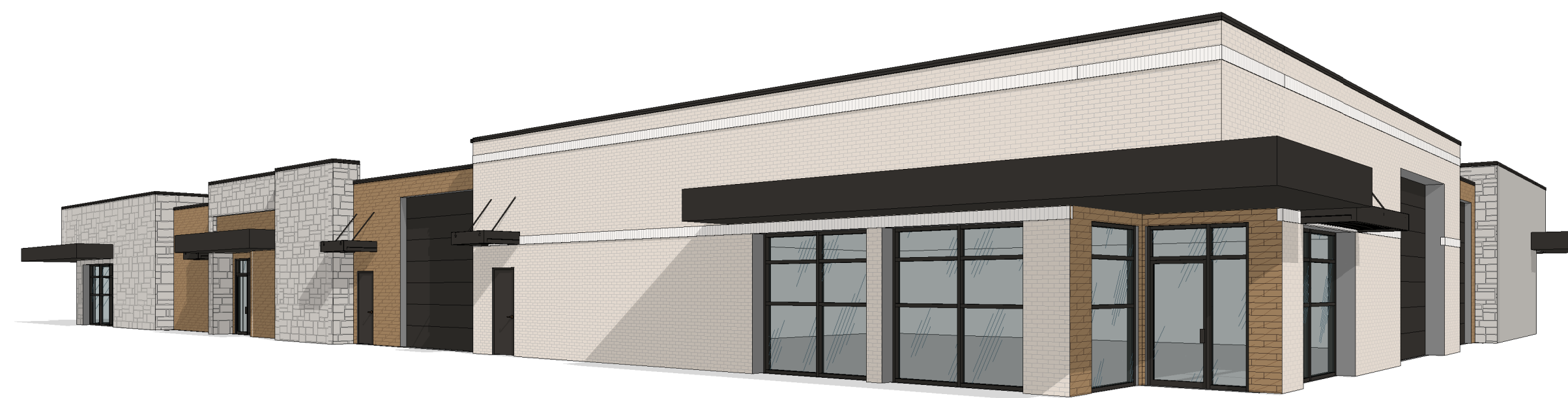
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ARCHITECT:
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LEVEL 5 ARCHITECTURE



② PERSPECTIVE - LOT 6 BUILDING D
SCALE:



③ PERSPECTIVE - LOT 6 BUILDING D
SCALE:



① PERSPECTIVE - LOT 6 BUILDING D
SCALE:

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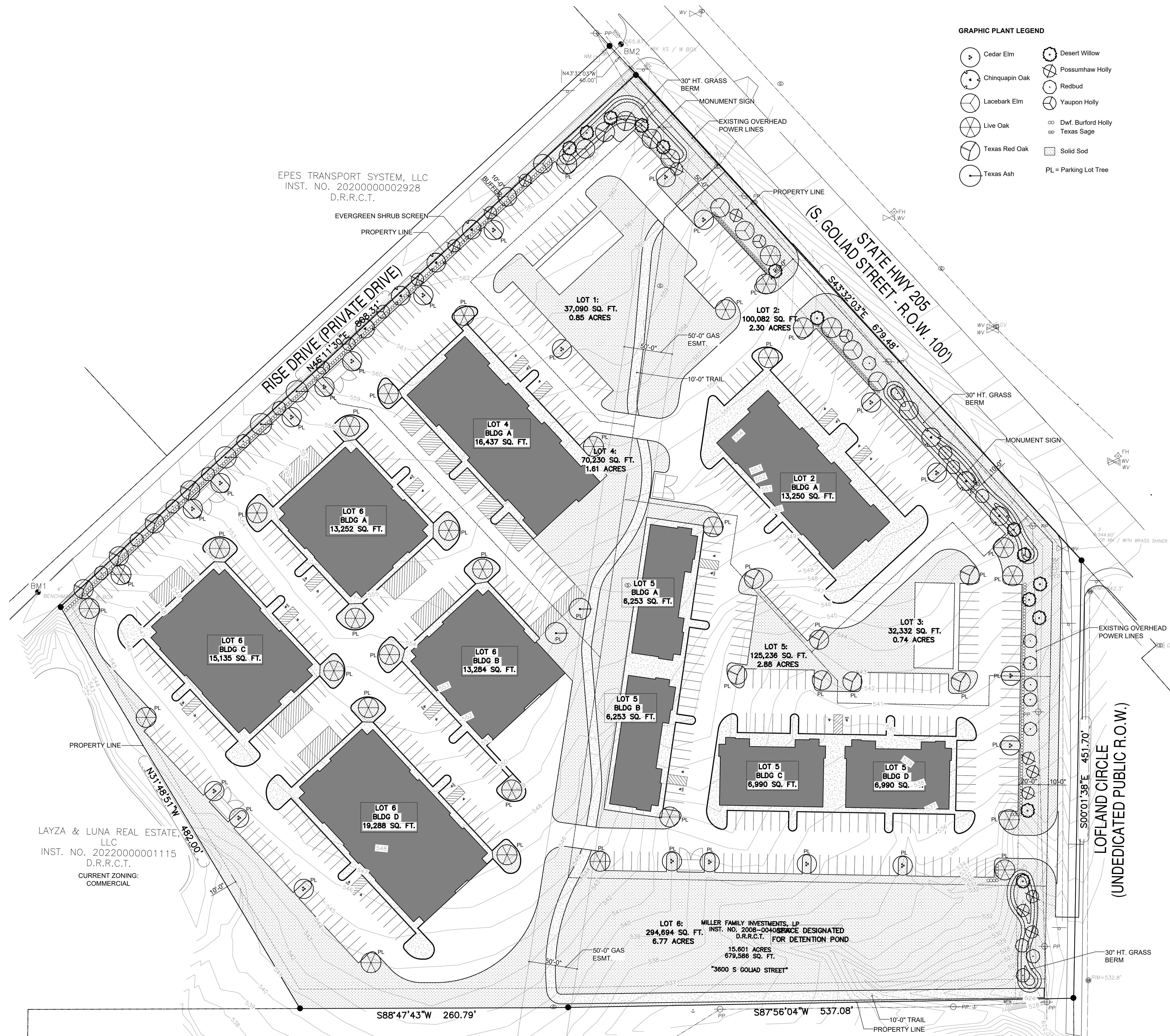
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GRAPHIC PLANT LEGEND

- Cedar Elm
- Chinquapin Oak
- Lacebark Elm
- Live Oak
- Texas Red Oak
- Texas Ash
- Desert Willow
- Possumhaw Holly
- Redbud
- Yaupon Holly
- Dwf. Burford Holly
- Texas Sage
- Solid Sod
- PL = Parking Lot Tree

EPES TRANSPORT SYSTEM, LLC
INST. NO. 2020000002928
D.R.R.C.T.

LAYZA & LUNA REAL ESTATE, LLC
INST. NO. 2022000001115
D.R.R.C.T.
CURRENT ZONING:
COMMERCIAL

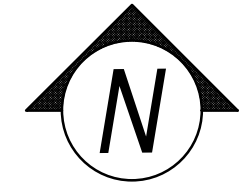
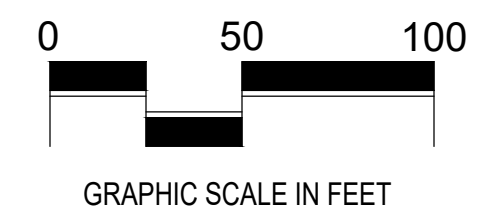
FRANK FORREST & KELLI
LAFON FOREST
VOL. 2664, PG. 159
D.R.R.C.T.
CURRENT ZONING:
AGRICULTURE

LOT 6: MILLER FAMILY INVESTMENTS, LP
294,694 SQ. FT. INST. NO. 2008-0040
6.77 ACRES D.R.R.C.T. FOR DETENTION POND
15.601 ACRES
679,586 SQ. FT.
"3600 S GOLIAD STREET"

QUALICO DEVELOPMENTS
(U.S.), INC
INST. NO. 2025000002120
D.R.R.C.T.

LANDSCAPE PLAN

SCALE: 1" = 50'-0"



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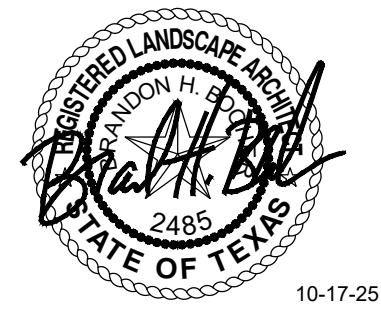
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Director of Planning and Zoning



MECKS DESIGN GROUP, INC.
1755 N. COLLINS BLVD., SUITE 300
RICHARDSON, TX 75080
PH (972) 690-7474
F (972) 690-7878

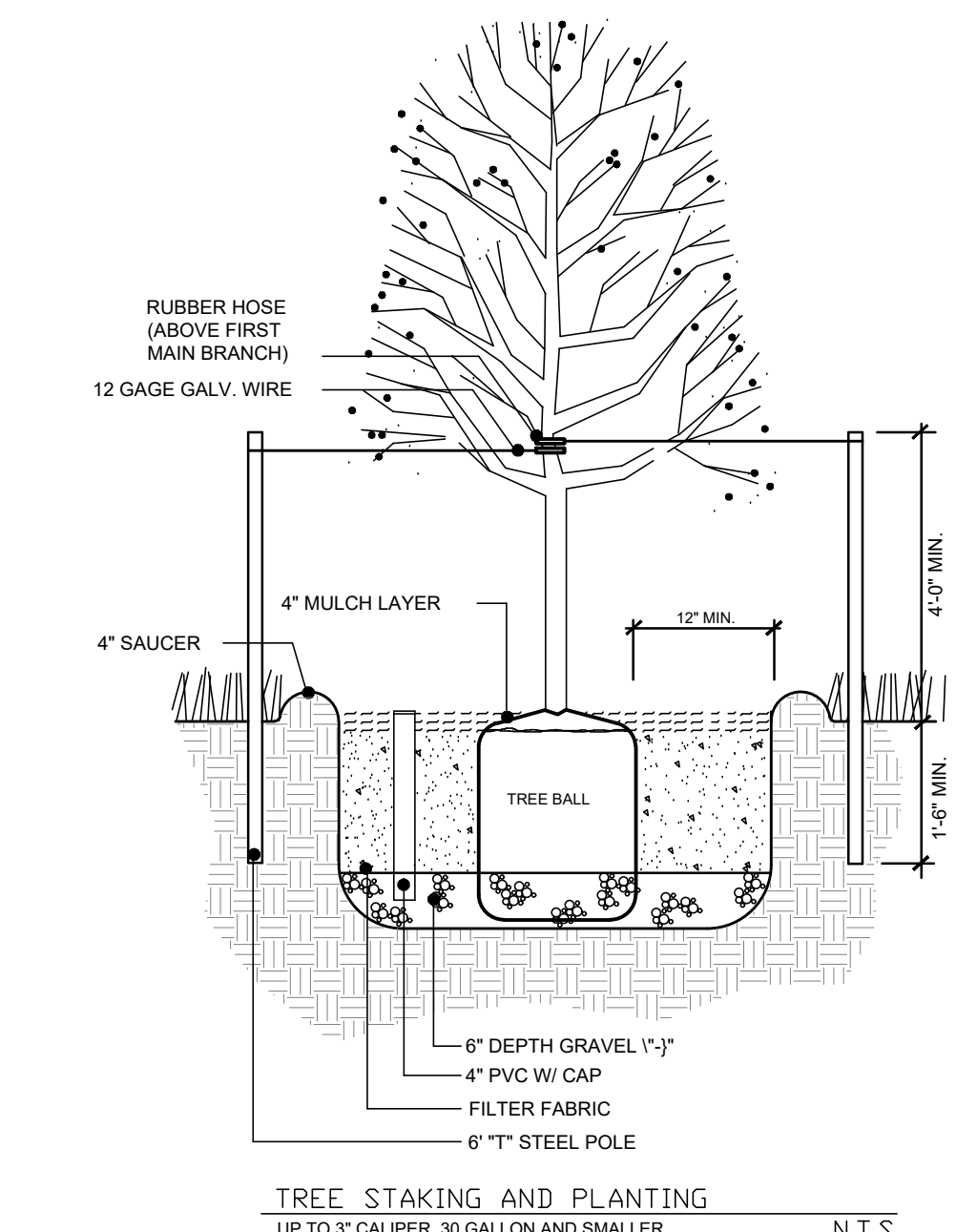


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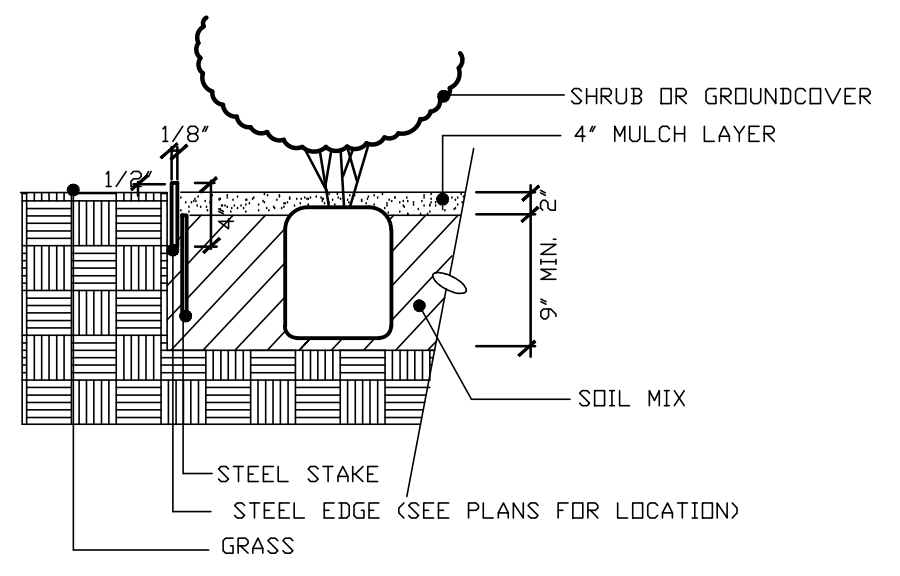
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PLANT LEGEND					
SYM	BOTANICAL NAME	COMMON NAME	QUAN	SIZE	REMARKS
SHADE TREES					
CE	Ulmus crassifolia	Cedar Elm	21	4" Cal.	12'-14' Ht.
CO	Quercus muehlenbergii	Chinquapin Oak	7	4" Cal.	12'-14' Ht.
LE	Ulmus Parvifolia	Lacebark Elm	9	4" Cal.	12'-14' Ht.
LO	Quercus virginiana	Live Oak	32	4" Cal.	12'-14' Ht.
RO	Quercus buckleyi	Texas Red Oak	14	4" Cal.	12'-14' Ht.
TA	Fraxenis texensis	Texas Ash	5	4" Cal.	12'-14' Ht.
ACCENT TREES					
DW	Chilopsis linearis	Desert Willow	14	6' to 8' Ht.	Multi trunk, 3 - 5 canes, 1" cal., cane min.
PH	Ilex decidua	Possumhaw Holly	12	6' to 8' Ht.	Multi trunk, 3 - 5 canes, 1" cal., cane min.
RB	Cercis canadensis	Eastern Redbud	19	6' to 8' Ht.	Single trunk
YH	Ilex vomitoria	Yaupon Holly	5	6' to 8' Ht.	Multi trunk, 3 - 5 canes, 1" cal., cane min.
LARGE SHRUBS					
DB	Ilex cornuta 'Burfordii'	Dwarf Burford Holly	321	3 Gal.	24" min. ht, 18" min. spread, Plant 36" O.C.
TS	Leucophyllum frutescens	Texas Sage	60	3 Gal.	24" min. ht, 18" min. spread, Plant 36" O.C.
GROUNDCOVERS					
SS	Cynodon spp.	Common Bermuda	216,915 S.F.		Solid sod and/or hydromulch



TREE STAKING AND PLANTING
UP TO 3" CALIPER, 30 GALLON AND SMALLER
N.T.S.



BED-PREP W/STEEL EDGE
N.T.S.

GENERAL MAINTENANCE:

REQUIRED PLANTS MUST BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPATIBLE WITH THE APPROVED LANDSCAPE PLAN WITHIN (90) NINETY DAYS AFTER NOTIFICATION FROM THE CITY. THE BUILDING OFFICIAL MAY EXTEND THE TIME PERIOD UP TO AN ADDITIONAL (90) DAYS DUE TO WEATHER CONSIDERATIONS. IF THE PLANTS HAVE NOT BEEN REPLACED AFTER APPROPRIATE NOTIFICATION AND/OR EXTENSION, THE PROPERTY OWNER SHALL BE IN VIOLATION OF THIS ORDINANCE.

ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER OR HIS AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN A UTILITY EASEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS PLANTS WITHIN AN EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE PLANTS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS, SOME PLANTS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THEM.

- LANDSCAPE PLAN NOTES:**
- All turf areas are to be hydromulched with common bermuda grass or solid sod. Hydromulch may not be applied during Stage 3 drought conditions.
 - Annual color plantings are to be determined at the time of planting.
 - All lawn and landscape areas are to be separated by Ryerson Steel Edging or a trench edge.
 - All trees and planting beds are to be laid out in the field by the landscape contractor for review by the owner's representative prior to excavation or preparation of planting areas. Contractor assumes full responsibility for failure to obtain owner's review of the layout including modifications required.
 - Landscape contractor is responsible for location all underground utilities and structures wether or not shown on the plans. And shall be responsible for damage to said utilities or structures caused by his forces. Ref. Civil plans for proposed utility line locations.
 - Planting area preparation to include minimum 1.5" to 3" approved organic matter (Back to earth or living earth) tilled into the top 8" of planting area soil unless otherwise specified. Remove all rocks, clods and debris. Leave planting areas smooth and assure positive drainage away from building as shown.

PLANTING NOTES

- ALL PLANT MATERIAL LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE SEEDED/ SODDED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITES AND INSURE POSITIVE DRAINAGE IN ALL AREAS SEEDED/SODDED.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING SETBACK LINES, EASEMENT LINES, AND VISIBILITY LINES IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES, SHOWN ON THIS PLAN AND NOT SHOWN ON THESE PLANS, IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL SITE FEATURES.
- STEEL EDGING OR A NATURAL BEVELLED EDGE SHALL BE INSTALLED AT ALL LOCATIONS WHERE PLANT MATERIALS MEET TURF AREAS.

NOTE:

ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

NOTE:

ALL PLANT MATERIAL SHALL BE COVERED UNDER A ONE YEAR WARRANTY. WARRANTY PERIOD BEGINS ON DATE OF FINAL ACCEPTANCE.

LANDSCAPE NOTES & CALCULATIONS

CITY LANDSCAPE REQUIREMENTS

TOTAL SITE AREA
659,111 S.F. (15.13 ACRES)

TOTAL SITE LANDSCAPE
REQUIRED: 20% OF TOTAL SITE = 131,822 S.F.

PROVIDED: 31% (208,600 S.F.)

LANDSCAPE BUFFERS

RISE DRIVE:

REQUIRED: MINIMUM 10 FOOT WIDE LANDSCAPE BUFFER.
PARKING LOT SCREENING - MINIMUM 30" HEIGHT BERM OR SHRUBS OR COMBINATION OF BOTH.
(1) CANOPY TREE & (1) ACCENT TREE PER 50 L.F. OF FRONTAGE.
800 L.F. / 50 = (16) CANOPY TREES AND (16) ACCENT TREES

PROVIDED: 10 FOOT WIDE LANDSCAPE BUFFER
EVERGREEN SHRUB SCREEN - MINIMUM 30" HT.
(16) CANOPY TREES & (16) ACCENT TREES

S. GOLIAD STREET:

REQUIRED: MINIMUM 10 FOOT WIDE LANDSCAPE BUFFER.
PARKING LOT SCREENING - MINIMUM 30" HEIGHT BERM OR SHRUBS OR COMBINATION OF BOTH.
(1) CANOPY TREE & (1) ACCENT TREE PER 50 L.F. OF FRONTAGE.
582 L.F. / 50 = (12) CANOPY TREES & (12) ACCENT TREES

PROVIDED: 30 FOOT WIDE LANDSCAPE BUFFER
EVERGREEN SHRUB SCREEN AND BUILT-UP BERM - MINIMUM 30" HT.
(12) CANOPY TREES & (12) ACCENT TREES

LOFLAND CIRCLE:

REQUIRED: MINIMUM 10 FOOT WIDE LANDSCAPE BUFFER.
PARKING LOT SCREENING - MINIMUM 30" HEIGHT BERM OR SHRUBS OR COMBINATION OF BOTH.
(1) CANOPY TREE & (1) ACCENT TREE PER 50 L.F. OF FRONTAGE.
436 L.F. / 50 = (9) CANOPY TREES & (9) ACCENT TREES

PROVIDED: 30 FOOT WIDE LANDSCAPE BUFFER
EVERGREEN SHRUB SCREEN - MINIMUM 30" HT.
(19) ACCENT TREES (DUE TO PRESENCE OF OVERHEAD POWER LINES)

PARKING LOT TREES

REQUIRED: 1 CANOPY TREE PER 10 PARKING SPACES.
NO PARKING SPACE MAY BE LOCATED MORE THAN 80 FEET FROM TRUNK OF A CANOPY TREE
579 PARKING SPACES / 10 = 58 TREES

PROVIDED: 60 CANOPY TREES
ALL PARKING SPACES WITHIN 80 FEET OF A PARKING LOT TREE

LEVEL 5

Level 5 Architecture
Mansfield, TX | Springdale, AR
level5architecture.com

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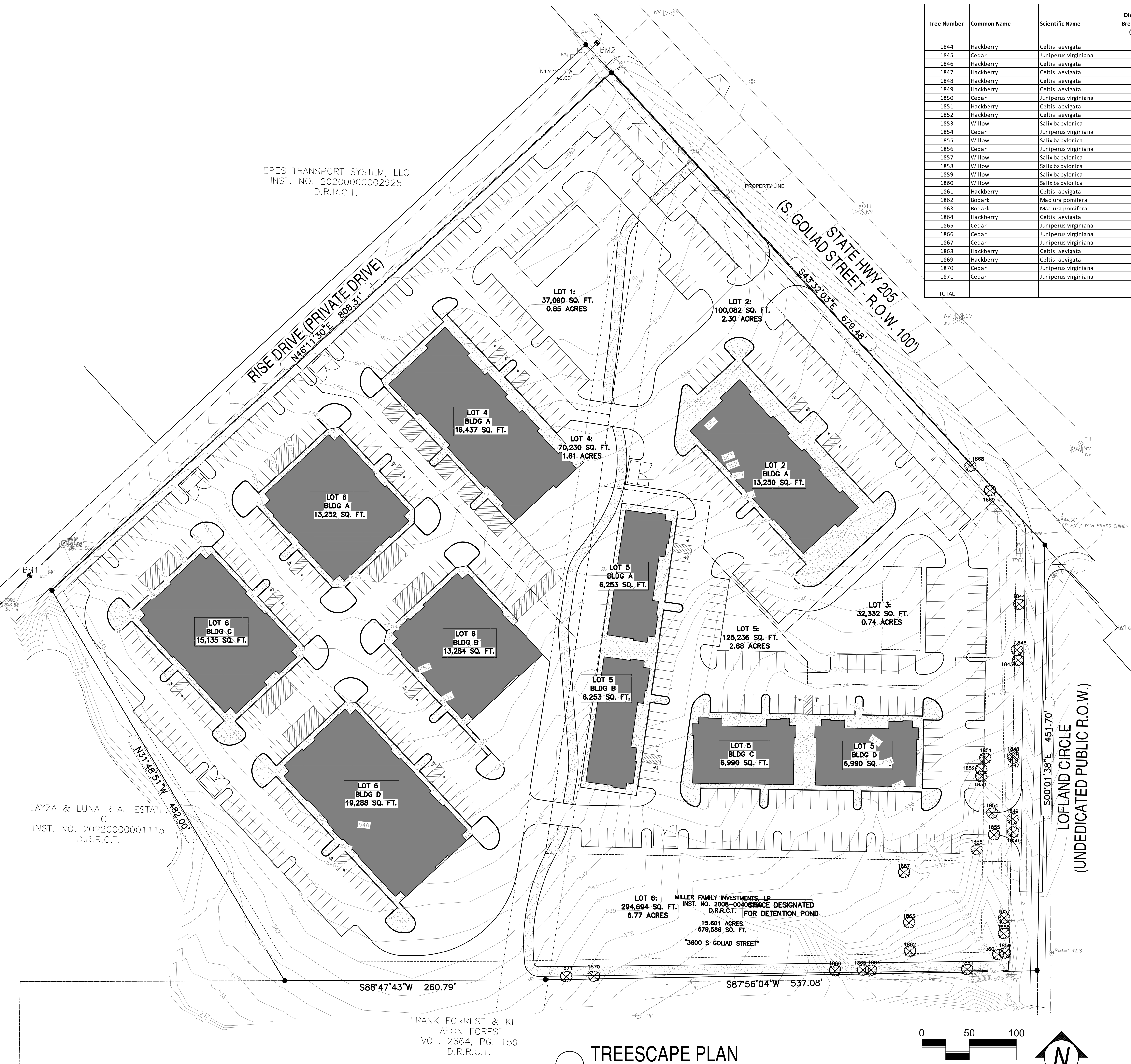
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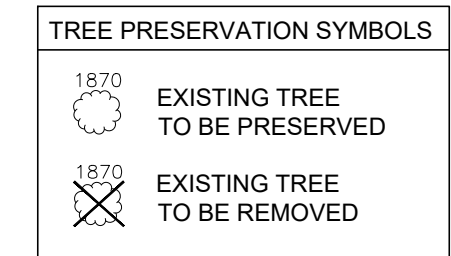
Planning & Zoning Commission, Chairman Director of Planning and Zoning

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ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 ARCHITECTURE



Tree Number	Common Name	Scientific Name	Diameter at Breast Height (Inches)	Preserve or Remove	General Condition	Protected (Tree Grade)	Mitigation Required (Inches)
1844	Hackberry	Celtis laevigata	12	Remove	Healthy	Non-Protected	0
1845	Cedar	Juniperus virginiana	10	Remove	Healthy	Secondary Protected	4
1846	Hackberry	Celtis laevigata	7	Remove	Healthy	Non-Protected	0
1847	Hackberry	Celtis laevigata	8	Remove	Healthy	Non-Protected	0
1848	Hackberry	Celtis laevigata	7	Remove	Healthy	Non-Protected	0
1849	Hackberry	Celtis laevigata	12	Remove	Healthy	Non-Protected	0
1850	Cedar	Juniperus virginiana	11	Remove	Healthy	Secondary Protected	4
1851	Hackberry	Celtis laevigata	12	Remove	Healthy	Non-Protected	0
1852	Hackberry	Celtis laevigata	10	Remove	Healthy	Non-Protected	0
1853	Willow	Salix babylonica	12	Remove	Healthy	Non-Protected	0
1854	Cedar	Juniperus virginiana	12	Remove	Healthy	Secondary Protected	4
1855	Willow	Salix babylonica	14	Remove	Healthy	Non-Protected	0
1856	Cedar	Juniperus virginiana	16	Remove	Healthy	Secondary Protected	4
1857	Willow	Salix babylonica	11	Remove	Healthy	Non-Protected	0
1858	Willow	Salix babylonica	7	Remove	Healthy	Non-Protected	0
1859	Willow	Salix babylonica	7	Remove	Healthy	Non-Protected	0
1860	Willow	Salix babylonica	15	Remove	Healthy	Non-Protected	0
1861	Hackberry	Celtis laevigata	15	Remove	Healthy	Non-Protected	0
1862	Bodark	Maclura pomifera	19	Remove	Healthy	Non-Protected	0
1863	Bodark	Maclura pomifera	24	Remove	Healthy	Non-Protected	0
1864	Hackberry	Celtis laevigata	13	Remove	Healthy	Non-Protected	0
1865	Cedar	Juniperus virginiana	10	Remove	Healthy	Secondary Protected	4
1866	Cedar	Juniperus virginiana	10	Remove	Healthy	Secondary Protected	4
1867	Cedar	Juniperus virginiana	11	Remove	Healthy	Secondary Protected	4
1868	Hackberry	Celtis laevigata	18	Remove	Healthy	Non-Protected	0
1869	Hackberry	Celtis laevigata	22	Remove	Healthy	Non-Protected	0
1870	Cedar	Juniperus virginiana	7	Remove	Healthy	Secondary Protected	4
1871	Cedar	Juniperus virginiana	9	Remove	Healthy	Secondary Protected	4
TOTAL			341				36



QUALICO DEVELOPMENTS
(U.S.) INC
INST. NO. 2025000002120
D.R.R.C.T.

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

LEVEL
5

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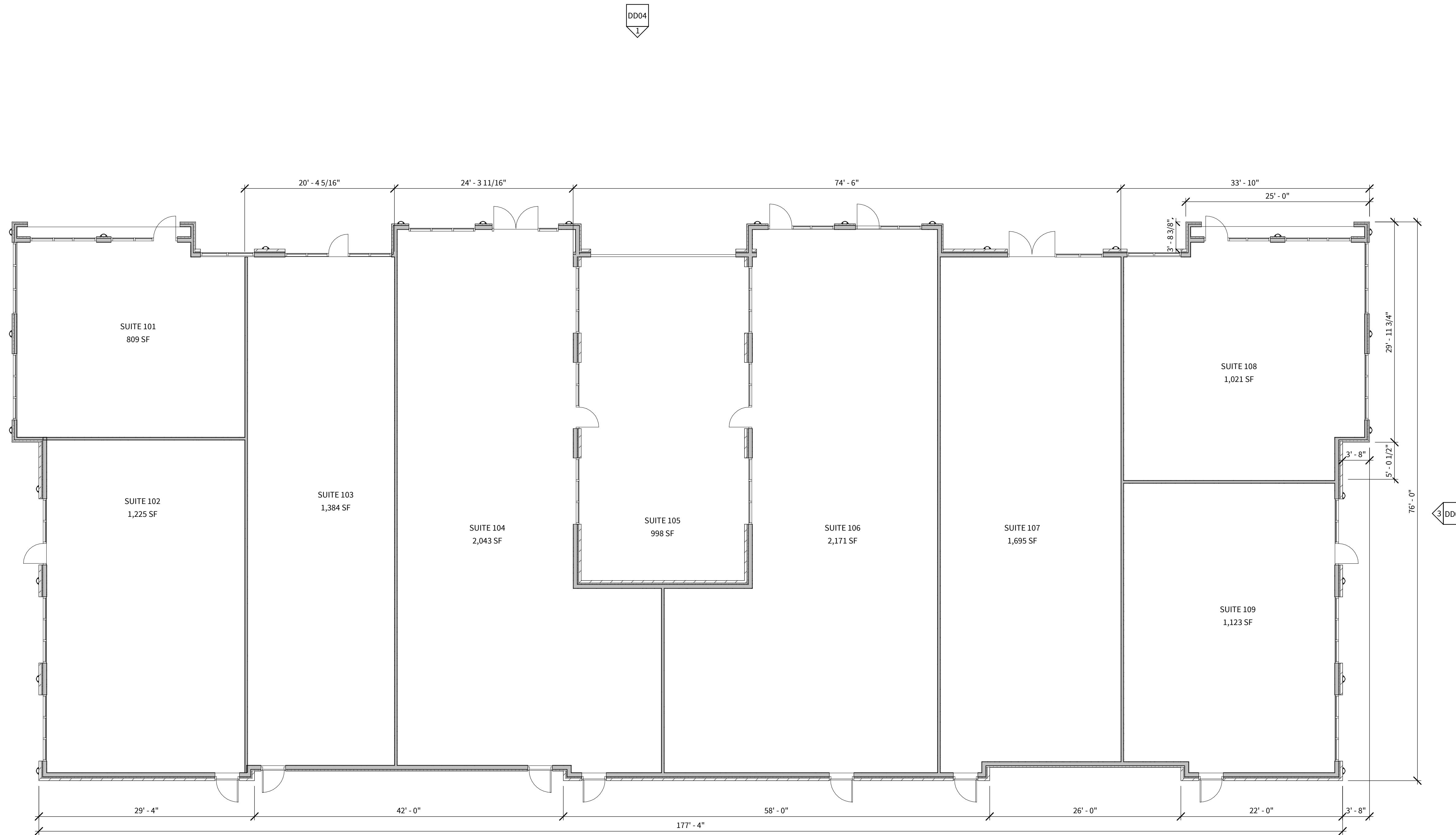




Luminaire Schedule				Total Lumen Output	Total Input Watts	Light Loss Factor	User Defined Factor
SA	SQ2	1	LITHONIA RSK1 LED P4 40K R3 MVOLT [MOUNT] [FINISH] DM28AS @ 20' MH	3356	1,000	0.850	1.000
SA	21	21	LITHONIA RSK1 LED P4 40K R3 MVOLT [MOUNT] [FINISH] DM19AS @ 20' MH	16359	133.14	0.850	1.000
SW	69	69	LITHONIA WDG2 LED P4 40K 80CRI T4M MVOLT SRM [FINISH]	4177	46.659	0.850	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (ft.)	Units	Avg	Max	Min	Avg/Min
GRADE Planar	0	FC	0.65	6.4	0.0	N.A.
PARKING AND DRIVEWAY		FC	1.29	6.4	0.0	N.A.

- Notes:
1. Surface reflectance: Vertical/Horizontal - 50/20.
 2. Calculation values are as height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. System lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.



TRUE **1** **FLOOR PLAN - LOT 2 BUILDING A**
 SCALE: 1/8" = 1'-0"

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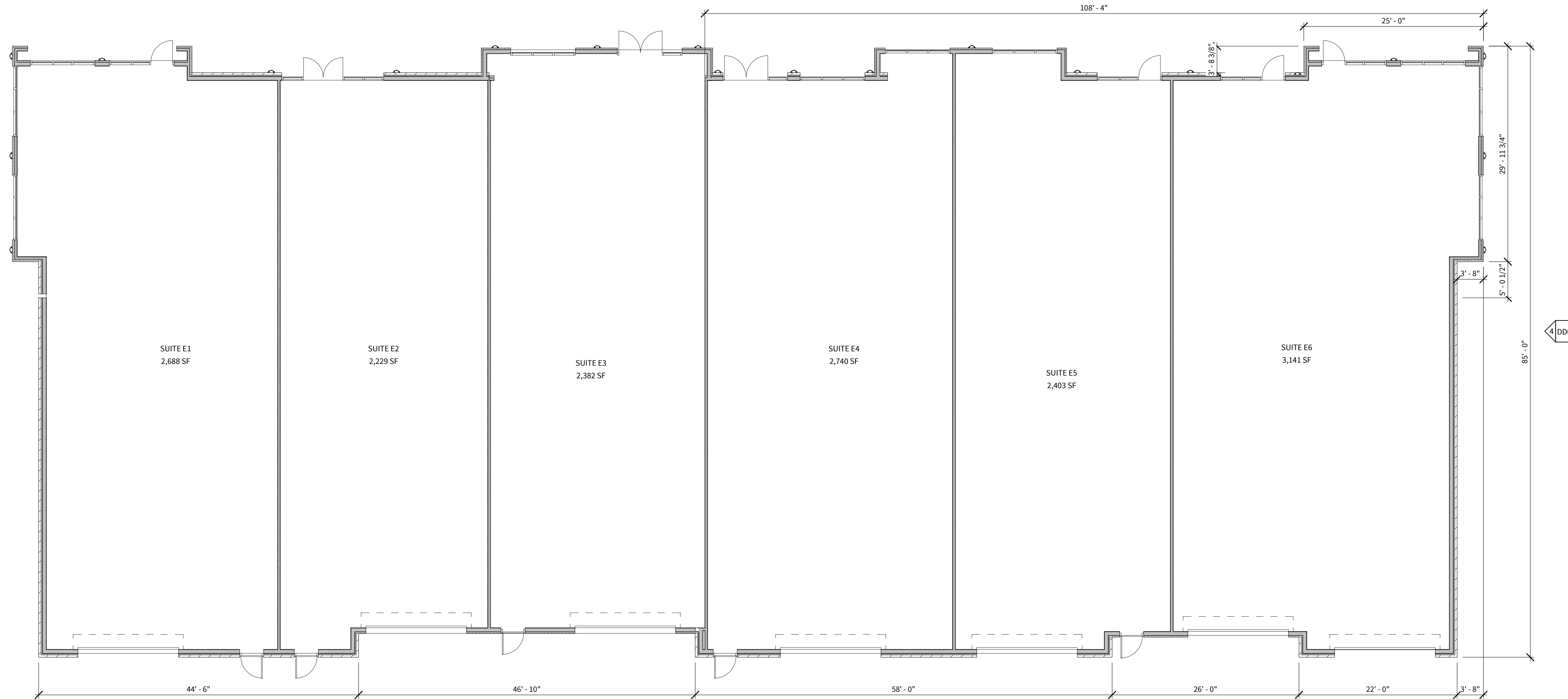
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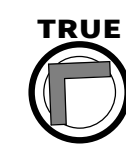
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 ARCHITECT:
 JUSTIN S. GILMORE
 LEVEL 5 ARCHITECTURE

DD04



DD04

DD04



FLOOR PLAN - LOT 4 BUILDING A

SCALE: 1/8" = 1'-0"

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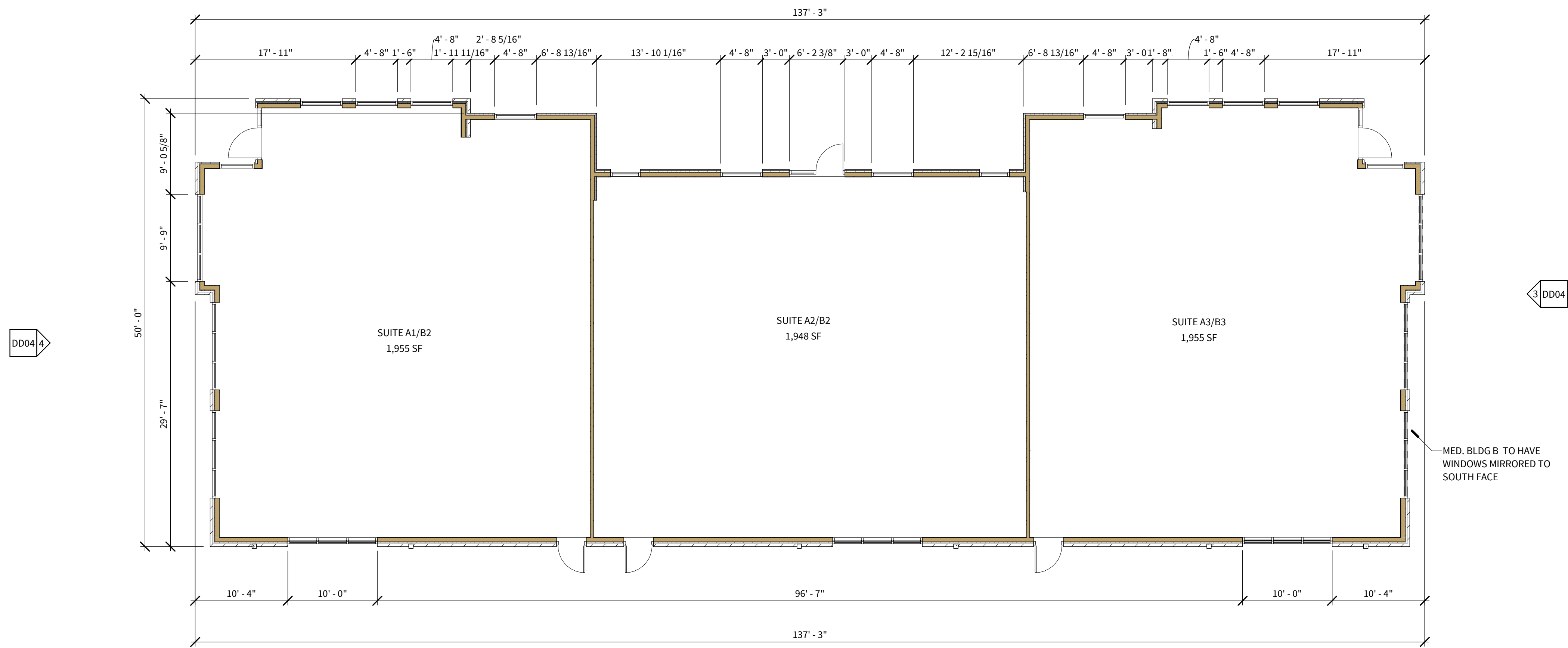
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TRUE
1 FLOOR PLAN - LOT 5 A & B
 SCALE: 1/8" = 1'-0"

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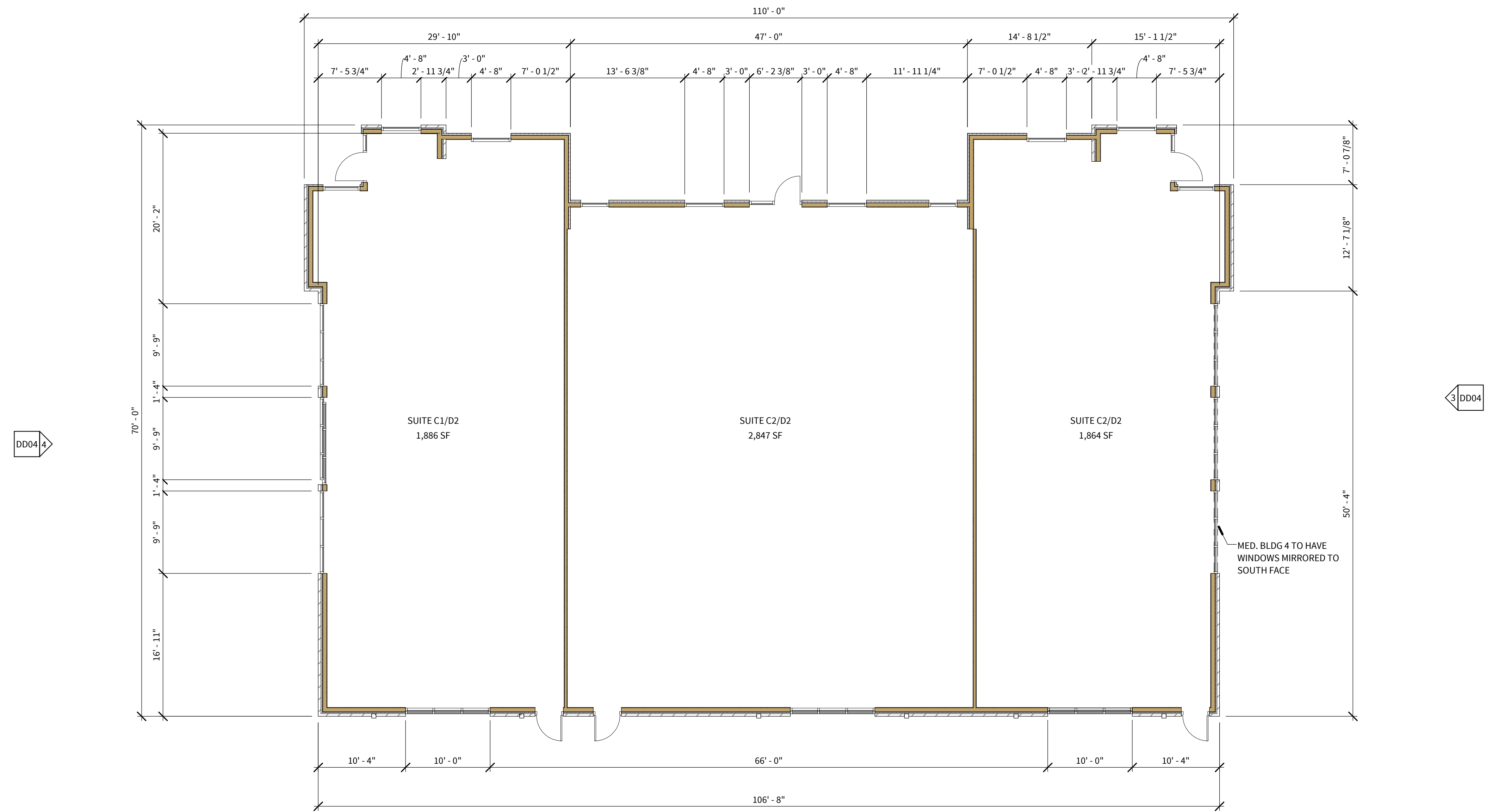
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 LEVEL 5 ARCHITECTURE



TRUE **1** **FLOOR PLAN - LOT 5 BUILDING C & D**
 SCALE: 1/8" = 1'-0"

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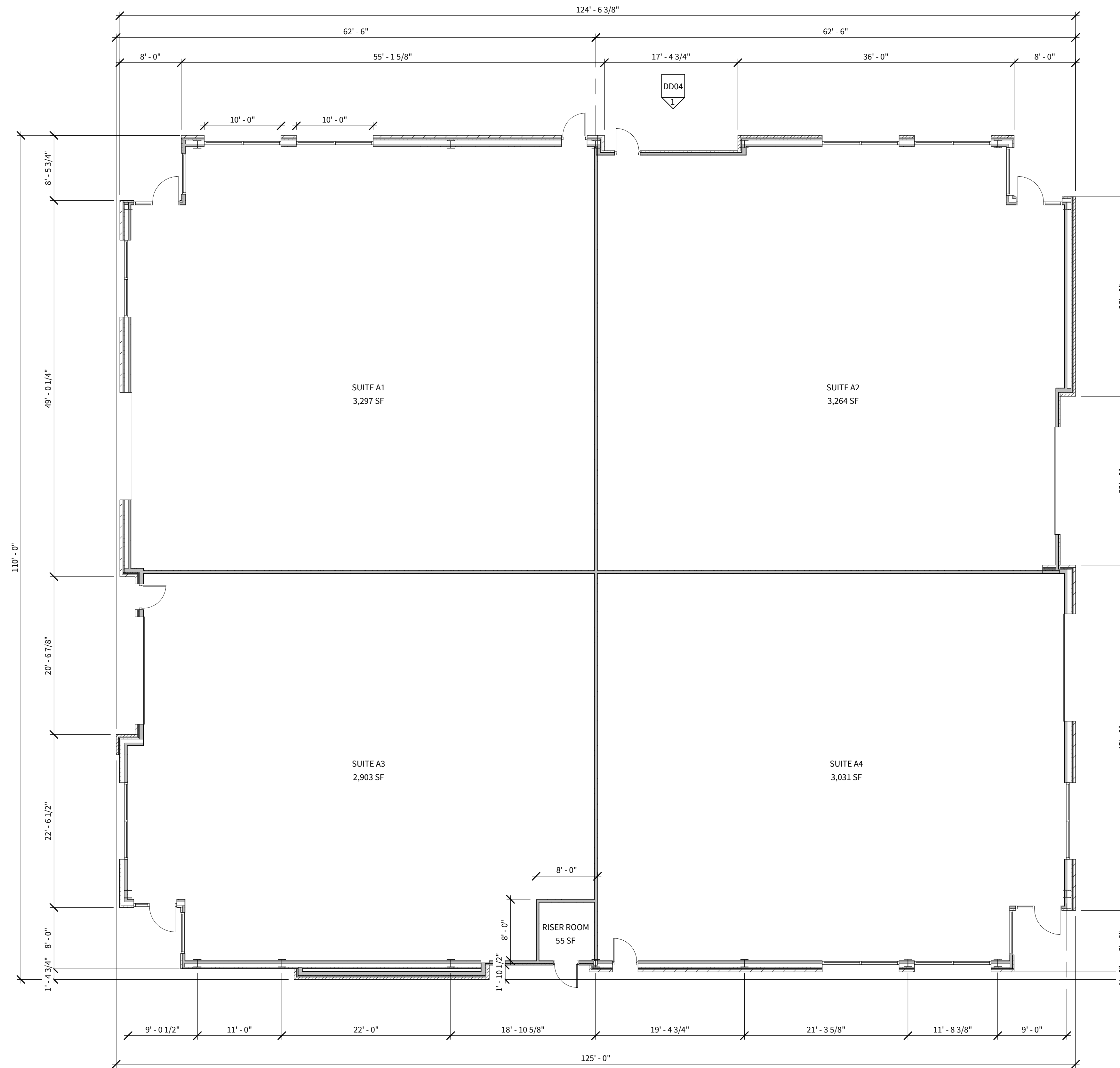
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TRUE 1 FLOOR PLAN - LOT 6 BUILDING A
 SCALE: 1/8" = 1'-0"

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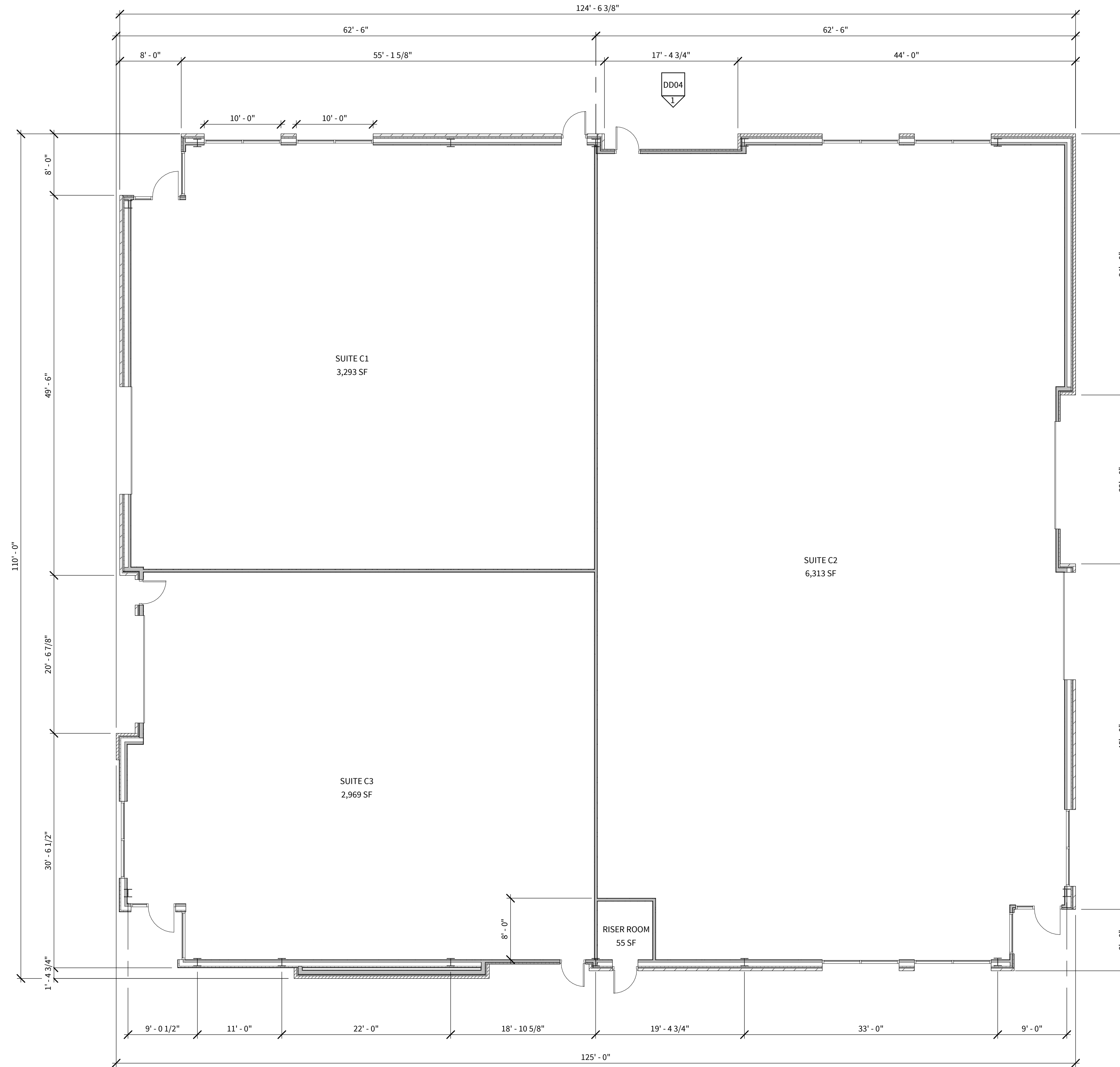
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 level5architecture.com

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ARCHITECT:
 JUSTIN S. GILMORE
 LEVEL 5 ARCHITECTURE



DD04 3

DD04 4

DD04 2

TRUE 1 FLOOR PLAN - LOT 6 BUILDING B
 SCALE: 1/8" = 1'-0"

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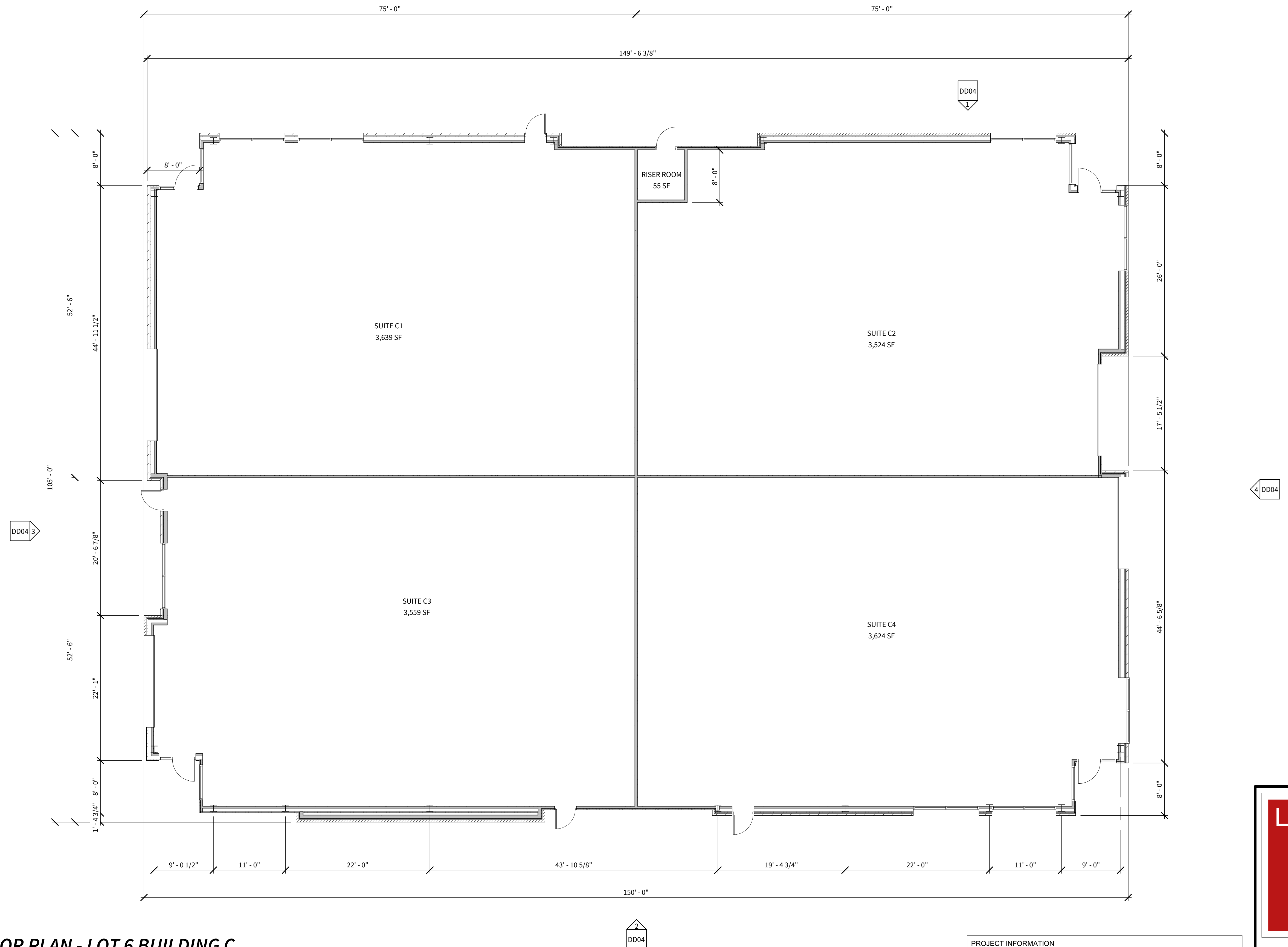
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TRUE **1** **FLOOR PLAN - LOT 6 BUILDING C**
 SCALE: 1/8" = 1'-0"

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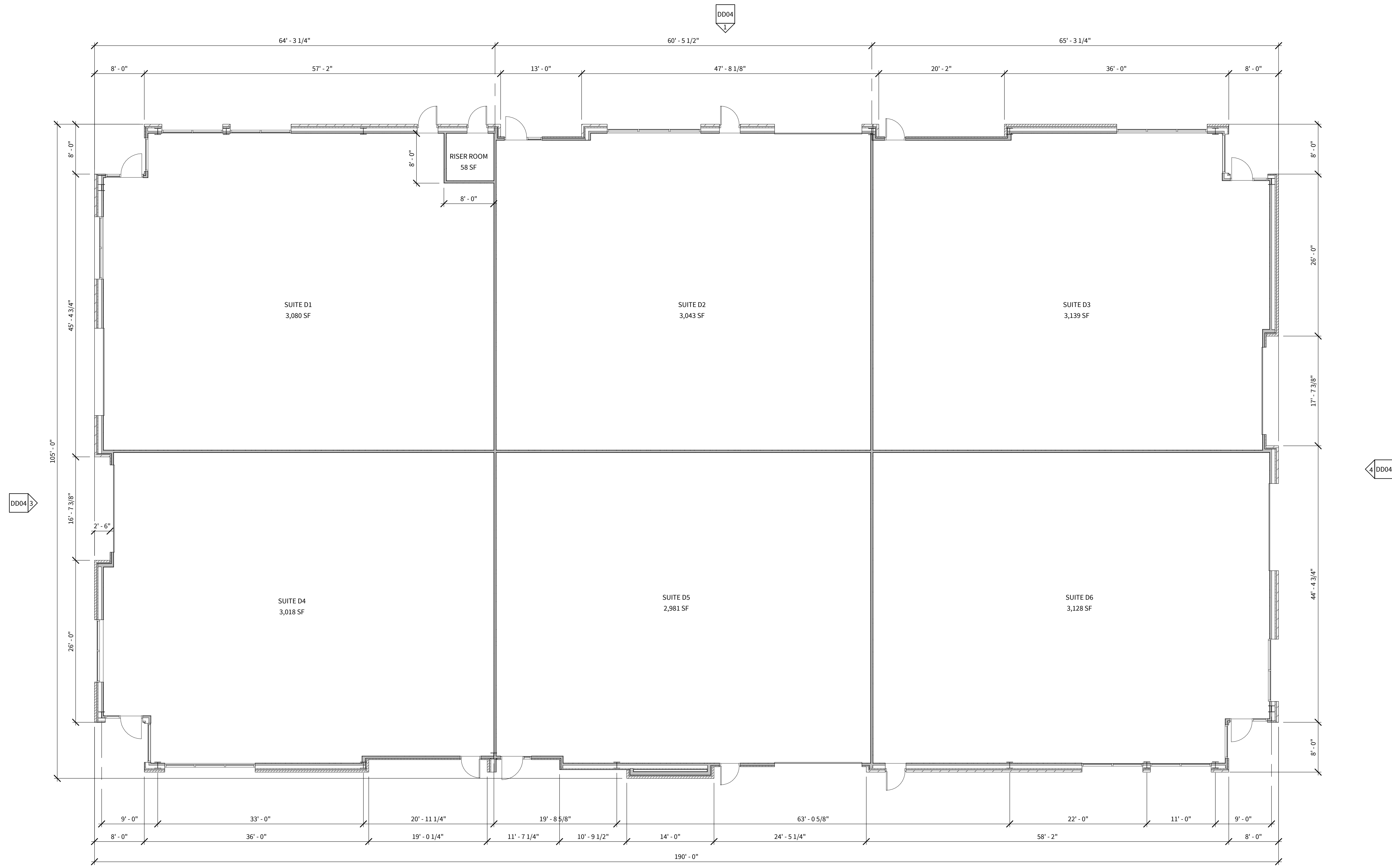
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TRUE **1** **FLOOR PLAN - LOT 6 BUILDING D**
 SCALE: 1/8" = 1'-0"

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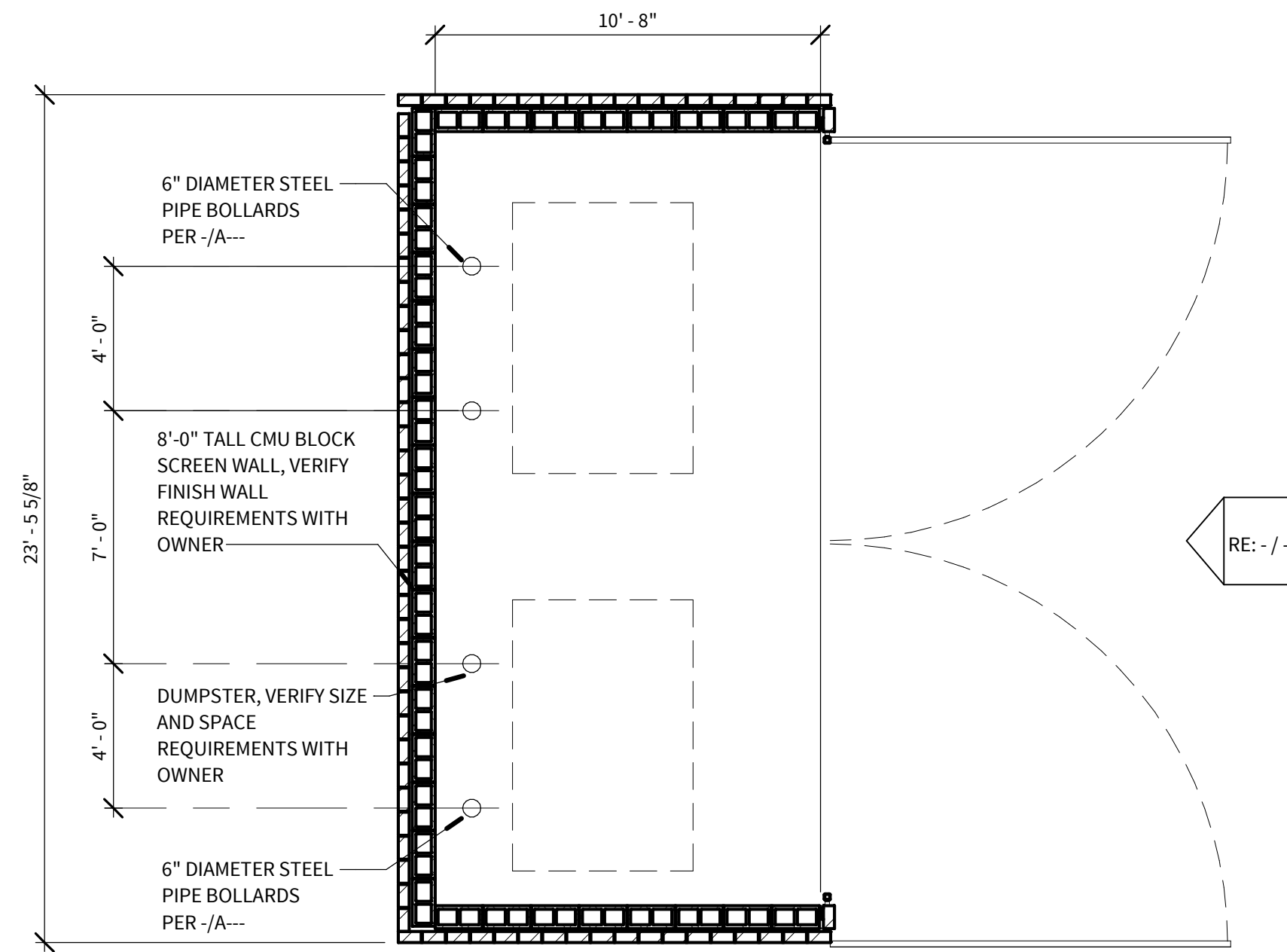
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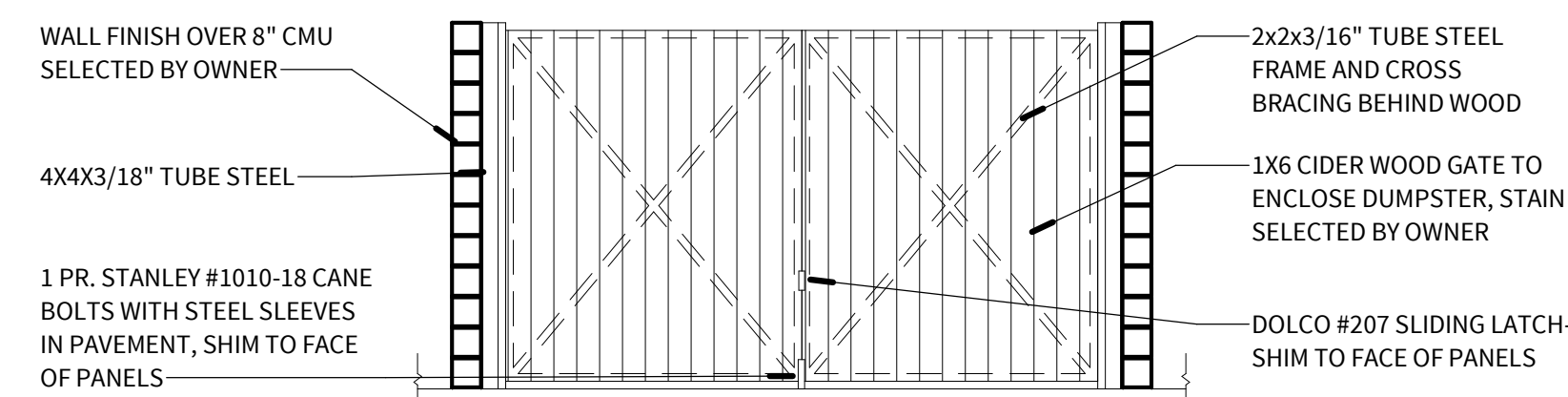
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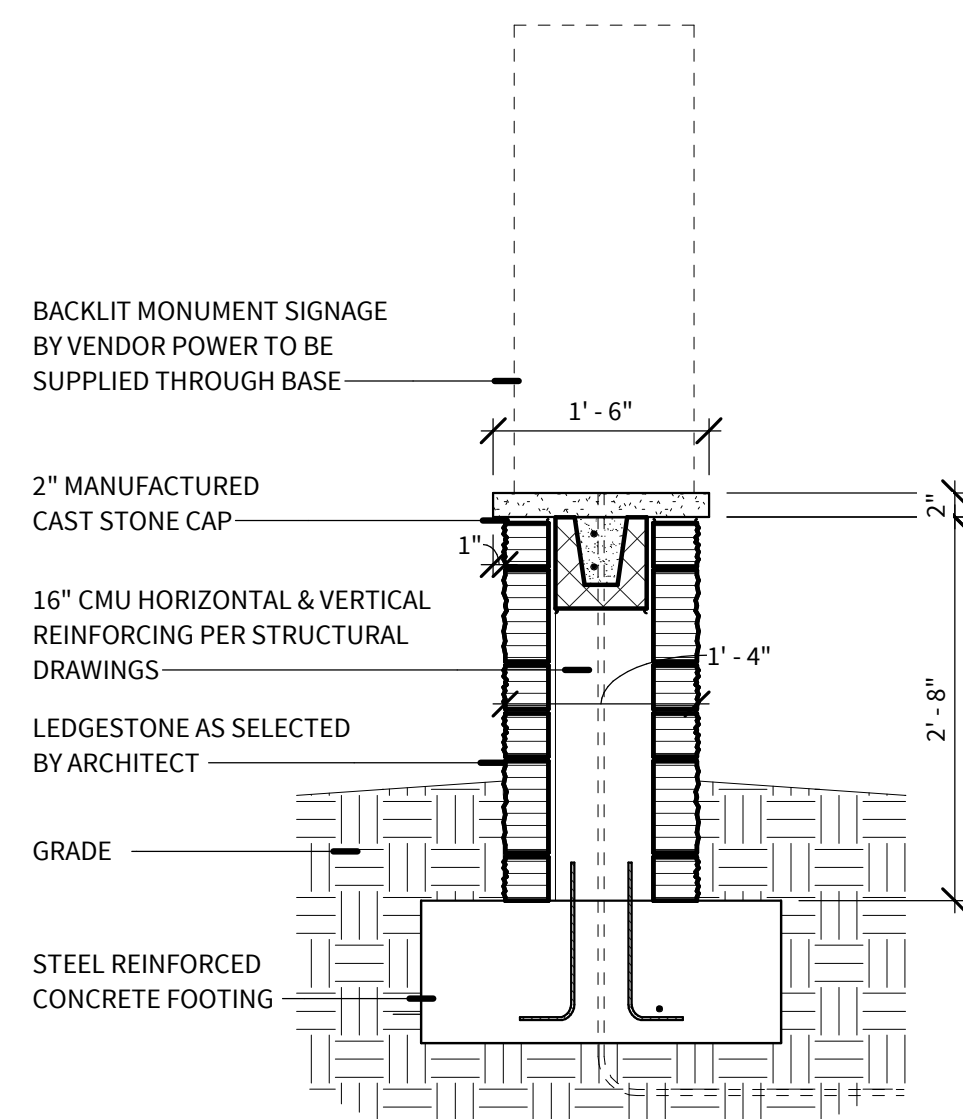
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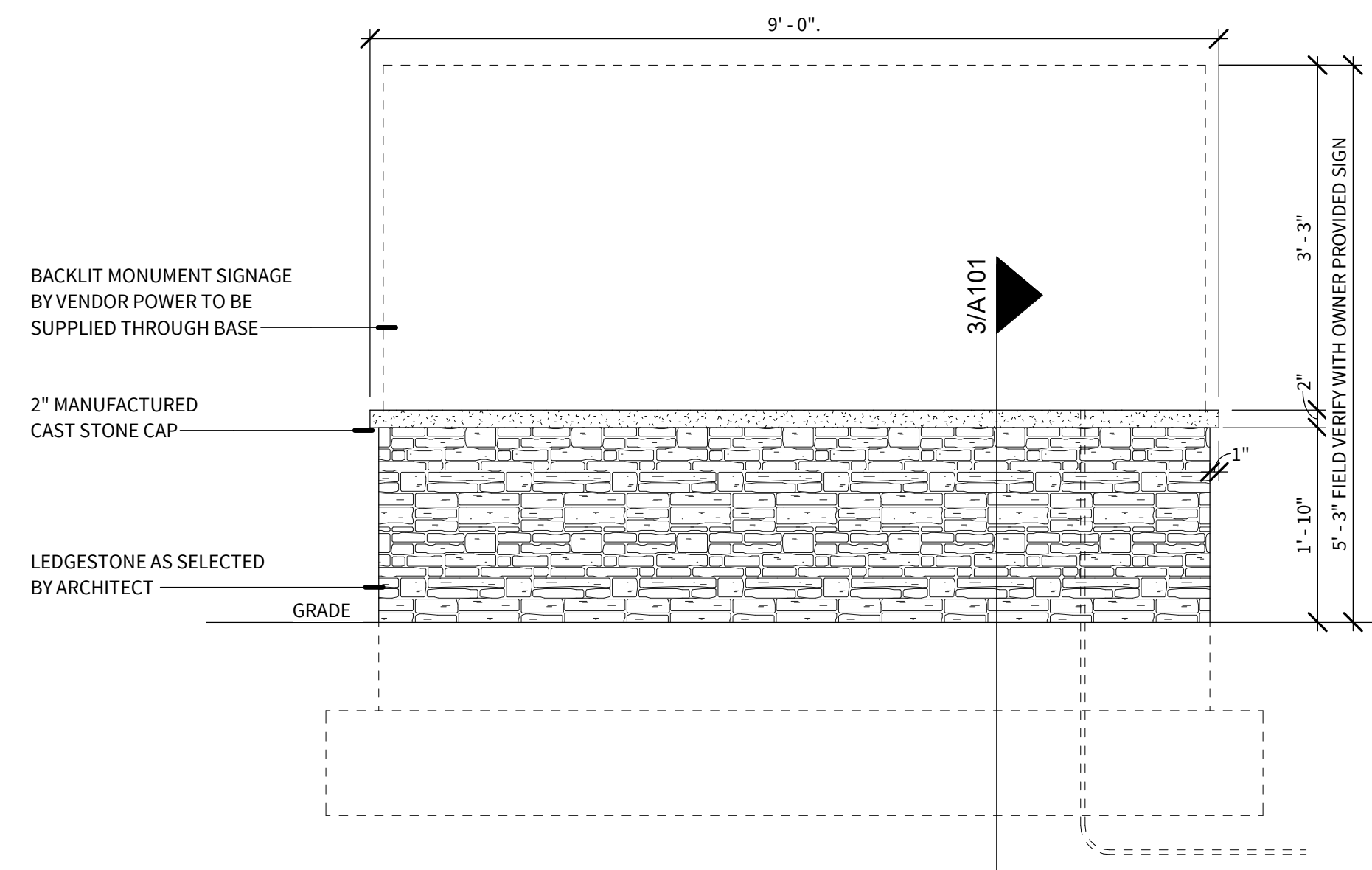
③ DUMPSTER ENCLOSURE ENLARGED PLAN
SCALE: 1/4" = 1'-0"



② DUMPSTER ENCLOSURE GATE ELEVATION
SCALE: 1/4" = 1'-0"



④ MONUMENT SIGNAGE SECTION
SCALE: 3/4" = 1'-0"



① MONUMENT SIGNAGE ELEVATION
SCALE: 3/4" = 1'-0"

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ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 ARCHITECTURE

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	GENERAL RETAIL (GR) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	S
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Convent, Monastery, or Temple	(4)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
Private Sports Court with Standalone or Dedicated Lighting	(22)	(18)	P
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
Convalescent Care Facility/Nursing Home	(6)		P
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Daycare with Seven (7) or More Children	(9)	(4)	P
Emergency Ground Ambulance Services	(10)		P
Group or Community Home	(11)	(5)	P
Government Facility	(12)		P
Hospice	(14)		P
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Temporary Education Building for a Public or Private School	(23)	(9)	S
Trade School	(24)		S
Social Service Provider (<i>Except Rescue Mission or Homeless Shelter</i>)	(26)		S
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P
Financial Institution without Drive-Through	(1)		P

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	GENERAL RETAIL (GR) DISTRICT
Office or Medical Office Building less than 5,000 SF	(2) & (3)		P
Office or Medical Office Building 5,000 SF or Greater	(2) & (3)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	S
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		S
Golf Driving Range	(6)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	S
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	S
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
Theater	(15)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Alcoholic Beverage Package Sales	(1)	(1)	P
Antique/Collectible Store	(3)		P
Astrologer, Hypnotist, or Psychic	(4)		P
Banquet Facility/Event Hall	(5)		P
Portable Beverage Service Facility	(6)	(3)	S
Brew Pub	(7)		P
Business School	(8)		P
Catering Service	(9)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(10)	(4)	P
Copy Center	(11)		P
Craft/Micro Brewery, Distillery and/or Winery	(12)	(5)	S
Incidental Display	(13)	(6)	P
Food Trucks/Trailers	(14)	(7)	P
Garden Supply/Plant Nursery	(15)		P
General Personal Service	(16)	(8)	P
General Retail Store	(17)		P
Hair Salon and/or Manicurist	(18)		P
Laundromat with Dropoff/Pickup Services	(19)		P
Self Service Laundromat	(20)		P
Massage Therapist	(21)		P
Private Museum or Art Gallery	(22)		P
Night Club, Discotheque, or Dance Hall	(23)		S
Permanent Cosmetics	(25)	(9)	A

LEGEND:

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PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	GENERAL RETAIL (GR) DISTRICT
Pet Shop	(26)		P
Temporary Real Estate Sales Office	(27)		P
Rental Store without Outside Storage and/or Display	(28)	(10)	S
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(29)	(11)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(30)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(29)	(12)	S
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(30)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>)	(31)	(13)	P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(32)	(13)	S
Secondhand Dealer	(33)		P
Art, Photography, or Music Studio	(33)		P
Tailor, Clothing, and/or Apparel Shop	(34)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Locksmith	(11)		P
Shoe and Boot Repair and Sales	(16)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Minor Auto Repair Garage	(2)	(2)	S
Full Service Car Wash and Auto Detail	(5)	(4)	S
Self Service Car Wash	(5)	(4)	S
Non-Commercial Parking Lot	(9)		P
Service Station	(11)	(8)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna for an Amateur Radio	(3)	(2)	A
Antenna Dish	(4)	(3)	A
Freestanding Commercial Antenna (<i>i.e. Monopole or a Similar Structure</i>)	(5)	(4)	P
Mounted or Attached Commercial Antenna	(6)	(5)	P
Helipad	(9)		S
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses (<i>Includes Utilities with a Franchise Utility Agreement with the City of Rockwall</i>)	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		S

LEGEND:

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X	Land Use Prohibited by Overlay District
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PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	GENERAL RETAIL (GR) DISTRICT
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
TV Broadcasting and Other Communication Service	(20)		S
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S

LEGEND:

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PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	COMMERCIAL (C) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Convent, Monastery, or Temple	(4)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
Private Sports Court with Standalone or Dedicated Lighting	(22)	(18)	P
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		S
Convalescent Care Facility/Nursing Home	(6)		P
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Daycare with Seven (7) or More Children	(9)	(4)	P
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		P
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Temporary Education Building for a Public or Private School	(23)	(9)	S
Trade School	(24)		P
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P
Financial Institution without Drive-Through	(1)		P
Office or Medical Office Building less than 5,000 SF	(2) & (3)		P

LEGEND:

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PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	COMMERCIAL (C) DISTRICT
Office or Medical Office Building 5,000 SF or Greater	(2) & (3)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	P
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		S
Golf Driving Range	(6)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	P
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	P
Private Sports Arena, Stadium, and/or Track	(11)		S
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
Theater	(15)		P
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Alcoholic Beverage Package Sales	(1)	(1)	P
Alcoholic Beverage Store	(2)	(2)	S
Antique/Collectible Store	(3)		P
Astrologer, Hypnotist, or Psychic	(4)		P
Banquet Facility/Event Hall	(5)		P
Portable Beverage Service Facility	(6)	(3)	S
Brew Pub	(7)		P
Business School	(8)		P
Catering Service	(9)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(10)	(4)	P
Copy Center	(11)		P
Craft/Micro Brewery, Distillery and/or Winery	(12)	(5)	S
Incidental Display	(13)	(6)	P
Food Trucks/Trailers	(14)	(7)	P
Garden Supply/Plant Nursery	(15)		P
General Personal Service	(16)	(8)	P
General Retail Store	(17)		P
Hair Salon and/or Manicurist	(18)		P
Laundromat with Dropoff/Pickup Services	(19)		P
Self Service Laundromat	(20)		P
Massage Therapist	(21)		P
Private Museum or Art Gallery	(22)		P
Night Club, Discotheque, or Dance Hall	(23)		P

LEGEND:

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PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	COMMERCIAL (C) DISTRICT
Pawn Shop	(24)		S
Permanent Cosmetics	(25)	(9)	A
Pet Shop	(26)		P
Temporary Real Estate Sales Office	(27)		P
Rental Store without Outside Storage and/or Display	(28)	(10)	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(29)	(11)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(30)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(29)	(12)	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(30)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>)	(31)	(13)	P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(32)	(13)	P
Secondhand Dealer	(33)		P
Art, Photography, or Music Studio	(33)		P
Tailor, Clothing, and/or Apparel Shop	(34)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Bail Bond Service	(1)		S
Building and Landscape Material with Limited Outside Storage	(2)	(2)	P
Building Maintenance, Service, and Sales without Outside Storage	(3)		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Furniture Upholstery/Refinishing and Resale	(8)	(4)	S
Heavy Machinery and Equipment Rental, Sales, and Service	(10)	(5)	S
Locksmith	(11)		P
Research and Technology or Light Assembly	(15)		S
Shoe and Boot Repair and Sales	(16)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Minor Auto Repair Garage	(2)	(2)	S
Automobile Rental	(3)		S
New or Used Boat and Trailer Dealership	(4)	(3)	S
Full Service Car Wash and Auto Detail	(5)	(4)	P
Self Service Car Wash	(5)	(4)	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	(6)	(5)	S
New Motor Vehicle Dealership-for Cars and Light Trucks	(7)	(6)	S
Used Motor Vehicle Dealership for Cars and Light Trucks)	(7)	(7)	A
Commercial Parking	(8)		P
Non-Commercial Parking Lot	(9)		P
Recreational Vehicle (RV) Sales and Service	(10)		S
Service Station	(11)	(8)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	

LEGEND:

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P	Land Use Permitted with Conditions
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X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	COMMERCIAL (C) DISTRICT
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials	(12)	(5)	S
WHOLESALE, DISTRIBUTION AND STORAGE LAND USES	2.02(J)	2.03(J)	
Mini-Warehouse	(4)	(1)	S
Wholesale Showroom Facility	(8)		S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna for an Amateur Radio	(3)	(2)	A
Antenna Dish	(4)	(3)	A
Freestanding Commercial Antenna (<i>i.e. Monopole or a Similar Structure</i>)	(5)	(4)	P
Mounted or Attached Commercial Antenna	(6)	(5)	P
Commercial Drone Delivery Hub	(8)	(6)	S
Helipad	(9)		S
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses (<i>Includes Utilities with a Franchise Utility Agreement with the City of Rockwall</i>)	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		P
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
TV Broadcasting and Other Communication Service	(20)		S
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S

● **COMMERCIAL/RETAIL (CR)**

The *Commercial/Retail* land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions. Zoning in conformance with the Commercial/Retail land uses category can be incorporated into a Planned Development (PD) District as part of a larger mix-use master planned community, and may vary in size depending on the adjacent service area. In certain cases where commercial land uses are eminent, it may be appropriate to incorporate zoning in conformance to the Commercial land use category on all four (4) corners of an intersection; however, this is not necessary in all cases. These areas should be designed with the pedestrian in mind, and provide connections between the commercial land use and the adjacent residential subdivision.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-Tenant Commercial Centers, Neighborhood Centers and Convenience Centers
- 2 Secondary Land Uses: Office/Financial Institutions, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Neighborhood Services (NS) District, General Retail (GR) District, Commercial (C) District and certain mixed-use Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Shops at Stone Creek
- 2 Corner of the Intersection of N. Lakeshore Drive and N. Goliad Street [SH-205]
- 3 Walmart Neighborhood Market Shopping Center



● **COMMERCIAL/INDUSTRIAL (CI)**

The *Commercial/Industrial* land use category typically is characterized by smaller business and industrial land uses that are focused around assembly, manufacturing and fabrication. This designation may also accommodate land uses that require outside storage. These areas are also appropriate for small business and business incubator arrangements. Land uses under this designation should be heavily screened by landscaping and should be separated from other land uses using large buffers and roadways. These areas are not appropriate adjacent to residential land use designations and should be separated from these areas using transitional land uses.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Small Scale Manufacturing, Assembly, and Fabrication Businesses, Business Incubators, Contractors Shops, and Heavy Equipment/Truck Rental Businesses
- 2 Secondary Land Uses: Warehouse and Outside Storage
- 3 Zoning Districts: Heavy Commercial (HC) District and Heavy Industrial (HI) District

EXISTING LAND USE EXAMPLES

- 1 Areas Adjacent to National Drive
- 2 Areas Adjacent to Sids Road

● **BUSINESS CENTERS (BC)**

The Business Center land use designation is intended to provide areas with a variety of employment options. While focusing on employment land uses, these areas may also incorporate limited supporting land uses (*e.g. restaurants and commercial-retail*) that complement the primary land uses. These areas should be designed with public amenities and greenspaces, increased landscaping, and unique design features that will help create a sense of place.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Professional Offices, Corporate Offices, General Offices, Institutional Land Uses, Research and Design/Development Businesses, and Technology/Data Centers.
- 2 Secondary Land Uses: Supporting Restaurants and Commercial-Retail Land Uses, Hotels, Parks, Open Space and Civic Uses
- 3 Zoning Districts: Commercial (C) District, Light Industrial (LI) District, and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Trend Tower

18 SOUTHWEST RESIDENTIAL DISTRICT

DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

2 **Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 **Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 **Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



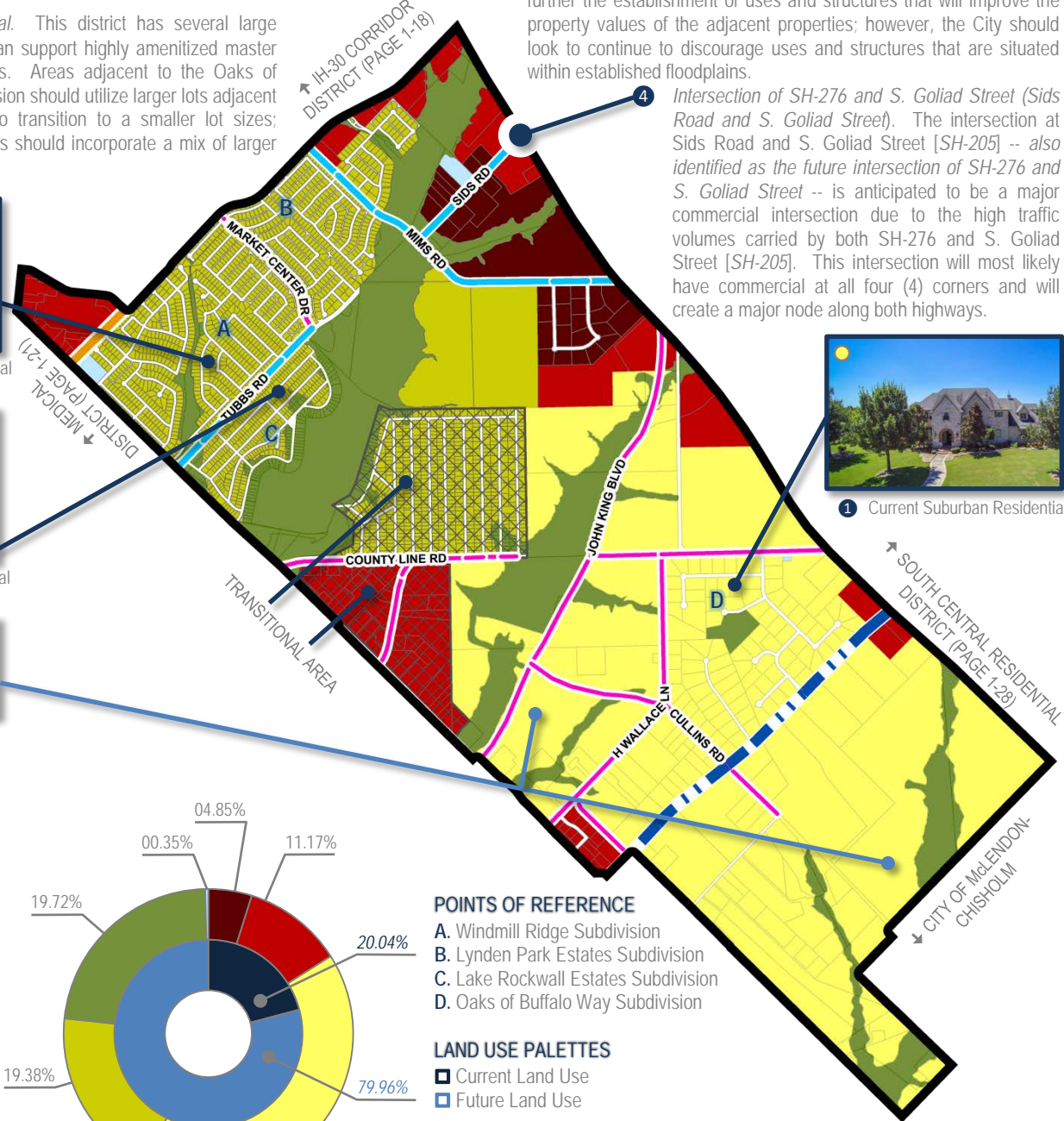
1 Current Suburban Residential



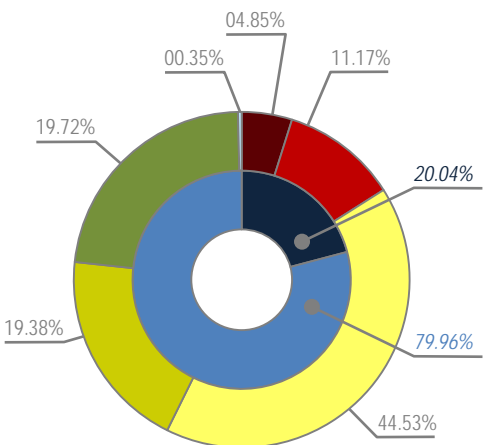
1 Current Suburban Residential



1 Future Suburban Residential



BUILD OUT		4,251
		14,108
% OF ROCKWALL		10.95%
		10.34%
		12.49%
CURRENT		2,190
		188
		7,437



- POINTS OF REFERENCE**
- A. Windmill Ridge Subdivision
 - B. Lynden Park Estates Subdivision
 - C. Lake Rockwall Estates Subdivision
 - D. Oaks of Buffalo Way Subdivision

- LAND USE PALETTES**
- Current Land Use
 - Future Land Use

	COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
	COMMERCIAL/RETAIL (CR)	277.44-ACRES
	LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
	MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
	PARKS AND OPEN SPACE (OS)	489.99-ACRES
	QUASI-PUBLIC (QP)	8.67-ACRES

	MINOR COLLECTOR
	M4D
	M4U
	TXDOT 4D
	COMMERCIAL 20.04%
	RESIDENTIAL 79.96%
	MIXED USE 0.00%

CITY OF ROCKWALL

ORDINANCE NO. ~~25-XX~~

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [~~ORDINANCE NO. 20-02~~] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT AND A COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT ~~XX~~ (PD-~~XX~~) FOR GENERAL RETAIL (GR) DISTRICT AND COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 15.601-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a zoning change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses, on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [~~SH-205~~] and Lofland Circle, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [~~Ordinance No. 20-02~~] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [~~Ordinance No. 20-02~~] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

SECTION 3. All depicted in *Exhibit 'C'* of this ordinance shall generally be in accordance with the *Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF DECEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 17, 2025

2nd Reading: December 1, 2025

DRAFT
ORDINANCE
10.28.2025

Exhibit 'A':
Legal Description

BEING a 15.601-acre tract of land situated in the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, being all of Miller Family Investments, LP, record in Instrument Number 2008-00408220, Deed Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

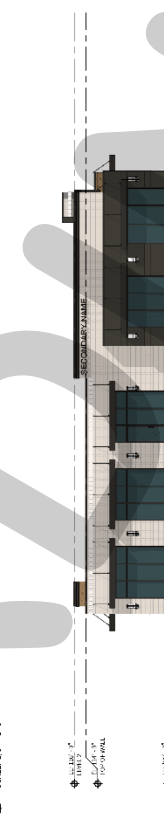
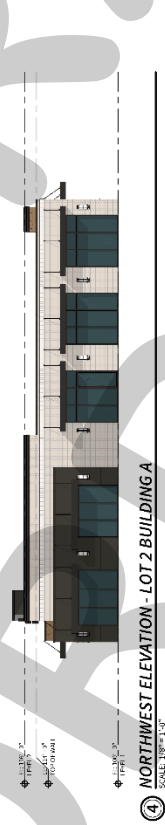
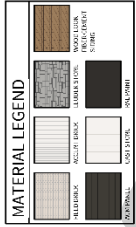
BEGINNING at a ½ inch iron rod found for corner in the most northerly corner of said Miller tract, same an interior corner of Layza and Luna Real Estate, LLC, recorded in Instrument Number 20220000001115, Deed Record Rockwall County, Texas, also being a point in the most westerly Right-of-Way line of Goliad Street (variable width Right-of-Way), from which a ½ inch rod found bears, North 43 degrees 32 minutes 03 seconds West, 40.00 feet;

Thence South

Exhibit 'C':
Building Elevations

MATERIAL CALCULATIONS

ITEM	DESCRIPTION	UNIT	QTY	AREA	WT
1	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
2	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
3	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
4	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
5	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
6	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
7	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
8	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
9	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
10	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
11	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
12	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
13	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
14	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
15	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
16	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
17	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
18	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
19	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
20	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
21	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
22	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
23	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
24	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
25	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
26	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
27	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
28	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
29	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
30	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
31	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
32	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
33	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
34	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
35	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
36	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
37	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
38	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
39	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
40	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
41	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
42	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
43	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
44	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
45	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
46	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
47	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
48	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
49	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
50	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
51	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
52	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
53	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
54	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
55	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
56	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
57	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
58	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
59	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
60	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
61	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
62	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
63	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
64	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
65	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
66	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
67	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
68	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
69	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
70	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
71	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
72	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
73	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
74	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
75	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
76	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
77	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
78	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
79	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
80	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
81	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
82	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
83	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
84	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
85	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
86	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
87	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
88	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
89	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
90	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
91	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
92	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
93	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
94	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
95	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
96	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180
97	WOOD SHAKES (HORIZONTAL)	SQ. FT.	120	120	180
98	WOOD SHAKES (VERTICAL)	SQ. FT.	120	120	180
99	WOOD SHAKES (DIAGONAL)	SQ. FT.	120	120	180
100	WOOD SHAKES (RANDOM)	SQ. FT.	120	120	180



Level 5 Architecture
ARCHITECTS
10000 N. CENTRAL EXPRESSWAY, SUITE 1000
DALLAS, TEXAS 75243
PHONE: 214.343.1111
WWW.LEVEL5ARCHITECTS.COM

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DATE: 08/15/2023
PROJECT: 25-0225-00000

DATE: 08/15/2023
PROJECT: 25-0225-00000

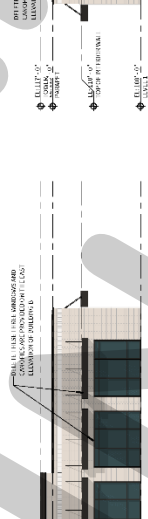
Exhibit 'C': Building Elevations

MATERIAL CALCULATIONS		
ITEM	QUANTITY	AREA
BRICK	18,000	18,000
WOOD	1,000	1,000
GLASS	1,000	1,000
ROOFING	1,000	1,000
PAINT	1,000	1,000
CONCRETE	1,000	1,000
STEEL	1,000	1,000
INSULATION	1,000	1,000
MECHANICAL	1,000	1,000
ELECTRICAL	1,000	1,000
PLUMBING	1,000	1,000
LANDSCAPE	1,000	1,000
OTHER	1,000	1,000
TOTAL	25,000	25,000

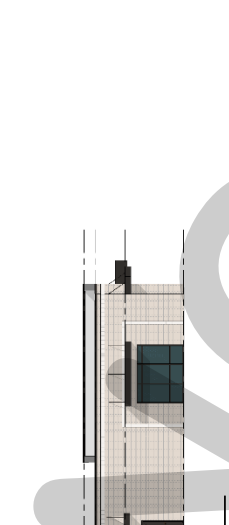
MATERIAL LEGEND	
	BRICK
	WOOD
	GLASS
	ROOFING
	PAINT
	CONCRETE
	STEEL
	INSULATION
	MECHANICAL
	ELECTRICAL
	PLUMBING
	LANDSCAPE
	OTHER



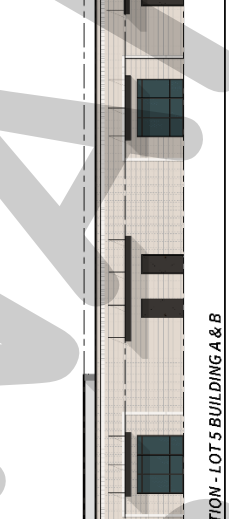
4 NORTHEAST ELEVATION - LOT 5 BUILDING A
SCALE: 1/8" = 1'-0"



3 SOUTHWEST ELEVATION - LOT 5 BUILDING A
SCALE: 1/8" = 1'-0"



2 NORTHWEST ELEVATION - LOT 5 BUILDING A & B
SCALE: 1/8" = 1'-0"



1 SOUTHEAST ELEVATION - LOT 5 BUILDING A & B
SCALE: 1/8" = 1'-0"

LEVEL 5

Level 5 Architecture
Houston, TX | 281.468.1111
level5architects.com

PROFESSIONAL INFORMATION
I, the undersigned, being a duly licensed Professional Engineer in the State of Texas, hereby certify that I am the author of the above drawings and that I am a duly licensed Professional Engineer in the State of Texas.

DESIGNER
LEVEL 5 ARCHITECTURE
11111 RICHMOND AVE., SUITE 1000
HOUSTON, TX 77006
TEL: 281.468.1111

DATE
08/20/2025

PROJECT
ZONING CHANGE (AG & C TO PD)
ORDINANCE NO. 25-XX; PD-XX
10.20.2025

CLIENT
CITY OF ROCKWALL
1000 ROCKWALL AVENUE
ROCKWALL, TX 75087
TEL: 972.468.1111

SCALE
1/8" = 1'-0"

DATE
08/20/2025

Exhibit 'C': Building Elevations

MATERIALS CALCULATIONS		
ORIENTATION	MATERIAL	%
SOUTHWEST ELEVATION	BRICK	53.3
SOUTHWEST ELEVATION	WOOD	4.8
SOUTHWEST ELEVATION	CONCRETE	41.9
SOUTHWEST ELEVATION	GLASS	1.0
SOUTHWEST ELEVATION	OTHER	0.0
SOUTHWEST ELEVATION	TOTAL	100.0
NORTHWEST ELEVATION	BRICK	54.6
NORTHWEST ELEVATION	WOOD	4.8
NORTHWEST ELEVATION	CONCRETE	37.8
NORTHWEST ELEVATION	GLASS	1.8
NORTHWEST ELEVATION	OTHER	0.0
NORTHWEST ELEVATION	TOTAL	100.0
SOUTHWEST ELEVATION	BRICK	53.3
SOUTHWEST ELEVATION	WOOD	4.8
SOUTHWEST ELEVATION	CONCRETE	41.9
SOUTHWEST ELEVATION	GLASS	1.0
SOUTHWEST ELEVATION	OTHER	0.0
SOUTHWEST ELEVATION	TOTAL	100.0
SOUTHWEST ELEVATION	BRICK	53.3
SOUTHWEST ELEVATION	WOOD	4.8
SOUTHWEST ELEVATION	CONCRETE	41.9
SOUTHWEST ELEVATION	GLASS	1.0
SOUTHWEST ELEVATION	OTHER	0.0
SOUTHWEST ELEVATION	TOTAL	100.0

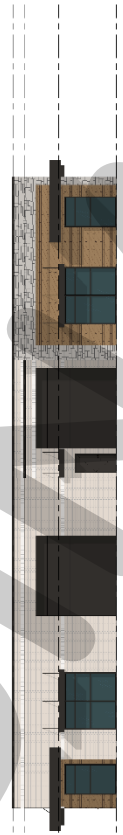
MATERIAL LEGEND	
	BRICK
	WOOD
	CONCRETE
	GLASS
	OTHER



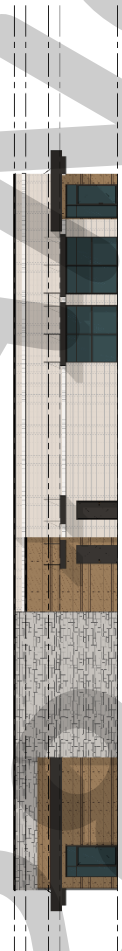
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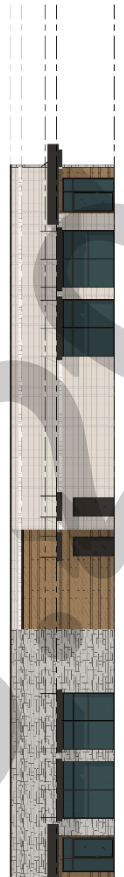
④ **SOUTHEAST ELEVATION - LOT 6 BUILDING A**
SCALE: 1/8" = 1'-0"



③ **NORTHWEST ELEVATION - LOT 6 BUILDING A**
SCALE: 1/8" = 1'-0"



② **SOUTHWEST ELEVATION - LOT 6 BUILDING A**
SCALE: 1/8" = 1'-0"



① **NORTHEAST ELEVATION - LOT 6 BUILDING A**
SCALE: 1/8" = 1'-0"

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CONTRACTOR
CONCRETE CONSTRUCTION PARTNERS
10000 W. HIGHTWAY 175, SUITE 100
DALLAS, TEXAS 75244
PHONE: 214.343.1111

ARCHITECT
LEVEL 5 ARCHITECTURE

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Exhibit 'C': Building Elevations

MATERIALS CALCULATIONS

ORIENTATION	MATERIAL	AREA	SQ. FT.
NORTHWEST (ELEVATION 3)	BRICK	BRICK	180
	WOOD PANEL	WOOD PANEL	84
	FIELD BRICK	FIELD BRICK	128
	ACCENT BRICK	ACCENT BRICK	15
SOUTHWEST (ELEVATION 2)	BRICK	BRICK	180
	WOOD PANEL	WOOD PANEL	84
	FIELD BRICK	FIELD BRICK	128
	ACCENT BRICK	ACCENT BRICK	15
SOUTHEAST (ELEVATION 4)	BRICK	BRICK	180
	WOOD PANEL	WOOD PANEL	84
	FIELD BRICK	FIELD BRICK	128
	ACCENT BRICK	ACCENT BRICK	15
NORTHEAST (ELEVATION 1)	BRICK	BRICK	180
	WOOD PANEL	WOOD PANEL	84
	FIELD BRICK	FIELD BRICK	128
	ACCENT BRICK	ACCENT BRICK	15

MATERIAL LEGEND

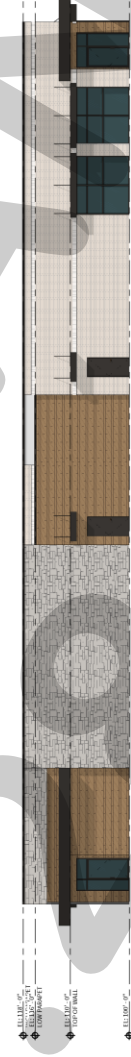
	FIELD BRICK		WOOD PANEL
	ACCENT BRICK		DARK STONE
	DARK STONE		DARK PANEL
	DARK PANEL		DARK WINDOW



④ **SOUTHEAST ELEVATION - LOT 6 BUILDING C**
SCALE: 1/8" = 1'-0"



③ **NORTHWEST ELEVATION - LOT 6 BUILDING C**
SCALE: 1/8" = 1'-0"



② **SOUTHWEST ELEVATION - LOT 6 BUILDING C**
SCALE: 1/8" = 1'-0"



① **NORTHEAST ELEVATION - LOT 6 BUILDING C**
SCALE: 1/8" = 1'-0"

LEVEL 5

Level 5 Architecture
Murfreesboro, TN | Springfield, AR
level5arch.com

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ARCHITECT:
LEVEL 5 ARCHITECTURE

PROJECT INFORMATION

PROJECT: LOT 6 BUILDING C
OWNER: LEVEL 5 ARCHITECTURE, LLC
DATE: 01/15/2025

DESIGNER INFORMATION

DESIGNER: LEVEL 5 ARCHITECTURE, LLC
DESIGNER: LEVEL 5 ARCHITECTURE, LLC
DATE: 01/15/2025

APPROVALS

APPROVED BY: [Signature]
DATE: 01/15/2025

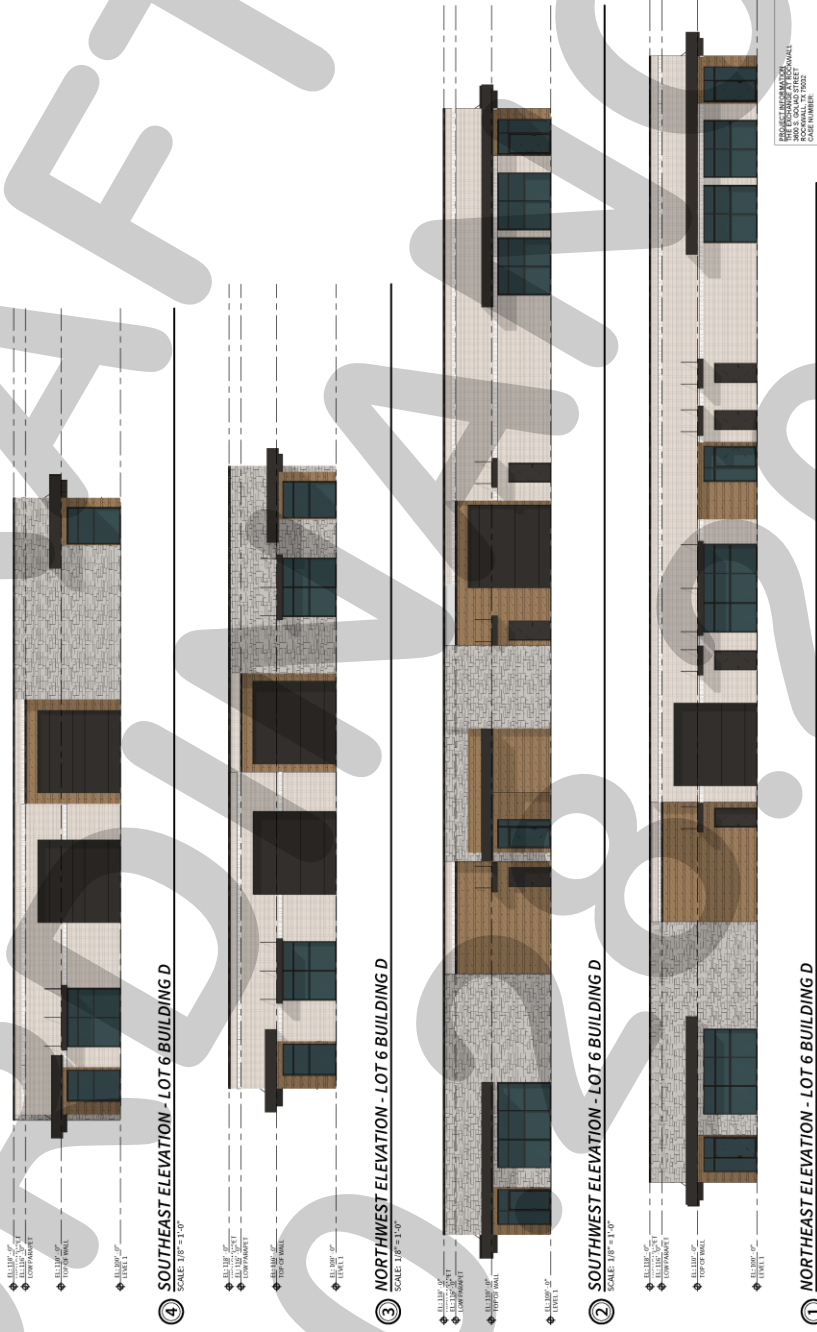
NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL ZONING ORDINANCES AND ANY APPLICABLE ORDINANCES.

Exhibit 'C':
Building Elevations

MATERIALS CALCULATIONS			
ORIENTATION	MATERIAL	AREA	%
NORTHWEST (POINT)	BRICK	13,842	43
NORTHWEST (POINT)	DOORS	2,792	9
NORTHWEST (POINT)	WINDOWS	11,458	36
NORTHWEST (POINT)	STONE	427	1
NORTHWEST (POINT)	STONE	1,118	4
TOTAL			
		31,638	100
NORTHEAST (POINT)	BRICK	13,842	43
NORTHEAST (POINT)	DOORS	2,792	9
NORTHEAST (POINT)	WINDOWS	11,458	36
NORTHEAST (POINT)	STONE	427	1
NORTHEAST (POINT)	STONE	1,118	4
TOTAL			
		31,638	100
TOTAL			
		63,276	100

MATERIAL LEGEND	
	FIELD BRICK
	ACCENT BRICK
	DARK STONE
	LIGHT STONE
	DARK PANEL
	LIGHT PANEL
	WOOD PANEL
	DARK WINDOW
	LIGHT WINDOW
	DARK SHUTTER
	LIGHT SHUTTER



LEVEL 5

Level 5 Architecture
level5architect.com

THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION PURPOSES

ARCHITECT:
JUSTIN S. OLMOPE
LEVEL 5 ARCHITECTURE

ROCKWALL PLANNING & ZONING DEPARTMENT
300 ROCKWALL, TEXAS 75087
714.676.4433

COMPLIANCE WITH THE CITY OF ROCKWALL PLANNING & ZONING DEPARTMENT
300 ROCKWALL, TEXAS 75087
714.676.4433

APPROVED: _____
CITY OF ROCKWALL PLANNING & ZONING DEPARTMENT
WITNESSED: _____
PLANNING & ZONING COMMISSION CHAIRMAN

Exhibit 'D':
Density and Development Standards

D.1 REVIEW PROCESS.

The subject property shall be generally developed in accordance with the *Concept Plan* contained in *Exhibit 'C'* of this ordinance and in conformance with the procedures contained in Article 10, *Planned Development Regulations*, and Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, the Director of Planning and Zoning may require/the property owner may request a *PD Development Plan* where a development request departs from the intent of this *Concept Plan*. A *PD Development Plan* constitutes an amendment to the approved *Concept Plan* and Planned Development District ordinance, and shall follow the same review and approval process as the establishment of a Planned Development District.

D.2 PLANNED DEVELOPMENT DISTRICT STANDARDS.

The *Subject Property* shall be divided into two (2) *Subdistricts* as depicted on the *Concept Plan*, contained in *Exhibit 'B'* of this ordinance.

(A) General Standards.

The following general standards shall apply for all *Subdistricts* as depicted on the *Concept Plan* contained in *Exhibit 'B'* of this ordinance.

- (1) Development Standards. Unless otherwise stipulated by this Planned Development District, all buildings on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance, and are subject to the building material and development standards stipulated by the *General Overlay District Standards* as outline in Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all buildings on the *Subject Property* shall incorporate complementary architectural styles, materials and colors. The consistency and compatibility of a buildings design shall be reviewed by the Architectural Review Board (ARB) at the time of *Site Plan*.
- (2) Landscape Buffers. All landscape buffers shall be exclusive of any existing or proposed easements located along public rights-of-way and shall be provided as follows:
 - (a) Landscape Buffer Adjacent to S. Goliad Street [SH-205]. A minimum of a 30-foot landscape buffer shall be provided along the frontage of S. Goliad Street [SH-205] (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall each have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot hike/bike trail shall be constructed within the 30-foot landscape buffer.
 - (b) Landscape Buffer Adjacent to Lofland Circle. A minimum of a 30-foot landscape buffer shall be provided along the frontage of Lofland Circle (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-

Exhibit 'D':
Density and Development Standards

up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot hike/bike trail shall be constructed within the 30-foot landscape buffer.

- (c) Landscape Buffer Adjacent to the Southern Property Line. A minimum of a 20-foot landscape buffer shall be provided along the southern property line, and shall incorporate three (3) tiered landscaping (*i.e. one (1) row of canopy trees, one (1) row of accent trees, and one (1) row of shrubs*).
- (3) Dumpster Enclosure. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.
- (4) Utility Placement. All overhead utilities shall be placed underground.
- (5) Variations/Exceptions. Variations and exceptions to the requirements of this ordinance shall be submitted and approved in accordance with the process and procedures set forth in Article 11, *Development Applications and Review procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

(B) SUBDISTRICT A.

- (1) Concept Plan. Development within *Subdistrict A* shall generally conform with [1] the *Concept Plan -- contained in Exhibit 'B' of this ordinance --*, and [2] *Figure 1. Subdistrict A Concept Plan* below.

FIGURE 1. SUBDISTRICT A CONCEPT PLAN

ADD EXHIBIT

- (2) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, *Subdistrict A -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance --* shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:
- (a) The following land uses shall be permitted By-Right:
- RESTAURANT WITH 2,000 SF OR MORE WITH DRIVE-THROUGH OR DRIVE-IN
- (b) The following land uses shall be expressly Prohibited:

Exhibit 'D':
Density and Development Standards

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS ⁽¹⁾
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE ⁽²⁾
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA

Exhibit 'D':
Density and Development Standards

- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

- (1): UNLESS ACCESSORY TO A SPA OR HAIR SALON.
 (2): UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

- (2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance --* shall be subject to the density and dimensional requirements stipulated for a property in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on the *Subject Property* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	6,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	20'
MAXIMUM BUILDING HEIGHT ⁽³⁾	36'
MAXIMUM LOT COVERAGE ⁽⁴⁾	40%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
 3: BUILDING HEIGHT MAY BE INCREASED UP TO 60-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(C) SUBDISTRICT B.

- (1) Concept Plan. Development within *Subdistrict B* shall generally conform with [1] the *Concept Plan -- contained in Exhibit 'B' of this ordinance --*, and [2] *Figure 1. Subdistrict B Concept Plan* below.

FIGURE 2. SUBDISTRICT B CONCEPT PLAN

ADD EXHIBIT

- (2) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, *Subdistrict B -- as depicted in the Concept Plan contained in*

Exhibit 'D':
Density and Development Standards

Exhibit 'B' of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted *By-Right*:

- ANIMAL CLINIC FOR SMALL ANIMALS WITHOUT OUTDOOR PINS
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- WHOLESALE SHOWROOM FACILITY
- LIGHT ASSEMBLY AND FABRICATION
- LIGHT MANUFACTURING
- MACHINE SHOP

(b) The following land uses shall be expressly *Prohibited*:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS ⁽¹⁾
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE ⁽²⁾
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT

Exhibit 'D':
Density and Development Standards

- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

- (1): UNLESS ACCESSORY TO A SPA OR HAIR SALON.
- (2): UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(3) *Density and Development Standards*. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B* -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on the *Subject Property* shall conform to the standards depicted in Table 2, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	20'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

Exhibit 'D':
Density and Development Standards

⁴: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

- (4) Loading Docks & Outside Storage. All Loading Docks and Outside Storage area shall be screened from adjacent properties and rights-of-way with three (3) tiered landscaping (i.e. one (1) row of canopy trees, one (1) row of accent trees, and one (1) row of shrubs).

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2025

PROJECT NUMBER: Z2025-073
PROJECT NAME: SUP for a Heavy Automotive Repair
SITE ADDRESS/LOCATIONS: 1765 TL Townsend

CASE CAPTION: Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a Specific Use Permit (SUP) for a Major Auto Repair Garage on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/24/2025	Approved w/ Comments

10/24/2025: Z2025-073; Specific Use Permit (SUP) for Major Auto Repair Garage
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Major Auto Repair Garage on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2025-073) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is Light Industrial (LI) District. In the Light Industrial (LI) District the Major Auto Repair Garage land use is permitted by Specific Use Permit (SUP). The SUP process allows "...discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In addition, the Specific Use Permit (SUP) allows the Planning and Zoning Commission and City Council the discretion to consider certain land uses to mitigate for the proliferation of one (1) land use within close proximity to each other.

I.5 According to Subsection 02.02(H)(1), Major Auto Repair Garage, of Article 13, Definitions, of the Unified Development Code (UDC), a Major Auto Repair Garage a facility that completes "(m)ajor repair, rebuilding or reconditioning of engines, transmissions, or other major components for motor vehicles; collision services including body, frame, or fender straightening or repair; customizing; overall painting or paint shop; automotive glass and upholstery; those uses listed under Automobile repair, minor, and other similar uses. All repair work shall be performed inside an enclosed building. Vehicles shall not be stored on site no longer than 90-days."

I.6 According to the Conditional Land Use Standards required by Subsection 02.03(H)(1), of Article 04, Permissible Uses, of the Unified Development Code (UDC), a Major Auto Repair Garage shall meet the following:

- (1) Garage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property.
- (2) Vehicles, equipment, parts or inventory shall not be stored outside overnight unless granted by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). If permitted all stored items shall be screened from public right-of-way, sidewalks and open space, and any residentially zoned or used property.

M.7 Please provide an operational plan, that describes how the proposed business will operate. Will this business have outside storage? Will vehicles be stored in the building overnight?

M.8 According to Subsection 02.02(J)(5), Outside Storage, of Article 13, Definitions, of the Unified Development Code (UDC), Outside Storage is defined as "(t)he permanent or continuous keeping, displaying, or storing of unfinished goods, material, merchandise, equipment, service vehicles or heavy vehicles outside of a building on a lot or tract overnight or for more than 24-hours." There is a note on the concept plan that states there will be no Outside Storage; however, based on the definition above, will there be Outside Storage? If so, please delineate on the site plan where the Outside Storage will be located. Please note, that any Outside Storage shall not be located within any required parking spaces. In addition, if Outside Storage is being proposed, please depict how it will be screened.

M.9 Concept Plan.

- (1) Will there be any Office space associated with the Major Auto Repair Garage? If so, parking for this component will need to be accounted for.
- (2) The bay doors will need to be screened from old SH-276. This can be achieved through the use of either a masonry wall or an alternative screening method such a berm with three (3) tiered landscaping. Please show how the bay doors will be screened.
- (3) The subject property is located within an Overlay District. Given this only one (1) row of parking may be located parallel to the roadway, between the building and a roadway. In this case, there is a perpendicular row of parking between the building and the roadway. Please correct this.
- (4) There appears to be a portion of the building within the fire land. No structures are permitted within a fire lane. Please adjust the concept plan to meet this requirement.

M.10 Landscape Plan.

- (1) Given that the subject property is located within SH-276 Overlay District, the landscape buffer along S. TL Townsend Drive must incorporate two (2) canopy trees and four (4) accent trees per 100-linear feet.
- (2) If there is a detention pond, there must be one (1) canopy tree per 750 SF and one (1) accent tree per 1,500 SF of detention area.
- (3) Please include accent trees along the eastern property line.

M.11 Building Elevations.

- (1) The minimum roof pitch in a Light Industrial (LI) District is 6:12. Based on the proposed elevations, they do not appear to meet this standard.
- (2) According to the General Overlay District Standards of the UDC, all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In this case, the proposed elevations do not meet this requirement.
- (3) According to the General Overlay District Standards of the UDC, all sides of the building must meet the primary articulation standards. Looking at the building footprint, it appears that all four (4) sides do not meet these requirements. In addition, please understand that any vertical projections extending above the roof line are required to have project or return towards the building (there cannot be flat projecting elements).
- (4) According to the General Overlay District Standards of the UDC, no light standard, light fixture, light pole, pole base or combination thereof shall exceed 20-feet in total height in any overlay district. In this case, the backlit panel exceeds 20-feet.
- (5) Please specify the proposed building materials. The General Overlay District Standards require 20% natural stone and 90% masonry material. As a note, this does not include nichia.

M.12 Ordinances. Please review the attached draft ordinance prior to the October 28, 2025 Planning & Zoning Commission Work Session meeting, and provide staff with your markups by November 4, 2025.

I.13 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 11, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.14 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 28, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on November 11, 2025.

I.15 City Council Meeting Dates. The projected City Council meeting dates for this case will be November 17, 2025 (1st Reading) and December 1, 2025 (2nd Reading).

I.16 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. Please note that the applicant or a representative will need to be present for the case to be considered by the Planning and Zoning Commission or City Council.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

10/23/2025: General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements.
- No structures, including walls and fences, allowed within easements or ROW.
- No signage is allowed within easements or ROW.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- 5' sidewalk along TL Townsend Drive required.
- TXDOT Permits required for any improvements within the TXDOT ROW.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering Design.

Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed in any area.
- All Parking to be 20'x9' minimum. Parallel parking shall be minimum 22'x9'. Parking may not be off a public roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be minimum 24' wide.
- Fire lane (if needed) to be minimum 24' wide and in a platted easement.
- Fire lane (if needed) to have a minimum 20' radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be a minimum 30' radius.
- Culverts for driveways (if needed) will need to be engineered.
- TXDOT Permits required for any improvements within the TXDOT ROW.
- TXDOT and City driveway spacing requirements must be met. Variances will be required. Location of existing drives can be used without a variance, but must be reconstructed.
- 10' utility easements required along all roadway frontages.
- 5' sidewalk required along TL Townsend Drive.
- TIA is required along with review fees

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There is an existing 20" water main located along TL Townsend and SH 276 NOT available for use.
- There is an existing 10" water main located along TL Townsend and SH 276 available for use.
- There is an existing 15" sewer main located on the other side of TL Townsend Drive available for use. (12" on map is abandoned)
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.

- Any utility connection made underneath of an existing City roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. No structures allowed in easements.
- All public utilities must be centered in easement.
- Water to be 10' separated from storm and sewer lines.
- \$401.89/acre sewer pro-rata

Drainage Items:

- Existing flow patterns must be maintained. Drainage may not be increased towards any direction.
- Detention must be provided for the entire site.
- Detention calculations are based on zoning, not land use area.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at the free-board elevation.
- Detention ponds must provide an emergency spillway.
- Detention ponds must be irrigated.
- No vertical walls are allowed in detention easement.
- No public water or sanitary sewer are allowed in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- 100-year WSEL must be called out for detention ponds.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.
- Ditch along SH276 will have to be reestablished.
- Must provide drainage for all off-site water draining through the site from the south and east.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1765 T.L. Townsend Drive**

SUBDIVISION **N/A - Prop ID 10233**

LOT **Tract 1** BLOCK **N/A**

GENERAL LOCATION **NE Corner of Townsend Drive and Highway 276**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **LI** CURRENT USE **Vacant**

PROPOSED ZONING **LI - SUP** PROPOSED USE **Heavy Auto Repair**

ACREAGE **.9** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Max Realty Holdings, LLC**

APPLICANT **Greenlight Studio, LLC**

CONTACT PERSON **Michael Grose**

CONTACT PERSON **Tyler Adams**

ADDRESS **229 Pioneer Court**

ADDRESS **100 N. Cottonwood Drive**

Suite 104

CITY, STATE & ZIP **Royce City, Texas 75189**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Grose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

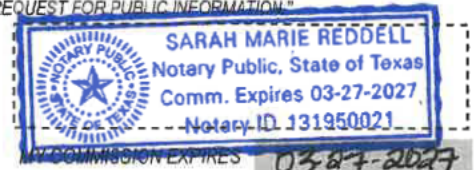
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF October, 2020

OWNER'S SIGNATURE

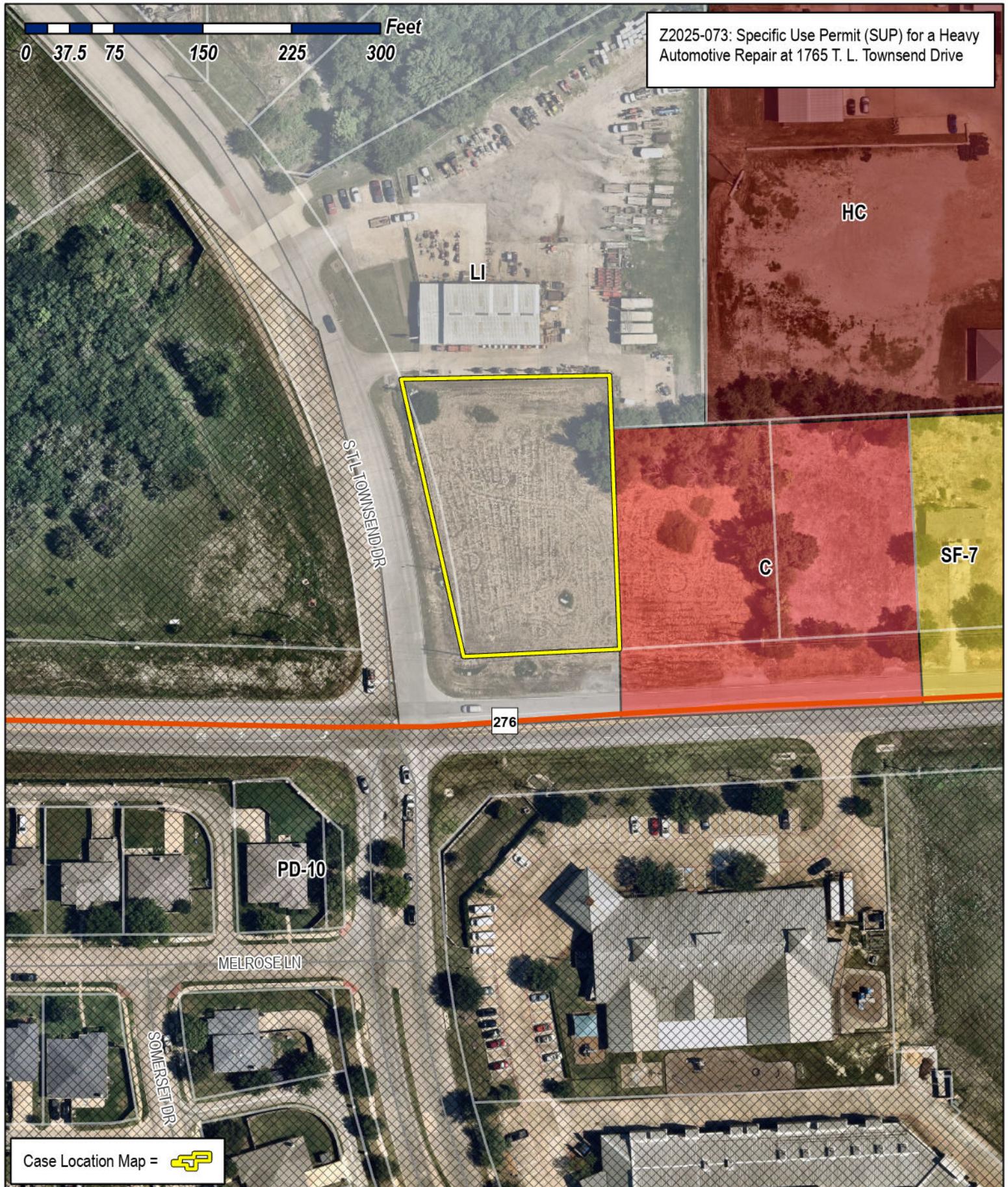
Michael Grose
Sarah Reddell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2025-073: Specific Use Permit (SUP) for a Heavy Automotive Repair at 1765 T. L. Townsend Drive



Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

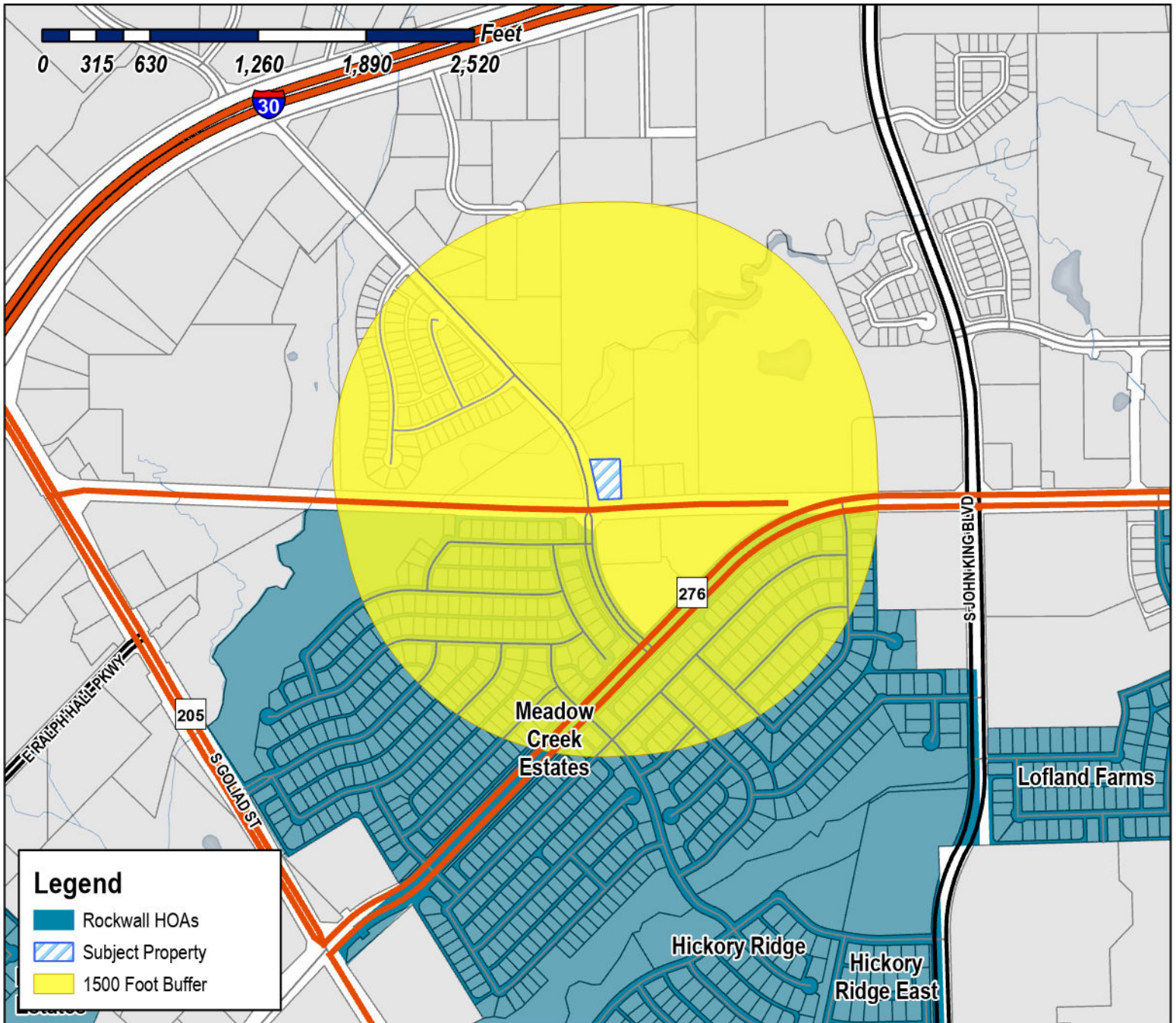




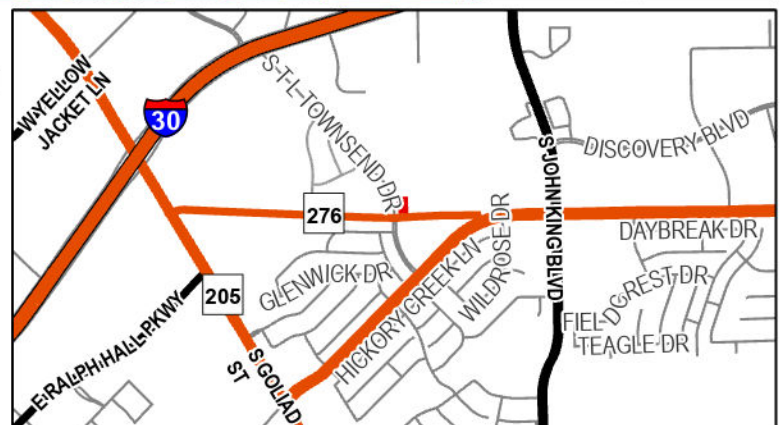
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2025-073
Case Name: SUP for a Heavy Automotive Repair
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1765 T.L Townsend Drive



Date Saved: 10/18/2025

For Questions on this Case Call (972) 771-7745

Miller, Ryan

From: Zavala, Melanie
Sent: Wednesday, October 22, 2025 12:36 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2025-073]
Attachments: Public Notice (10.20.2025).pdf; HOA Map (10.18.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-073: SUP for a Major Auto Repair Garage

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a *Specific Use Permit (SUP)* for a *Major Auto Repair Garage* on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and take any action necessary.

Thank you,

Melanie Zavala

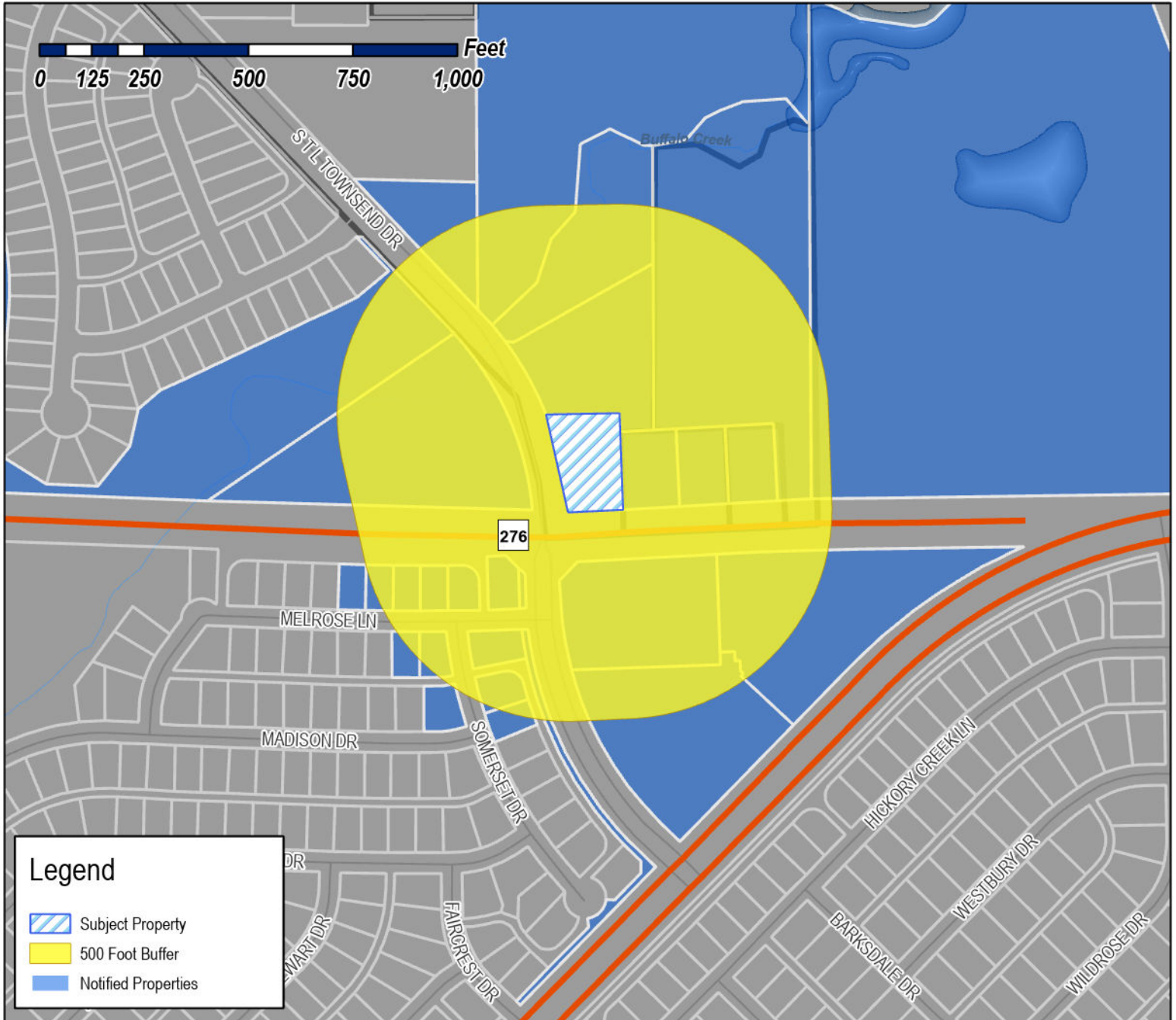
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](http://www.rockwalltx.gov/planning-zoning)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-073
Case Name: SUP for a Heavy Automotive Repair
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1765 T.L. Townsend Drive

Date Saved: 10/18/2025

For Questions on this Case Call: (972) 771-7745



HOYOS JOEL
11214 GARLAND RD
DALLAS, TX 75218

HOYOS JOEL
11214 GARLAND RD
DALLAS, TX 75218

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

VALK TRUST THE
JAMES VALK SR AND CAROLYN C TRUSTEES
1158 CHISHOLM RIDGE DR
ROCKWALL, TX 75032

RESIDENT
1415 HWY276
ROCKWALL, TX 75032

RESIDENT
1425 HWY276
ROCKWALL, TX 75032

327 HOLDINGS LTD
1500 COUNTY ROAD 303
TERRELL, TX 75160

HAILE TADESSE T &
TSEGU T HAKIM
1524 MELROSE LN
ROCKWALL, TX 75032

JENKINS PHILLIP & PEARLIE M
1530 MELROSE LN
ROCKWALL, TX 75032

LOYD AMANDA &
SUSAN LOYD & PAUL LOYD
1536 MELROSE LN
ROCKWALL, TX 75032

RESIDENT
1542 MELROSE LN
ROCKWALL, TX 75032

SCOTT MONTE K & APRIL E
1542 MADISON DR
ROCKWALL, TX 75032

BYRD BLAIR S & GAYLA D
1543 MELROSE LN
ROCKWALL, TX 75032

CORTEZ LIDIA G
1548 Melrose Ln
Rockwall, TX 75032

WAKO GIZAW L & TSIYON E
1549 MELROSE LN
ROCKWALL, TX 75032

ZAREMBA MICHAEL J
1554 MELROSE LN
ROCKWALL, TX 75032

MOTA SAMUEL
1557 Trowbridge Cir
Rockwall, TX 75032

MOTA SAMUEL
1557 Trowbridge Cir
Rockwall, TX 75032

CURRIN CONSTRUCTION GROUP LLC
1604 VISTA COURT
MCCLENDON CHISHOLM, TX 75032

RESIDENT
1611 HWY276
ROCKWALL, TX 75032

RESIDENT
1615 T L TOWNSEND DR
ROCKWALL, TX 75032

RESIDENT
1650 S JOHN KING
ROCKWALL, TX 75032

RESIDENT
1725 T L TOWNSEND
ROCKWALL, TX 75032

MEADOWCREEK ESTATES HOMEOWNERS ASSOC
INC
1800 Preston Park Blvd Ste 101
Plano, TX 75093

MEADOWCREEK ESTATES HOMEOWNERS ASSOC
INC
1800 Preston Park Blvd Ste 101
Plano, TX 75093

RESIDENT
1835 T L TOWNSEND DR
ROCKWALL, TX 75032

RESIDENT
1855 TL TOWNSEND DR
ROCKWALL, TX 75032

GALAXY RANCH SHOPPING CENTER LP
2101 FIREWHEEL PKWY
GARLAND, TX 75040

GALAXY RANCH SHOPPING CENTER LP
2101 FIREWHEEL PKWY
GARLAND, TX 75040

GALAXY RANCH SCHOOL LP
2101 FIREWHEEL PKWY
GARLAND, TX 75040

MAX REALTY HOLDINGS LLC
229 PIONEER CT
ROCKWALL, TX 75189

RESIDENT
2362 SOMERSET DR
ROCKWALL, TX 75032

MAYSON MERCY
2362 SOMERSET DR
ROCKWALL, TX 75032

RESIDENT
2368 SOMERSET DR
ROCKWALL, TX 75032

RESIDENT
2374 SOMERSET DR
ROCKWALL, TX 75032

CHERUKURU NANDGOPAL
909 SUNNYVALE DR
ROCKWALL, TX 75087

1540 EAST IH 30 ROCKWALL LLC
M/R

RDMS PROPERTIES LLC- SERIES L (RS)
A SERIES OF RDMS PROPERTIES
PO BOX 1569
ROCKWALL, TX 75087

KAMY REAL PROPERTY TRUST
PO BOX 50593
DENTON, TX 76206

STAR HUBBARD LLC
C/O STEADFAST COMPANIES
PO BOX 530292
BIRMINGHAM, AL 35253

COLIN-G PROPERTIES LTD
A TEXAS LIMITED PARTNERSHIP
PO BOX 847
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-073: SUP for a Major Auto Repair Garage

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a Specific Use Permit (SUP) for a Major Auto Repair Garage on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-073: SUP for a Major Auto Repair Garage

Please place a check mark on the appropriate line below:

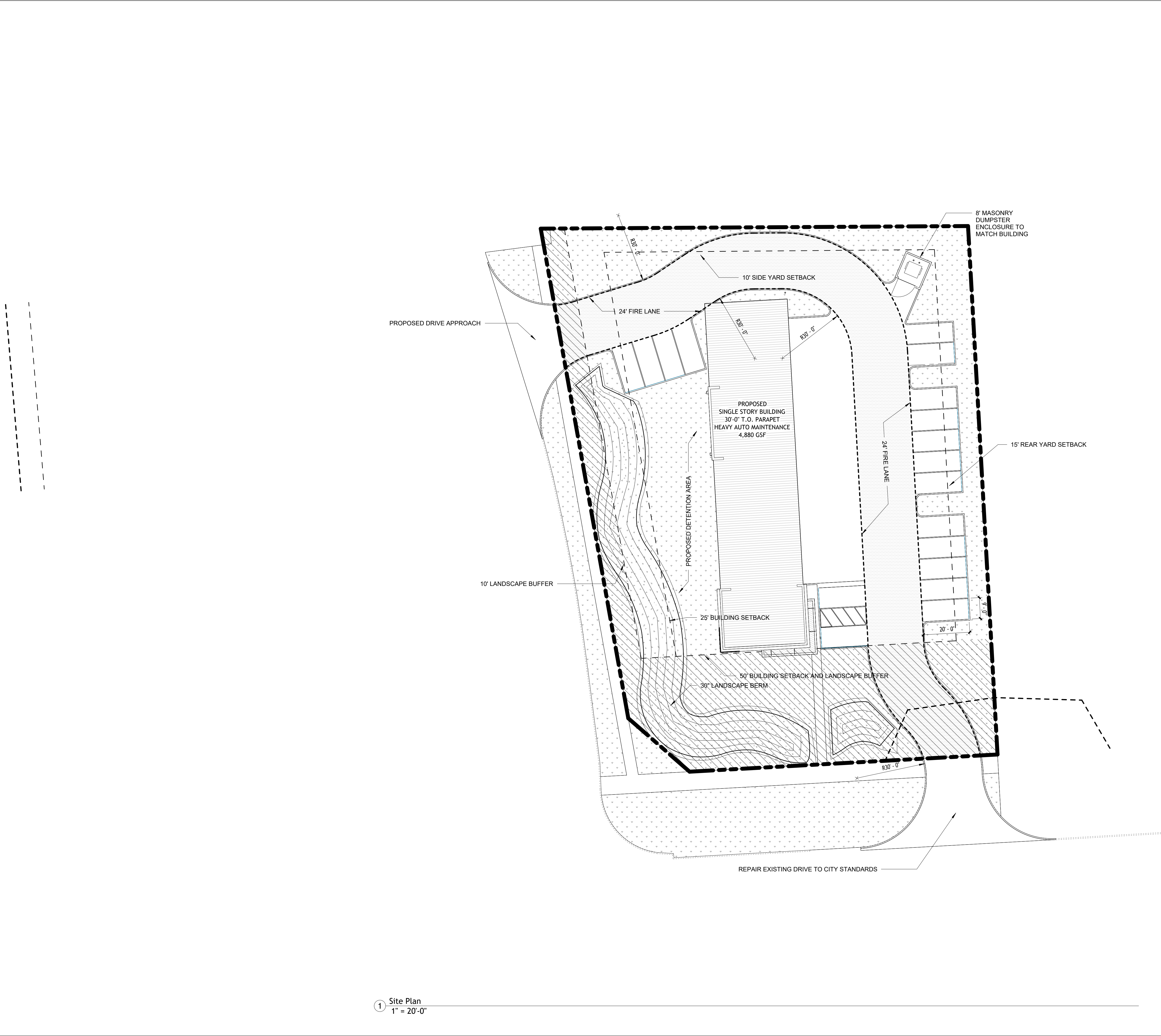
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:
Address:

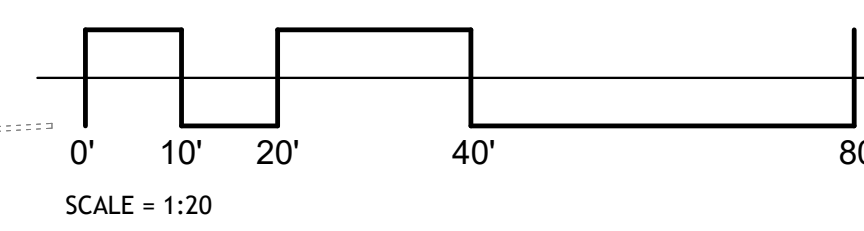
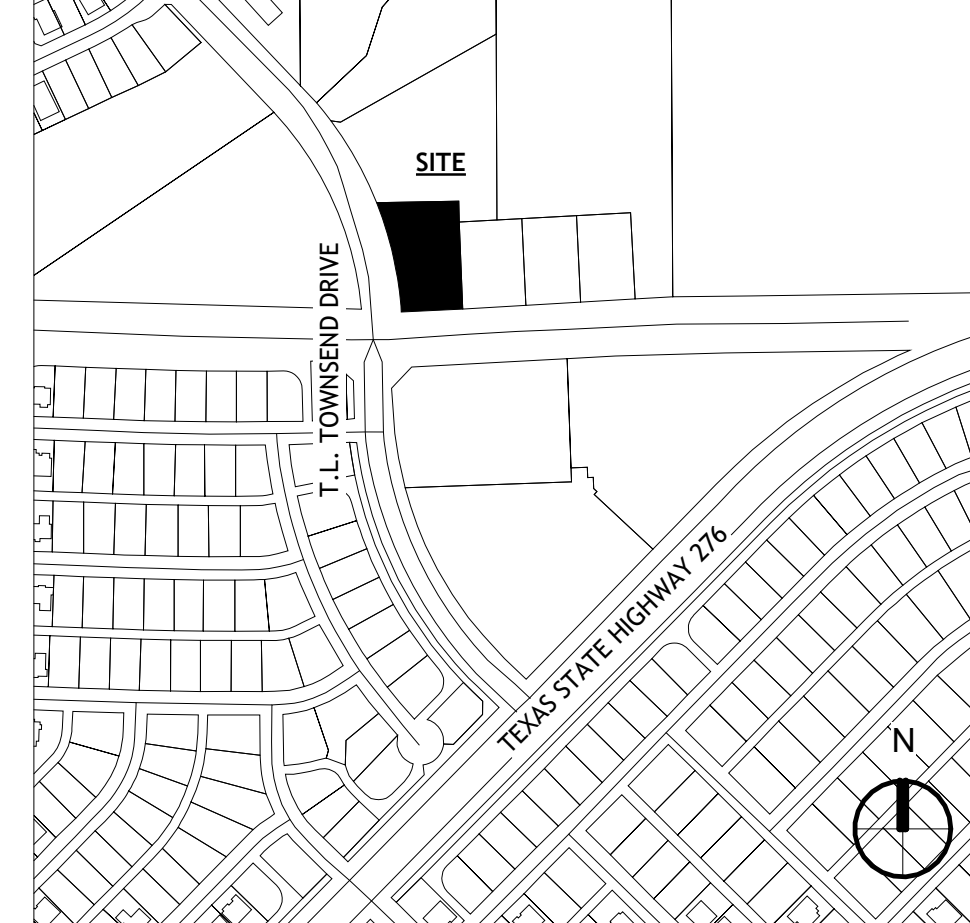
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Site Data Summary Table	
General Site Data	
Zoning	LI
Proposed Land Use	Auto Repair, Heavy (SUP)
Lot Area	39,005
Lot Area	0.90
Building Footprint Area (Approximate)	4,880
Area Covered by Canopy	150
Maximum Building Height (# Stories)	1
Maximum Building Height (Feet)	35'
Lot Coverage	13%
Floor Area Ratio	1/8
Parking	
Parking Required 2 per Bay	16
Standard Parking Provided	16
Accessible Parking Required	1
Accessible Parking Provided	1
Total Parking Provided	17
Landscaping Area	
Landscape Buffer Area	9490
Street Yard Landscape Provided	7810
Internal LS Provided	10,609
Total LS Area Provided:	18,419
Other Planting Area	0
Permeable Areas	
Permeable Pavement	0
Other Permeable Area	0
Total permeable Area	18,419
Impervious Area	
Building Area	4,880
Sidewalks, Pavement, and other Impervious Flatwork	15,527
Other Impervious Area (curbs)	179
Total Impervious Area	20,586
Total Landscape Area, Impervious Area, Permeable Area	39,005
Total Area for Outdoor Storage	None

- SITE PLAN GENERAL NOTES**
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.
 - NO ABOVE GROUND STORAGE TANKS OR OUTSIDE STORAGE PERMITTED.
- DRAINAGE NOTES**
- AS-BUILT/EXISTING FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.
- WATER AND WASTEWATER NOTES**
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.



GREENLIGHT
STUDIO, LLC
www.greenlightcompany.com

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.810.4535

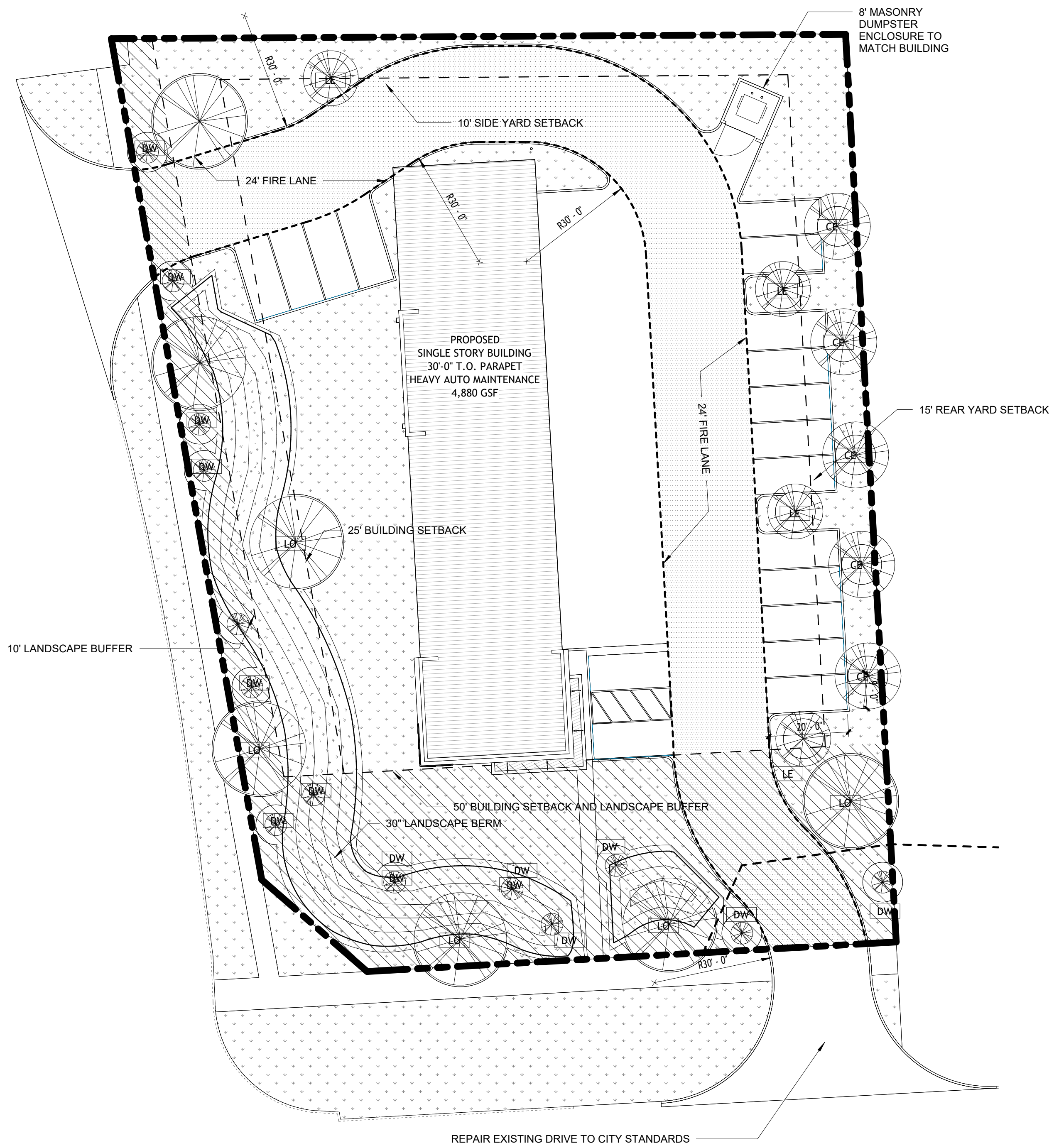
Owner:
Max Realty Holdings LLC
229 Fanner Court
Royce City, Texas 75189



VICINITY MAP - NOT TO SCALE

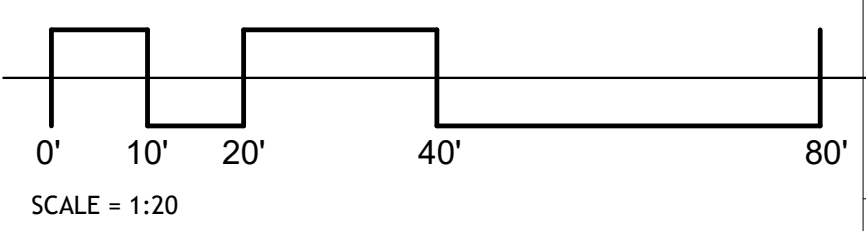
1 Site Plan
1" = 20'-0"

City Project No. _____
Site Plan
**INTEGRITY 1ST ADDITION
(PROPOSED)
BLOCK A, LOT 1**
.9ACRES
City of Rockwall, Rockwall County, Texas
N.M. BALLARD SURVEY, Abstract No. A0024
Prepared October 17, 2025



Planting Schedule		
Type Mark	Type Comments	Count
CE	Cedar Elm	5
DW	Desert Willow	14
LE	Lacebark Elm	4
LO	Live Oak	7

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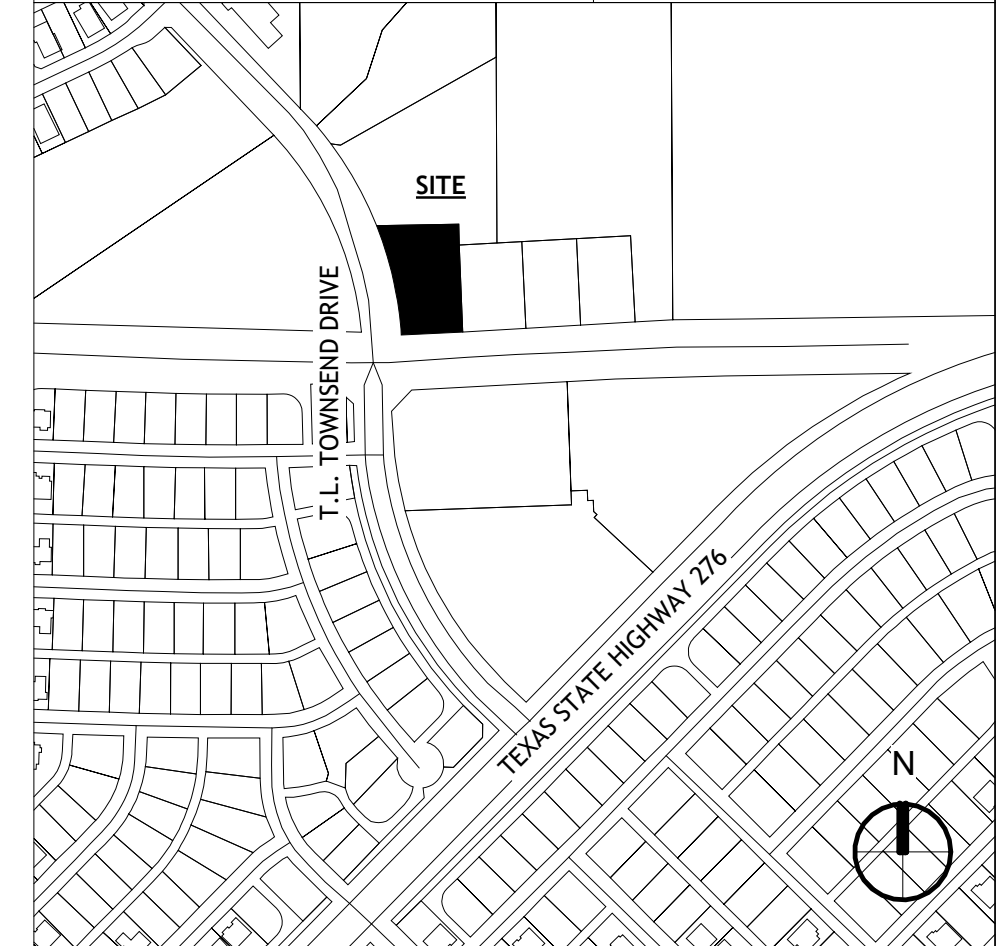
GREENLIGHT
STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.810.4535

Owner:
Max Realty Holdings LLC
229 Hanes Court
Royce City, Texas 75189



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Total Area for Outdoor Storage	None



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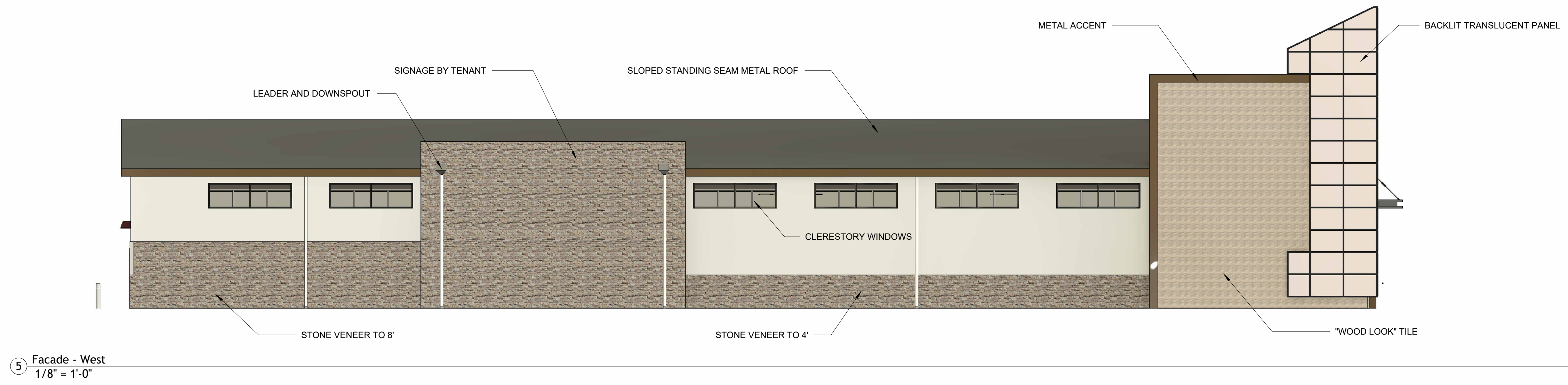
City Project No. _____

Conceptual Landscape Plan

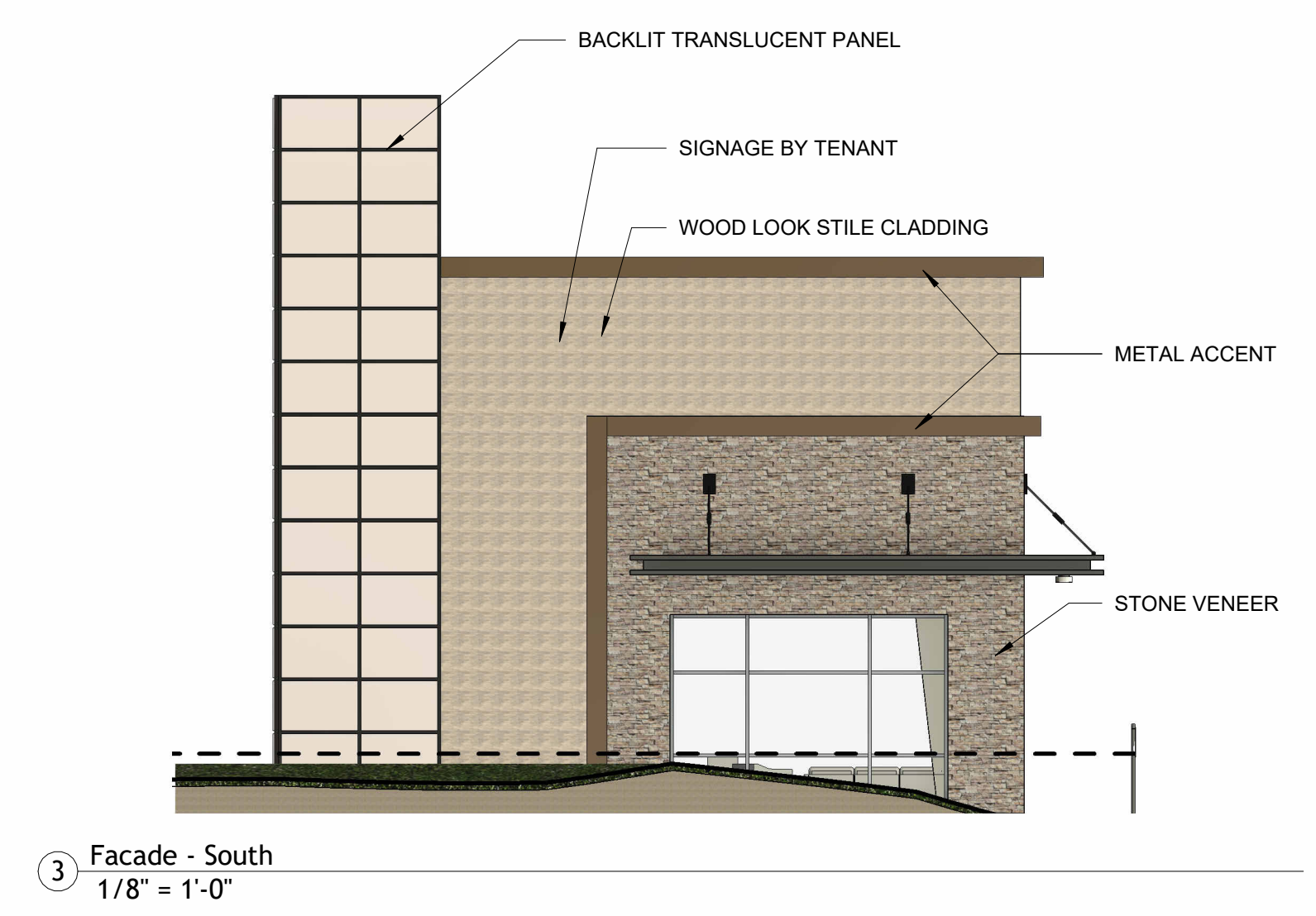
**INTEGRITY 1ST ADDITION
(PROPOSED)
BLOCK A, LOT 1**

.9ACRES
City of Rockwall, Rockwall County, Texas
N.M. BALLARD SURVEY, Abstract No. A0024

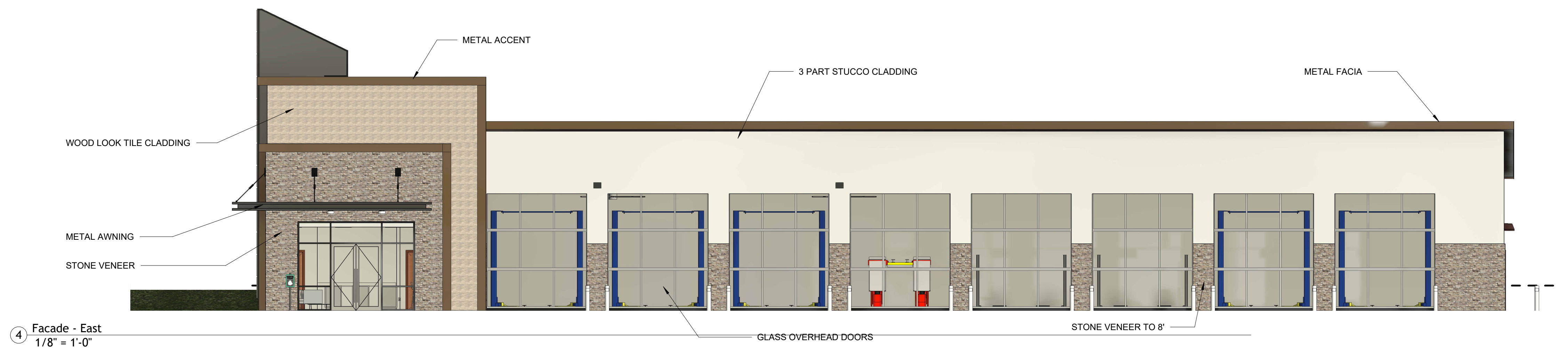
Prepared October 17, 2025



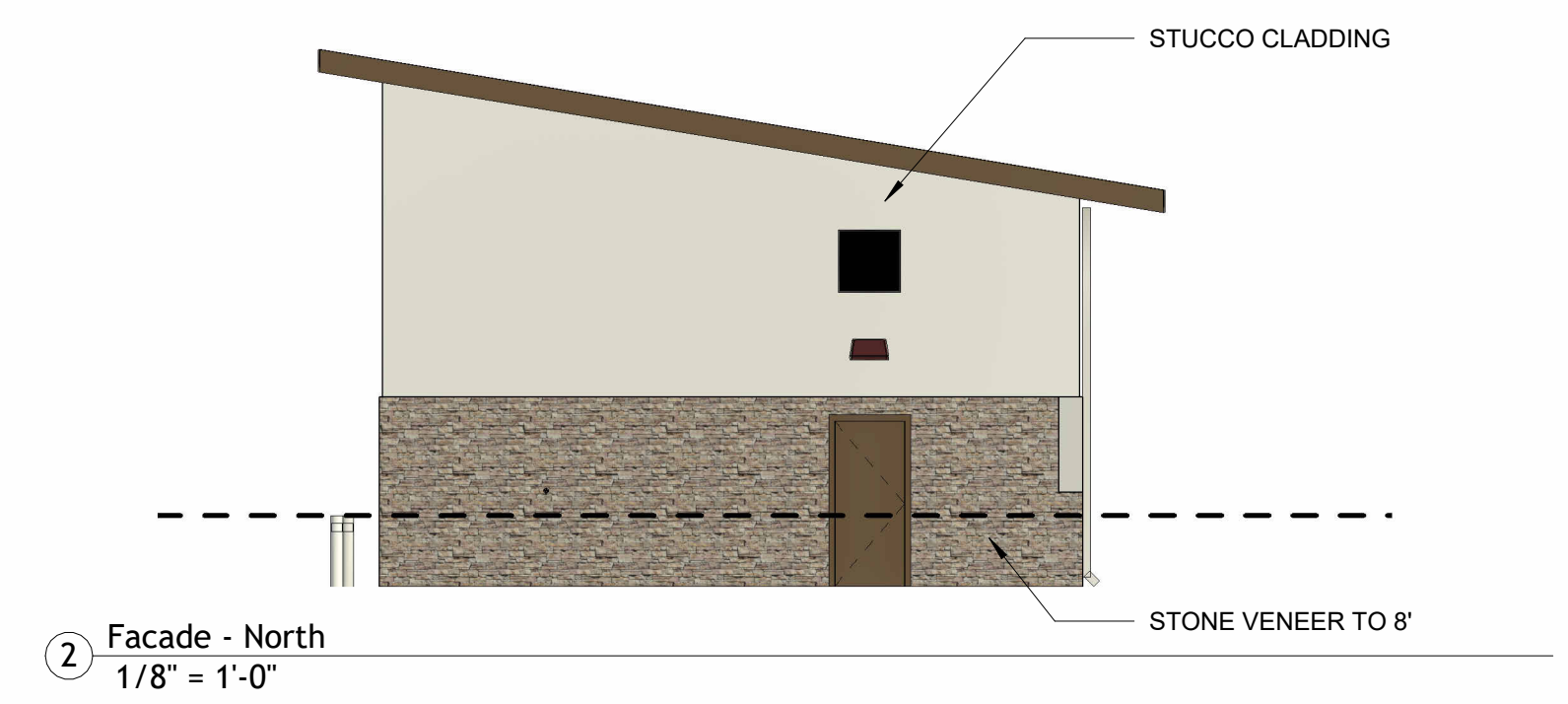
5 Facade - West
1/8" = 1'-0"



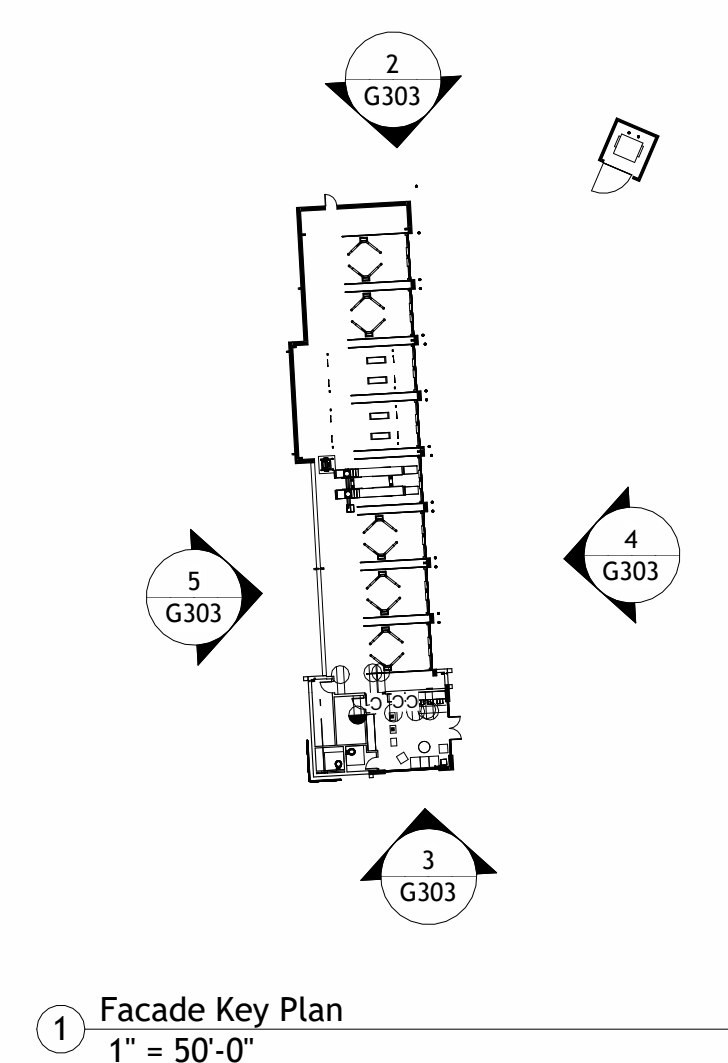
3 Facade - South
1/8" = 1'-0"



4 Facade - East
1/8" = 1'-0"



2 Facade - North
1/8" = 1'-0"



1 Facade Key Plan
1" = 50'-0"

GREENLIGHT
STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.910.4535

Owner:
Max Realty Holdings LLC
229 Hanser Court
Royce City, Texas 75189

City Project No. _____
Facade Plans
**INTEGRITY 1ST ADDITION
(PROPOSED)
BLOCK A, LOT 1**
.9ACRES
City of Rockwall, Rockwall County, Texas
N.M. BALLARD SURVEY, Abstract No. A0024
Prepared October 17, 2025



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
t: 214.810.4535

Owner:
Max Realty Holdings LLC
229 Hanser Court
Royce City, Texas 75189

City Project No. _____

Color Renderings

**INTEGRITY 1ST ADDITION
(PROPOSED)
BLOCK A, LOT 1**

.9ACRES
City of Rockwall, Rockwall County, Texas
N.M. BALLARD SURVEY, Abstract No. A0024

Prepared October 17, 2025

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *MAJOR AUTO REPAIR GARAGE* ON A 0.90-ACRE TRACT OF LAND IDENTIFIED AS 4-6 OF THE N. M. BALLARD SURVEY, ABSTRACT NO. 24, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a *Specific Use Permit (SUP)* for a *Major Auto Repair Garage* on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *Major Auto Repair Garage* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, Subsection 05.02, *Light Industrial (LI) District Standards*, and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Major Auto Repair Garage* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The development of a *Major Auto Repair Garage* on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Major Auto Repair Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, the proposed *Major Auto Repair Garage* shall be subject to all of the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). Review for conformance to these requirements shall be completed with the site plan submittal. In addition, a recommendation by the Architecture Review Board (ARB) shall be required prior to approval of the building elevations by the Planning and Zoning Commission. The approval of this Specific Use Permit (SUP) shall not constitute the approval of variances or exceptions to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the *Major Auto Repair Garage*.
- 3) No outside storage shall be permitted on the subject property.
- 4) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the

application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1st DAY OF DECEMBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 17, 2025

2nd Reading: December 1, 2025

**Exhibit 'A':
Location Map**

Legal Description: Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24

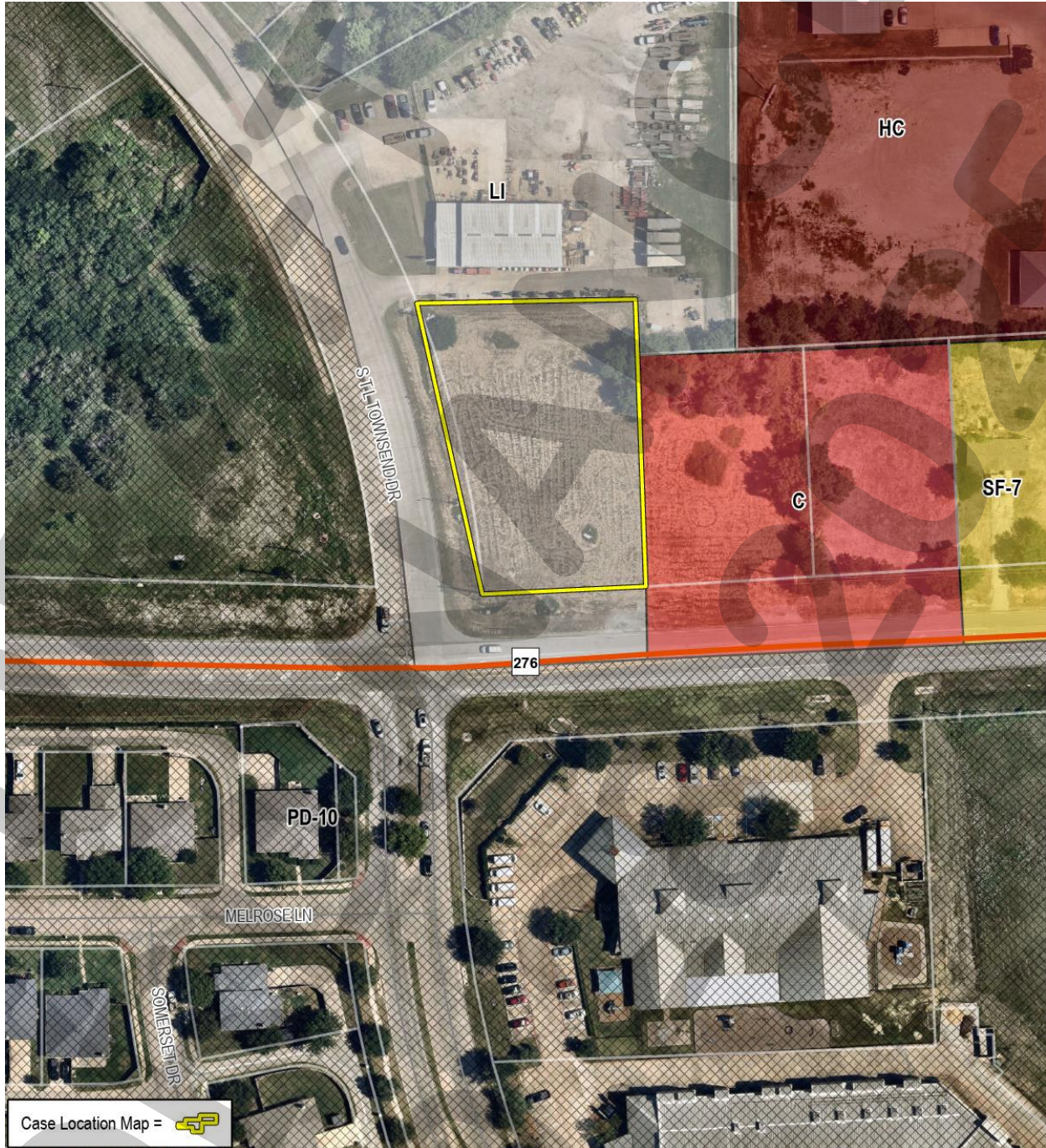
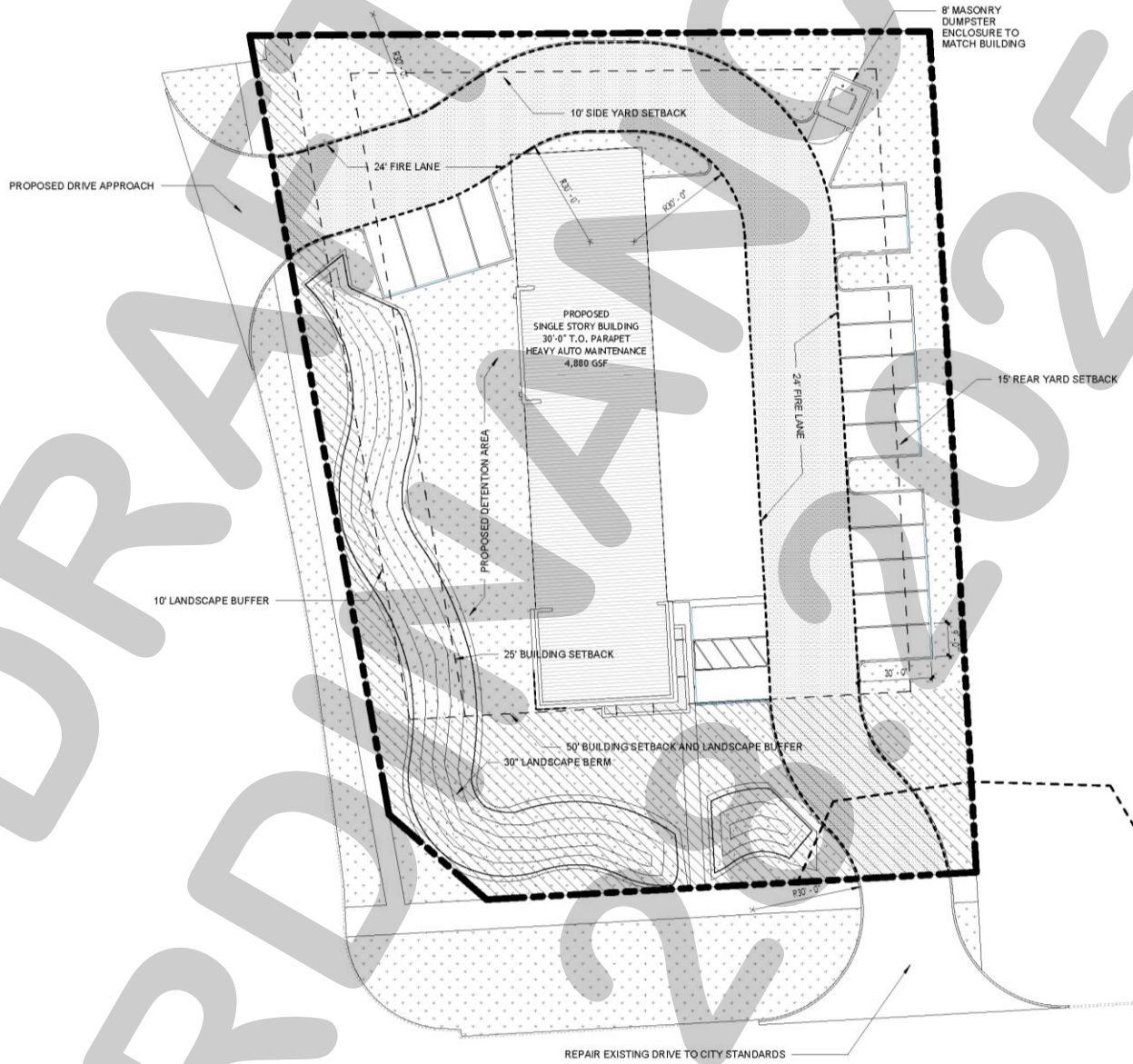


Exhibit 'B':
Concept Plan



**Exhibit 'C':
Building Elevations**



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2025

PROJECT NUMBER: P2025-038
PROJECT NAME: Preliminary Plat for Lot 1 & 2, Block A, Rubio Addition
SITE ADDRESS/LOCATIONS: 3371 SH 276

CASE CAPTION: Discuss and consider a request by Alejandro Rubio for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Rubio Addition being a 4.71-acre tract of land identified as Tracts 7 & 7-1 of the H. K. Newell Survey, Abstract No. 167, and a portion of Tract 2-1 of the J. H. Robnett Survey, Abstract No. 182, Rockwall County, Texas, generally located southeast of the intersection of SH-276 and Rochell Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	10/21/2025	Approved w/ Comments

10/21/2025: P2025-038: Preliminary Plat for Lots 1 & 2, Block A, Rubio Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Rubio Addition being a 4.71-acre tract of land identified as Tracts 7 & 7-1 of the H. K. Newell Survey, Abstract No. 167, and a portion of Tract 2-1 of the J. H. Robnett Survey, Abstract No. 182, Rockwall County, Texas, generally located southeast of the intersection of SH-276 and Rochell Road, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2025-038) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

PRELIMINARY PLAT
LOTS 1 & 2, BLOCK A
RUBIO ADDITION
BEING 2 LOTS
4.71-ACRES OR 204,963 SF
SITUATED IN THE
H.K. NEWELL SURVEY, ABSTRACT NO. 187
ROCKWALL COUNTY, TEXAS

M.5 This lot configuration does not work. The minimum frontage is 200.00' for any lot that is between 3 and 5 acres and 150.00' for any lot between 1 and 2 acres. Please revise the configuration of the lots to reflect this. [Subsection C(2), Exhibit A, of the Interim Interlocal Cooperative Agreement for Subdivision Regulation (ILA)]

M.6 Provide two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).

M.7 Provide the Building Setbacks adjacent to SH-276. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances & ILA)

M.8 Label all existing and proposed easements relative to the site and include type, purpose, and width. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances & ILA)

M.9 Indicate the locations of all existing and proposed utilities Include the size and type of each. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances & ILA)

M.10 Provide the right-of-way, centerline, median breaks, and any additional right-of-way for SH-276. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances & ILA)

M.11 Provide topographical contours and physical features at 2-foot intervals. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances & ILA)

M.12 Indicate water sources inside of the ETJ. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances & ILA)

M.13 Indicate sewage disposal method inside the ETJ. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances & ILA)

M.14 Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances & ILA)

I.15 Revised plans must be provided to staff by November 3, 2025. The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: October 28, 2025
Planning and Zoning Public Hearing: November 11, 2025
City Council: November 17, 2025

I.16 Please note that once the Preliminary Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

I.17 All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. Please note that the applicant or a representative will need to be present for the case to be considered by the planning and zoning commission or city council.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

10/23/2025: 1. Provide Northing and Easting in at least 2 points on the Plat.
2. Have "leaders" pointing to limits of 15' Utility easement
3. Verify with TXDOT that this is the ultimate ROW.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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GIS	Lance Singleton	10/20/2025	Approved w/ Comments
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10/20/2025: Add State Plane Coordinate's (North Central TX 4202 - Grid) by Final Platting to two corners

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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POLICE	Chris Cleveland	10/20/2025	Approved
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No Comments

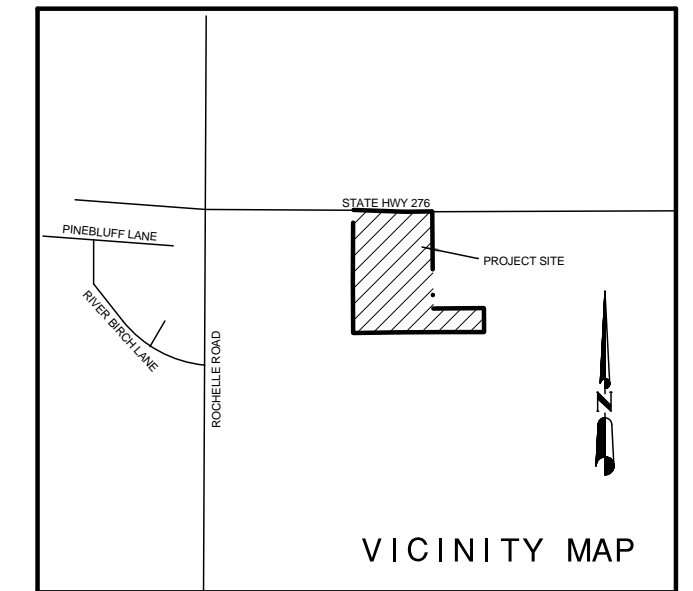
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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PARKS	Travis Sales	10/20/2025	Approved
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No Comments

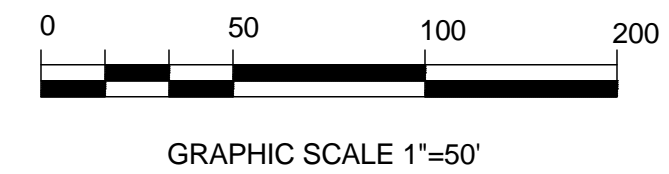
STATE HIGHWAY 276
R.O.W. STATE OF TEXAS
VOL. 45, PG. 463

Verify with TXDOT
that this is the
ultimate ROW



Have "leaders"
pointing to limits of
15' Utility easement

Provide Northing and
Easting in at least 2
points on the Plat.



2.777 ACRES
JO ANN LOFTIS
TO
DANIEL R. MENDEZ
ALEXANDER MENJIVAR
DOC# 2015000005184
O.P.R.R.C.T.

LOT 1
1.50 ACRES
65,340 S.F.

2.145 ACRES
JOE LOFTIS & JO ANN LOFTIS
TO
DONALD E. WADDLE & HOLLY D. WADDLE
VOL. 778, PG. 180
R.P.R.R.C.T.
TO
JOHN W. SHARP
VOL. 5569, PG. 138

234.70 ACRES
JOE D. LOFTIS & JO ANN LOFTIS
TO
THE HIGHLANDS OF ROCKWALL, LTD
VOL. 5020, PG. 120
O.P.R.R.C.T.

2.00 ACRES
ROBERT K. HARVEY
VOL. 1452, PG. 253
R.P.R.R.C.T.

LOT 2
3.21 ACRES
139,623 S.F.

234.70 ACRES
JOE D. LOFTIS & JO ANN LOFTIS
TO
THE HIGHLANDS OF ROCKWALL, LTD
VOL. 5020, PG. 120
O.P.R.R.C.T.

TRACT ONE
RIDGE HAVEN ESTATES NO. 2
CAB. A, SLIDE 245
P.R.R.C.T.

GENERAL NOTES:

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

SURVEYOR'S NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0045 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034".

OWNERS:
ALEJANDRO RUBIO
3371 SH 276
ROCKWALL, TX 75032

PRELIMINARY PLAT
RUBIO ADDITION
LOT 1 & 2
BLOCK A
2 LOTS - 4.71 ACRES/204,963 S.F.
IN THE ETJ OF CITY OF ROCKWALL
H.K. NEWELL SURVEY, ABST. 167
ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 10, 2025
SCALE 1" = 50' FILE # 20040793-PP
CLIENT RUBIO

CITY CASE NO. P2025-



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 3371 State Hwy 276 Rockwall TX 75032
 SUBDIVISION: Rubio Addition LOT: 1,2 BLOCK: A
 GENERAL LOCATION: Hwy 276, Rochell Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: _____ CURRENT USE: AG
 PROPOSED ZONING: _____ PROPOSED USE: _____
 ACREAGE: 4.7 LOTS [CURRENT]: 2 LOTS [PROPOSED]: 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Alejandro Rubio APPLICANT: _____
 CONTACT PERSON: Alejandro Rubio CONTACT PERSON: _____
 ADDRESS: 3371 State Hwy 276 ADDRESS: _____
 CITY, STATE & ZIP: _____ CITY, STATE & ZIP: _____
 PHONE: _____ PHONE: _____
 E-MAIL: _____ E-MAIL: _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alejandro Rubio [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

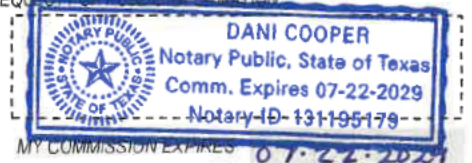
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF October, 2025

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



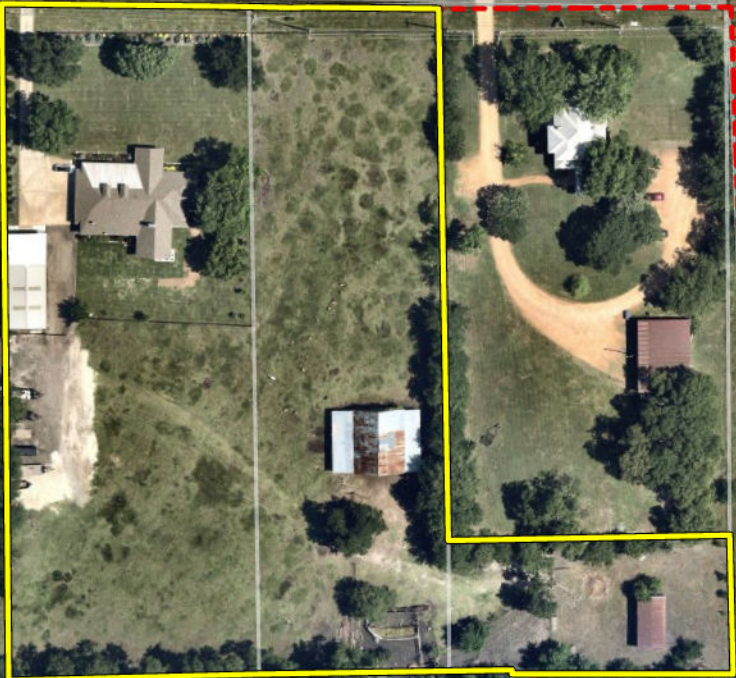
0 55 110 220 330 440 Feet

P2025-038: Preliminary Plat for Lots 1 & 2, Block A, Rubio Addition

PD-78

LI

276



PD-66

SF-10

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



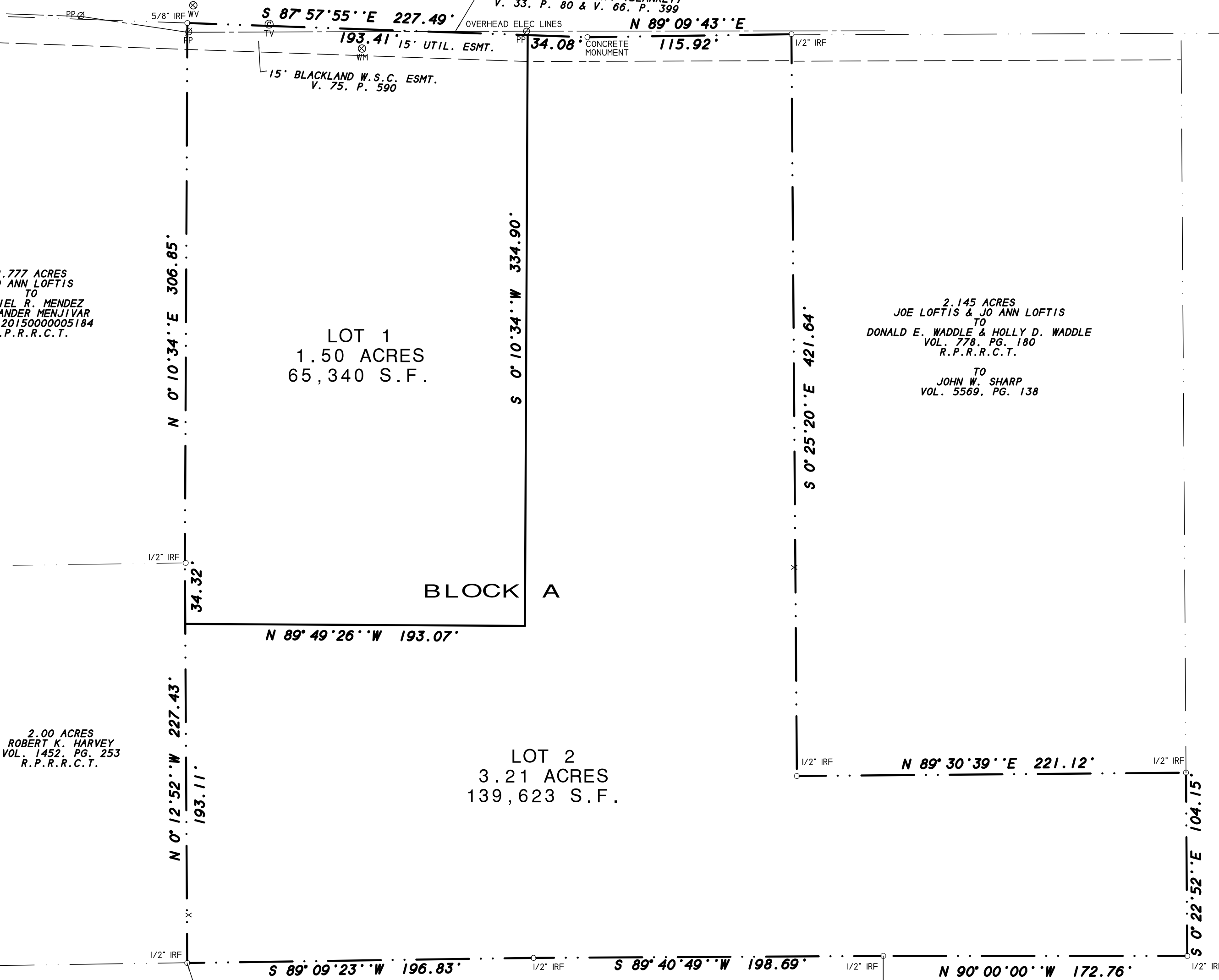
STATE HIGHWAY 276

R.O.W. STATE OF TEXAS
VOL. 45, PG. 463

T.P. & L. CO. ESMT. (BLANKET)
V. 33, P. 80 & V. 66, P. 399

OVERHEAD ELEC LINES

CONCRETE MONUMENT



2.777 ACRES
JO ANN LOFTIS
TO
DANIEL R. MENDEZ
ALEXANDER MENJIVAR
DOC# 2015000005184
O.P.R.R.C.T.

LOT 1
1.50 ACRES
65,340 S.F.

2.145 ACRES
JOE LOFTIS & JO ANN LOFTIS
TO
DONALD E. WADDLE & HOLLY D. WADDLE
VOL. 778, PG. 180
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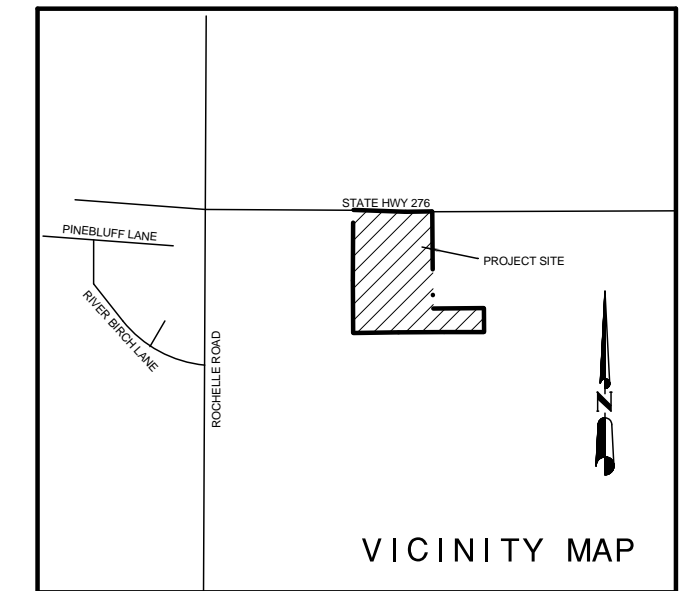
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GRAPHIC SCALE 1"=50'

PRELIMINARY PLAT
RUBIO ADDITION
LOT 1 & 2
BLOCK A

2 LOTS - 4.71 ACRES/204,963 S.F.

IN THE ETJ OF CITY OF ROCKWALL

H.K. NEWELL SURVEY, ABST. 167
ROCKWALL COUNTY, TEXAS

OWNERS:
ALEJANDRO RUBIO
3371 SH 276
ROCKWALL, TX 75032

SHEET 1 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 10, 2025
SCALE 1" = 50' FILE # 20040793-PP
CLIENT RUBIO

GENERAL NOTES:

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

SURVEYOR'S NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0045 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS " RPLS 5034."

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Alejandro Rubio, being the owner of a tract of land in the H.K. Newell Survey, Abstract No. 167, County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the J.C. NEWELL SURVEY, ABSTRACT NO. 167, Rockwall County, Texas, and being a part of a 296.60 acres tract of land as described in a Warranty deed from Emma L. Rochell to Joe D. Loftis and Jo Ann Loftis, dated May 20, 1988 and being recorded in Volume 403, Page 283 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the southeast corner of a 2.00 acres tract of land a described in a Warranty deed to Robert K. Harvey, as recorded in Volume 1452, Page 253 of the Real Property Records of Rockwall County, Texas, and being in the north line of Tract One, RIDGE HAVEN ESTATES NO. 2, an Addition to Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 245 of the Plat Records of Rockwall County, Texas;

THENCE N. 00 deg. 12 min. 52 sec. W. along the east line of said 2.00 acres tract, a distance of 227.43 feet to a 1/2" iron rod found for corner at the northeast corner of same;

THENCE N. 00 deg. 10 min. 34 sec. E., passing a 3" steel fence post at 304.71 feet and continuing for a total distance of 306.85 feet to a 5/8" iron rod found for corner in the south right-of-way line of State Highway 276;

THENCE S. 87 deg. 57 min. 55 sec. E. along said right-of-way line, a distance of 227.49 feet to a concrete TXDOT monument found for corner;

THENCE N. 89 deg. 09 min. 43 sec. E. along said right-of-way line, a distance of 115.92 feet to a 1/2" iron rod found for corner at the northwest corner of a 2.145 acres tract of land as described in a Warranty deed to John W. Sharp, as recorded in Volume 5569, Page 138 of the Official Public Records of Rockwall County, Texas;

THENCE S. 00 deg. 25 min. 20 sec. E. along the west line of said 2.145 acres tract, a distance of 421.64 feet to a 1/2" iron rod found for corner at the southwest corner of same;

THENCE N. 89 deg. 30 min. 39 sec. E. along the south line of said 2.145 acres tract, a distance of 221.12 feet to a 1/2" iron rod found for corner at the southeast corner of same;

THENCE S. 00 deg. 22 min. 52 sec. E. a distance of 104.15 feet to a 1/2" iron rod found for corner;

THENCE N. 90 deg. 00 min. 00 sec. W. a distance of 172.76 feet to a 1/2" iron rod found for corner at the northeast corner of Tract One, RIDGE HAVEN ESTATES NO. 2, an Addition to Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 245 of the Plat Records of Rockwall County, Texas;

THENCE S. 89 deg. 40 min. 49 sec. W. along the north line of said Tract One, a distance of 198.69 feet to a 1/2" iron rod found for corner;

THENCE S. 89 deg. 09 min. 23 sec. W. along the north line of said Tract One, a distance of 196.83 feet to the POINT OF BEGINNING and containing 204,963 square feet or 4.71 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as RUBIO ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in RUBIO ADDITION, LOTS 1 & 2, BLOCK A, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

Alejandro Rubio

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Alejandro Rubio, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2025.

Notary Public

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



APPROVED: I hereby certify that the above and foregoing subdivision plat of RUBIO ADDITION, LOTS 1 & 2, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, _____.

Mayor of City of Rockwall

Planning and Zoning Commission Chairman

City Secretary

City Engineer

STATE OF TEXAS
COUNTY OF ROCKWALL

RECOMMENDED FOR FINAL APPROVAL

I, Frank New, County Judge of Rockwall County, Texas, do hereby certify that the foregoing plat was approved and accepted by the Commissioner's Court of Rockwall County on the ____ day of _____, 2025 as shown of record in the Minutes of said Court.

WITNESS MY HAND AND SEAL OF OFFICE IN ROCKWALL COUNTY, TEXAS, this the ____ day of _____, 2025.

Frank New
Rockwall County Judge

ATTEST:

PRELIMINARY PLAT
RUBIO ADDITION
LOT 1 & 2
BLOCK A
 2 LOTS - 4.71 ACRES / 204,963 S.F.
 IN THE ETJ OF CITY OF ROCKWALL
 H.K. NEWELL SURVEY, ABST. 167
 ROCKWALL COUNTY, TEXAS

OWNERS:
ALEJANDRO RUBIO
3371 SH 276
ROCKWALL, TX 75032

SHEET 2 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 10, 2025
SCALE 1" = 50' FILE # 20040793-PP
CLIENT RUBIO

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2025

PROJECT NUMBER: P2025-039
PROJECT NAME: Preliminary Plat for The Landon Phase 2
SITE ADDRESS/LOCATIONS: 1230 Streetman

CASE CAPTION: Discuss and consider a request by Sam Carroll of Carroll Consulting Group, Inc. on behalf of Jim Bell of Harlan Properties, Inc. for the approval of a Preliminary Plat for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas, generally located northeast of the intersection of S. Munson Road and Laci Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	10/21/2025	Approved w/ Comments

10/21/2025: P2025-039; Preliminary Plat for Phase 2 of the Landon Subdivision
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas, and generally located northeast of the intersection of S. Munson Road and Laci Lane.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2025-039) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 This project is subject to all requirements stipulated by Chapter 38, Subdivisions of the Code of Ordinances of The City of Rockwall and the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall (ILA). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.5 Please update the title block to read:

PRELIMINARY PLAT
LOTS 20-77, BLOCK A
THE LANDON PHASE 2
BEING
50 RESIDENTIAL LOTS AND
SEVEN (7) OPEN SPACE LOTS
93.357 ACRES OF LAND
SITUATED WITHIN THE
SAMUEL MCFADGIN SURVEY, ABSTRACT NO. 142,
ROCKWALL COUNTY, TEXAS

M.6 Please change all Open Space/Drainage lots to a single number with no letter designation (i.e. Lot 29A should be Lot 71, etc)

M.7 Label all proposed streets with the proposed names for GIS approval. Contact Lance Singleton, GIS Supervisor for street name approval at LSingleton@rockwall.com

M.8 Remove the density calculation.

M.9 This is in Rockwall County. Please change any mention of Collin County to Rockwall County.

M.10 Provide two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).

M.11 All lots shall have a frontage of 150-feet. In cul-de-sacs, the minimum frontage is 80 feet. On curvilinear lots, the lot frontage shall be measured by the cord length along the curve. (Subsection C(2), of Exhibit A, of the Interim Interlocal Cooperative Agreement for Subdivision Regulation (ILA) Please update the los along the cul-de-sacs of Brenda Court and Teresa Court to at least 80 feet.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff by November 4, 2025, and provide any additional information that is requested.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 28, 2025
- 2) Planning & Zoning Regular meeting will be held on November 11, 2025
- 3) City Council meeting will be held on November 17, 2025

I.14 Staff requires that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person and in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

10/23/2025: 1. Drainage easements minimum 20'.

2. Dead end water mains not allowed. Must loop water mains.

3. Detention/Drainage Calculations will be reviewed at Engineering.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements.
- No structures including walls allowed within easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Additional comments may be provided at time of Engineering.

Streets/Paving:

- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Must construct Munson Road and Streetmen Road to City Standards. Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park or open space must have 60' ROW and 41' B-B street section.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City driveway spacing requirements must be met.
- Any medians must be curbed, and streets draining away from medians.
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.

Water and Wastewater Items:

- Must submit a letter from Blackland WSC or CASH SUD (or both) stating that they can supply regulated domestic and fire flows.
- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must be 1.50 acre tracks with on-site sanitary sewer facilities (septic systems).
- An Infrastructure Study will be required. Review fees apply.
- Must construct a 12" water main on the north side of the property from the NW to the NE per the Master Water Plan. Dedicate Easements.
- Must construct a 6" sewer main from the West side of the property to the East side of the property per the Master Sewer Plan. Dedicate Easements.
- Minimum easement width is 20' for all easements.
- Must follow and construct per the City's master water and sanitary sewer plans, or requirements of the infrastructure study, whichever is most stringent.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- Water mains must be looped. Dead end not allowed.
- Public utilities may not be in detention ponds.

Drainage/Floodplain/Lakes:

- Lot to lot drainage is not allowed.
- Existing flow patterns must be maintained.
- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention ponds must be in a drainage easement located at the freeboard elevations to be maintained by the property owner/HOA.
- Detention pond must provide an emergency spillway.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA and now in ROW.
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Lot to Lot drainage is not allowed.
- Drainage must be at sheet flow conditions at the property line or an easement on the neighboring property is required, all the way to the creek.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2025	Approved w/ Comments

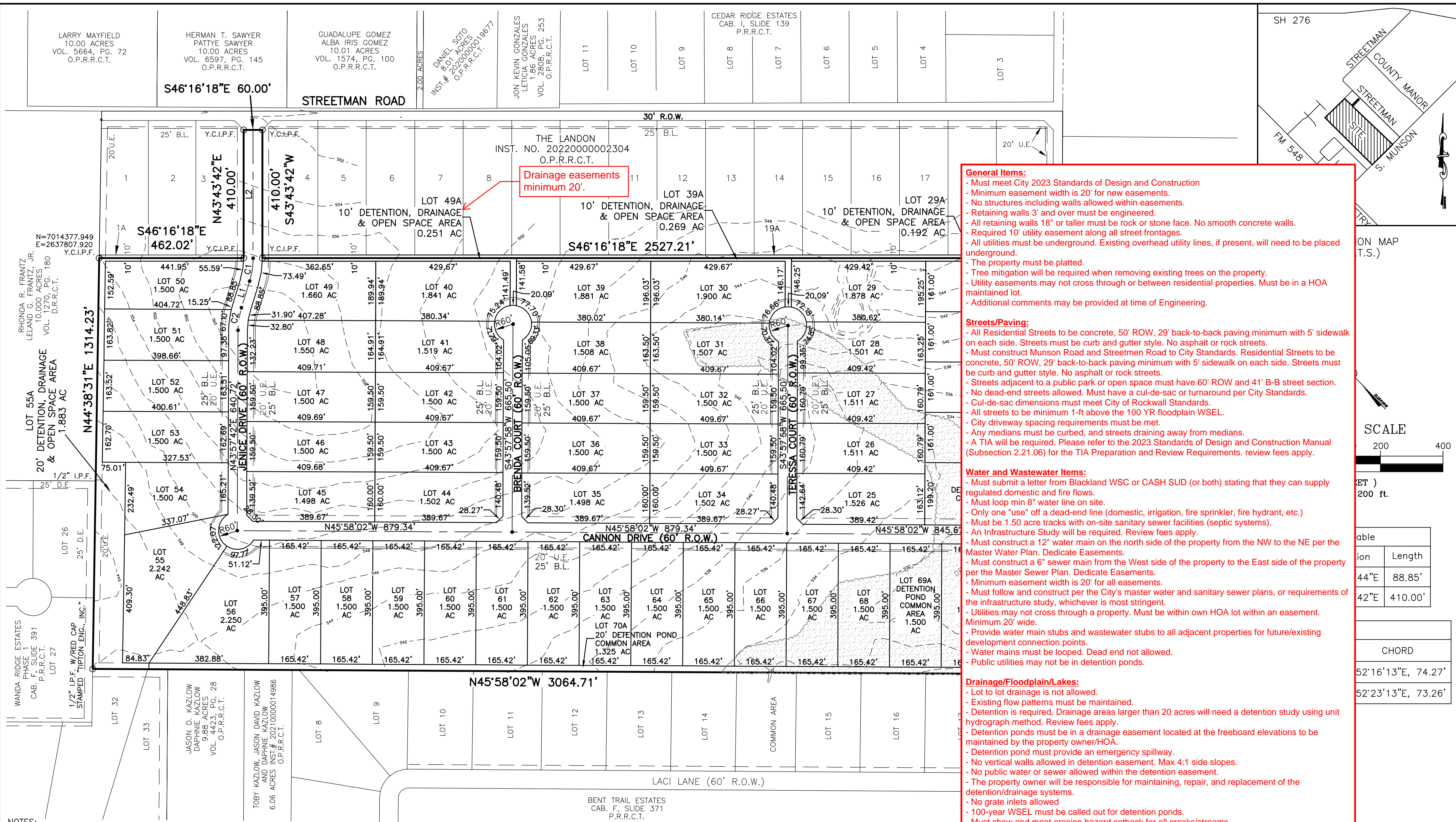
10/21/2025: Cannon Dr will not be allowed due to one already existing in Rockwall County. Please submit different name. Rockwall County will also have to approve final naming list.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved

No Comments



NOTES:

1. Located in the City of Rockwall, Texas E.T.J.
2. Water supplied by Cash SUD.
3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.
6. 1.8 Dwelling units per acre.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

LEGEND

M.N.S. - MAG NAIL SET
 I.P.F. - IRON PIN FOUND
 D.R.R.C.T. - DEED RECORDS, ROCKWALL COUNTY, TEXAS
 O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
 Y.C.I.P.F. - 1/2" IRON PIN FOUND WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

General Items:

- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements.
- No structures including walls allowed within easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Additional comments may be provided at time of Engineering.

Streets/Paving:

- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Must construct Munson Road and Streetman Road to City Standards. Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park or open space must have 60' ROW and 41' B-B street section.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City driveway spacing requirements must be met.
- Any medians must be curbed, and streets draining away from medians.
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.

Water and Wastewater Items:

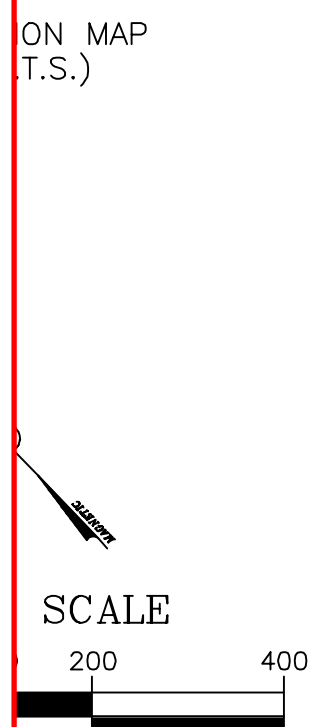
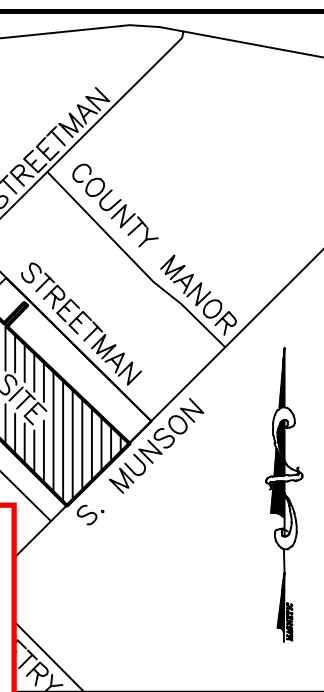
- Must submit a letter from Blackland WSC or CASH SUD (or both) stating that they can supply regulated domestic and fire flows.
- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must be 1.50 acre tracks with on-site sanitary sewer facilities (septic systems).
- An Infrastructure Study will be required. Review fees apply.
- Must construct a 12" water main on the north side of the property from the NW to the NE per the Master Water Plan. Dedicate Easements.
- Must construct a 6" sewer main from the West side of the property to the East side of the property per the Master Sewer Plan. Dedicate Easements.
- Minimum easement width is 20' for all easements.
- Must follow and construct per the City's master water and sanitary sewer plans, or requirements of the infrastructure study, whichever is most stringent.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- Water mains must be looped. Dead end not allowed.
- Public utilities may not be in detention ponds.

Drainage/Floodplain/Lakes:

- Lot to lot drainage is not allowed.
- Existing flow patterns must be maintained.
- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention ponds must be in a drainage easement located at the freeboard elevations to be maintained by the property owner/HOA.
- Detention pond must provide an emergency spillway.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA and now in ROW.
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Lot to Lot drainage is not allowed.
- Drainage must be at sheet flow conditions at the property line or an easement on the neighboring property is required, all the way to the creek.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities or within easements.



Direction	Length
44°E	88.85'
42°E	410.00'
CHORD	
52°16'13"E	74.27'
52°23'13"E	73.26'

CARROLL CONSULTING GROUP, INC.

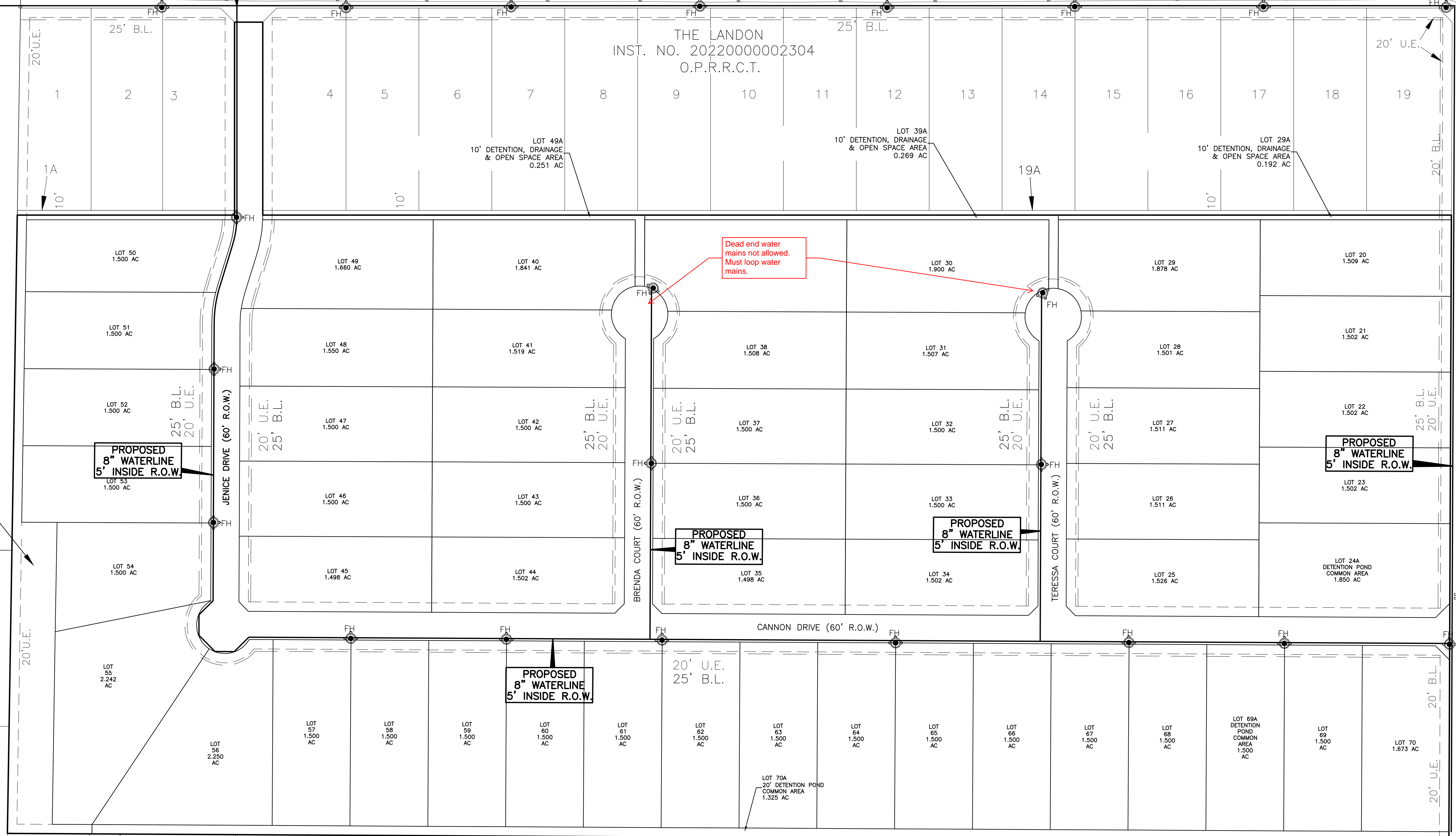
203 W. FM 6 NEVADA, TEXAS 75173
 PHONE (972) 840-1506
 TBPELS REGISTRATION NO.: F-21608
 TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

Being a replat of Lot 20 of The Landon
 Inst. No. 2022000002304, O.P.R.R.C.T.
 Samuel McFadgin Survey, Abstract No. 142
 Situated within the
 Extraterritorial Jurisdiction (ETJ)
 of the City of Rockwall
 Rockwall County, Texas
 Case No.:
 OWNER:
 HARLAN PROPERTIES, INC.
 2404 TEXAS DR., SUITE 103
 IRVING, TEXAS 75062

8" WATERLINE STREETMAN ROAD

THE LONDON
INST. NO. 2022000002304
O.P.R.R.C.T.



PROPOSED
8" WATERLINE
5' INSIDE R.O.W.

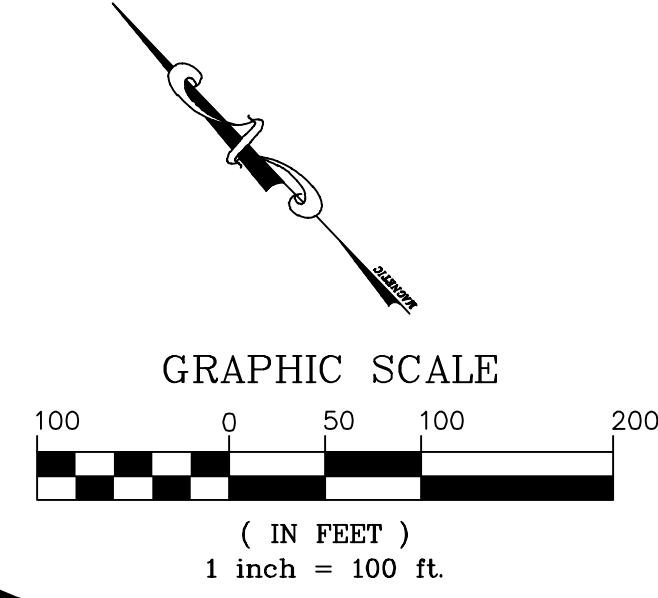
PROPOSED
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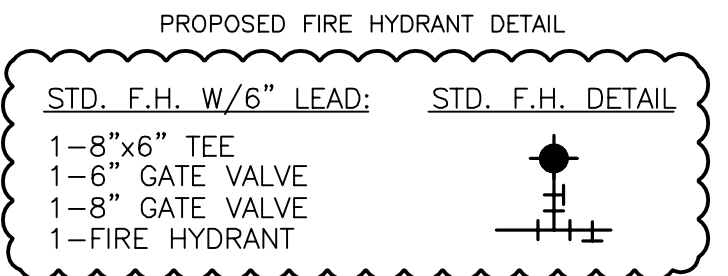
PROPOSED
8" WATERLINE
5' INSIDE R.O.W.

PROPOSED
8" WATERLINE
5' INSIDE R.O.W.

Dead end water
mains not allowed.
Must loop water
mains.



ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.
ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.
UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.
ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)
ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



○ - PROPOSED FIRE HYDRANT

PRELIMINARY WATER PLAN

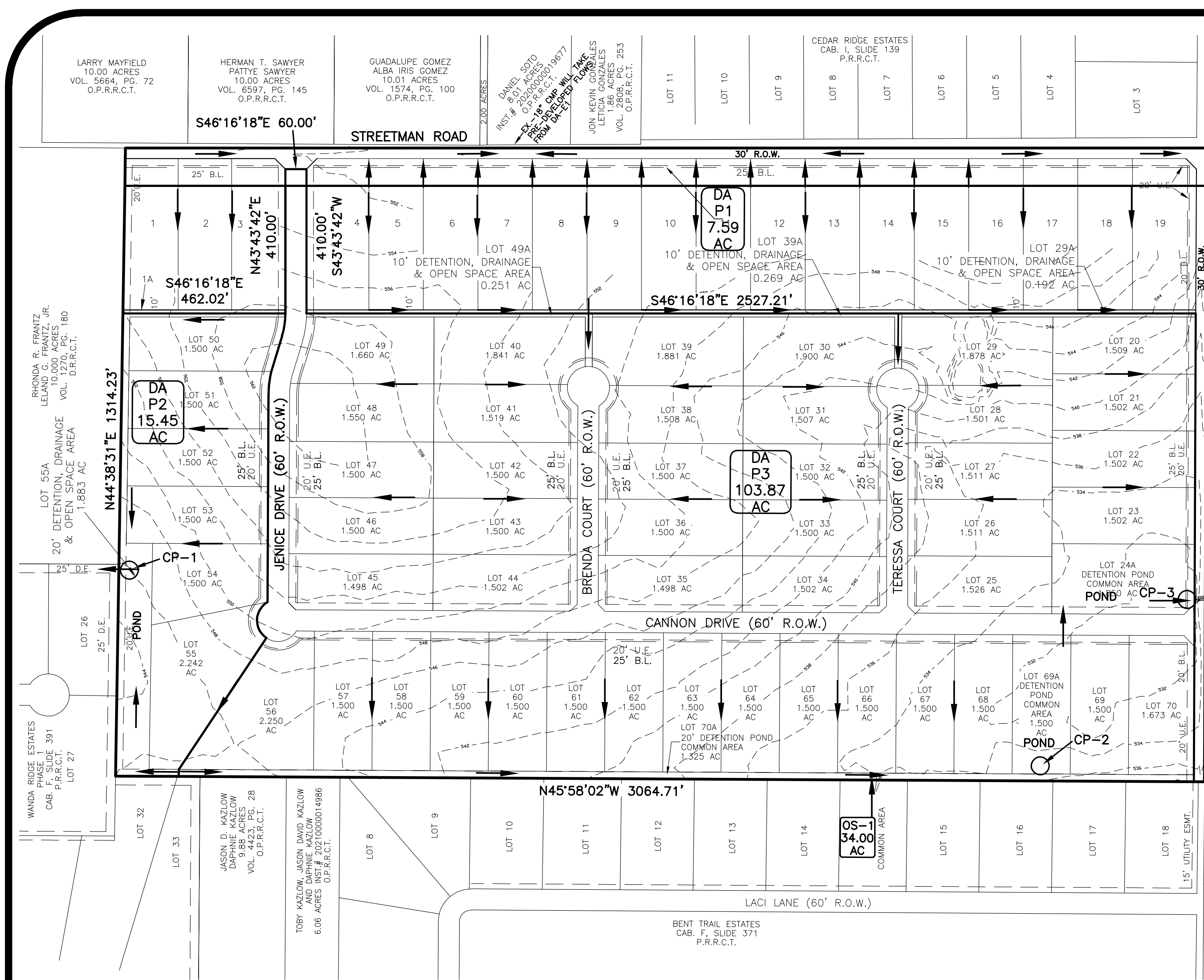
Case No.:

THE LONDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

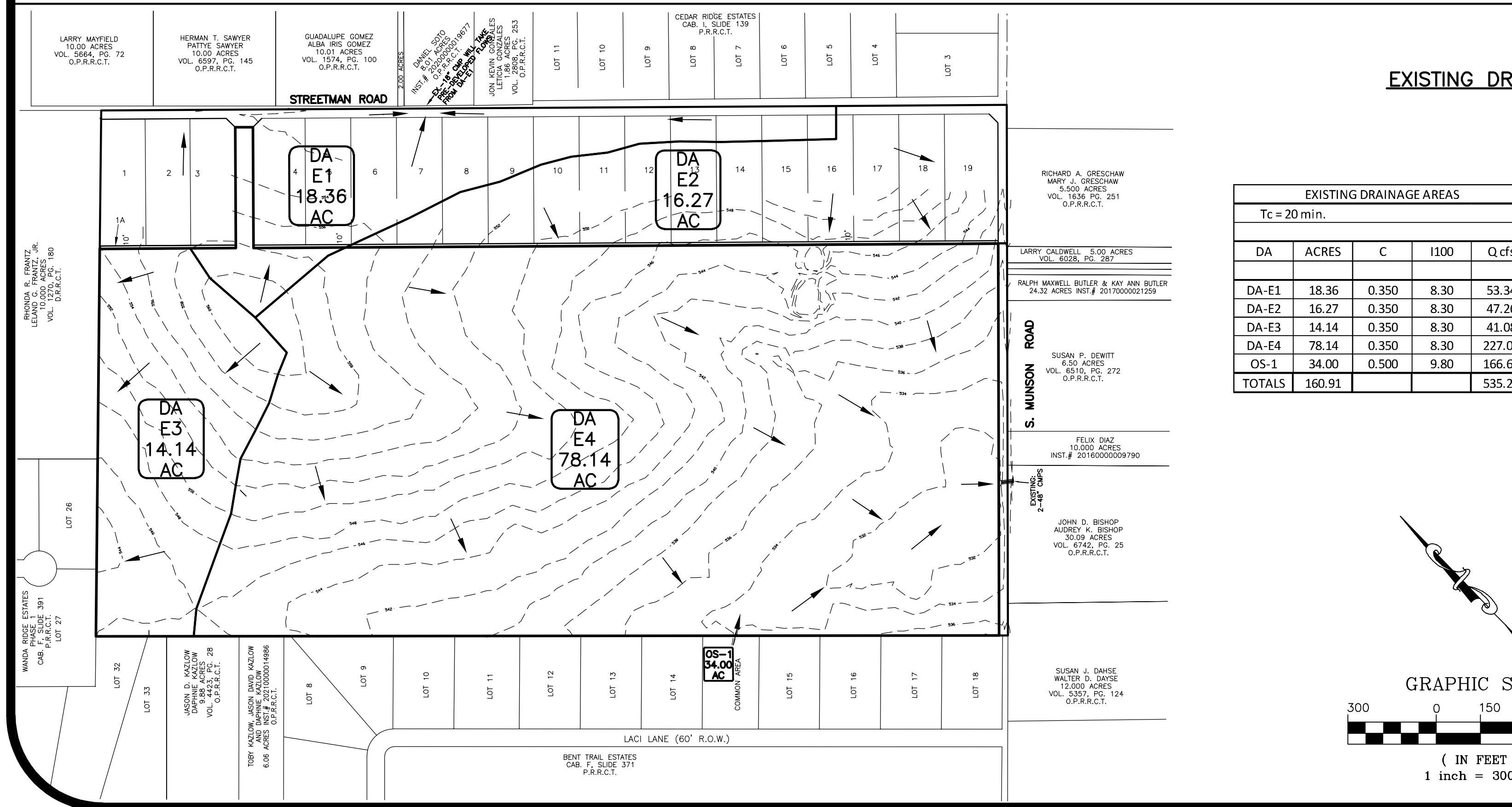
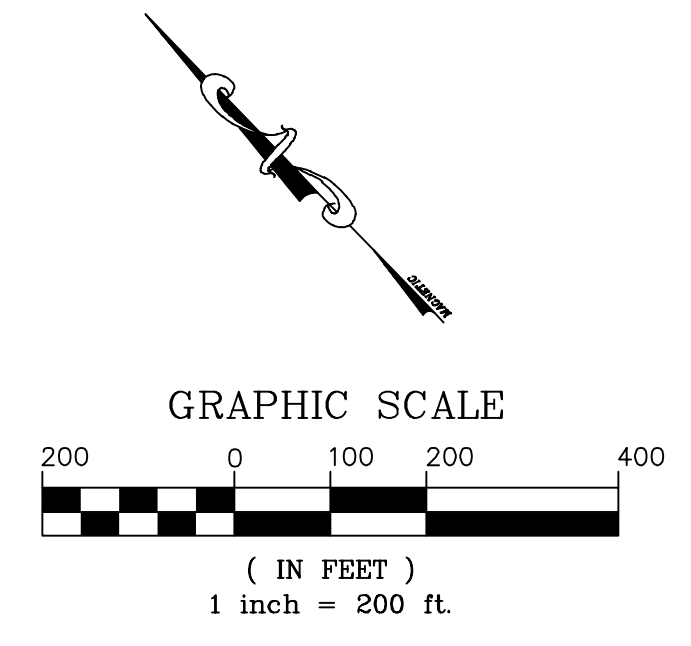
DWG:	DATE:	SCALE:	DRAWN BY:
THE LONDON-2	OCTOBER 17, 2025	1"=100'	CP



PROPOSED DRAINAGE AREAS

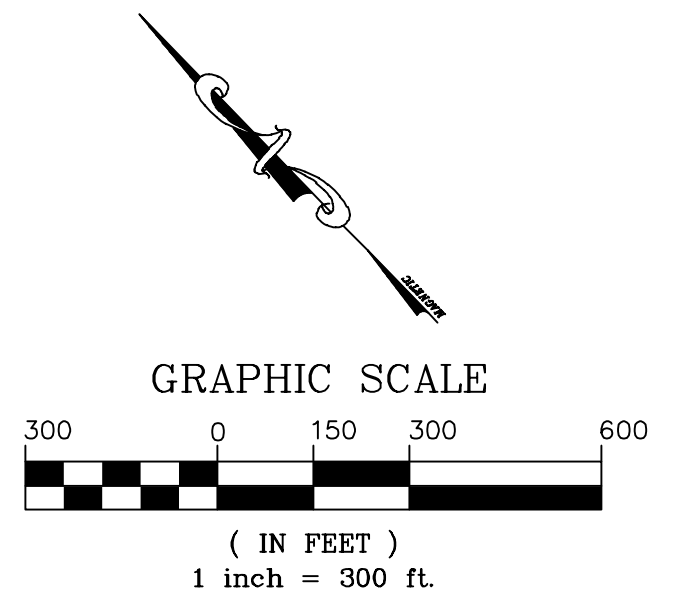
PROPOSED DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q100 cfs	
Tc = 10 min.					
DA-P1	7.59	0.500	9.80	37.19	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-P2	15.45	0.500	9.80	75.71	DRAINS TO CP-1, POND
DA-P3	103.87	0.500	9.80	508.96	DRAINS TO CP-3, POND TO 2-48" RCPS
OS-1	34.00	0.500	9.80	166.60	DRAINS TO PR-3, SWALE TO CP-2, POND
TOTALS	160.91			788.46	

Detention/Drainage Calculations will be reviewed at Engineering.



EXISTING DRAINAGE AREAS

EXISTING DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Qcfs	
Tc = 20 min.					
DA-E1	18.36	0.350	8.30	53.34	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-E2	16.27	0.350	8.30	47.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E3	14.14	0.350	8.30	41.08	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E4	78.14	0.350	8.30	227.00	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
OS-1	34.00	0.500	9.80	166.60	OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.
TOTALS	160.91			535.27	



3

PRELIMINARY DRAINAGE PLAN

Case No.:
THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.
203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE:	SCALE:	DRAWN BY:
THE LANDON-2	OCTOBER 17, 2025	1"=200' & 300'	CP



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1230 Streetman Road - Property ID# 114821

SUBDIVISION The Landon Phase Two

LOT

BLOCK

GENERAL LOCATION Lot 20 of the Landon/South of the Streetman Road and S. Munson road intersection

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ETJ

CURRENT USE SINGLE FAMILY

PROPOSED ZONING ETJ

PROPOSED USE SINGLE FAMILY

ACREAGE 93.357

LOTS [CURRENT]

1

LOTS [PROPOSED]

50

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Harlan Properties, Inc.

APPLICANT Carroll Consulting Group, Inc.

CONTACT PERSON Jim Bell

CONTACT PERSON Sam Carroll

ADDRESS 2404 Texas Dr.

ADDRESS 203 W. FM 6

Suite 103

CITY, STATE & ZIP Irving, TX 75062

CITY, STATE & ZIP Nevada, TX 75173

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

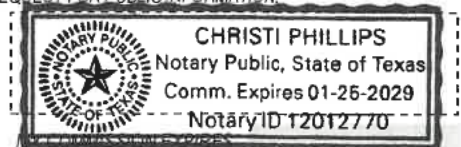
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sam Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,600.36 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2025

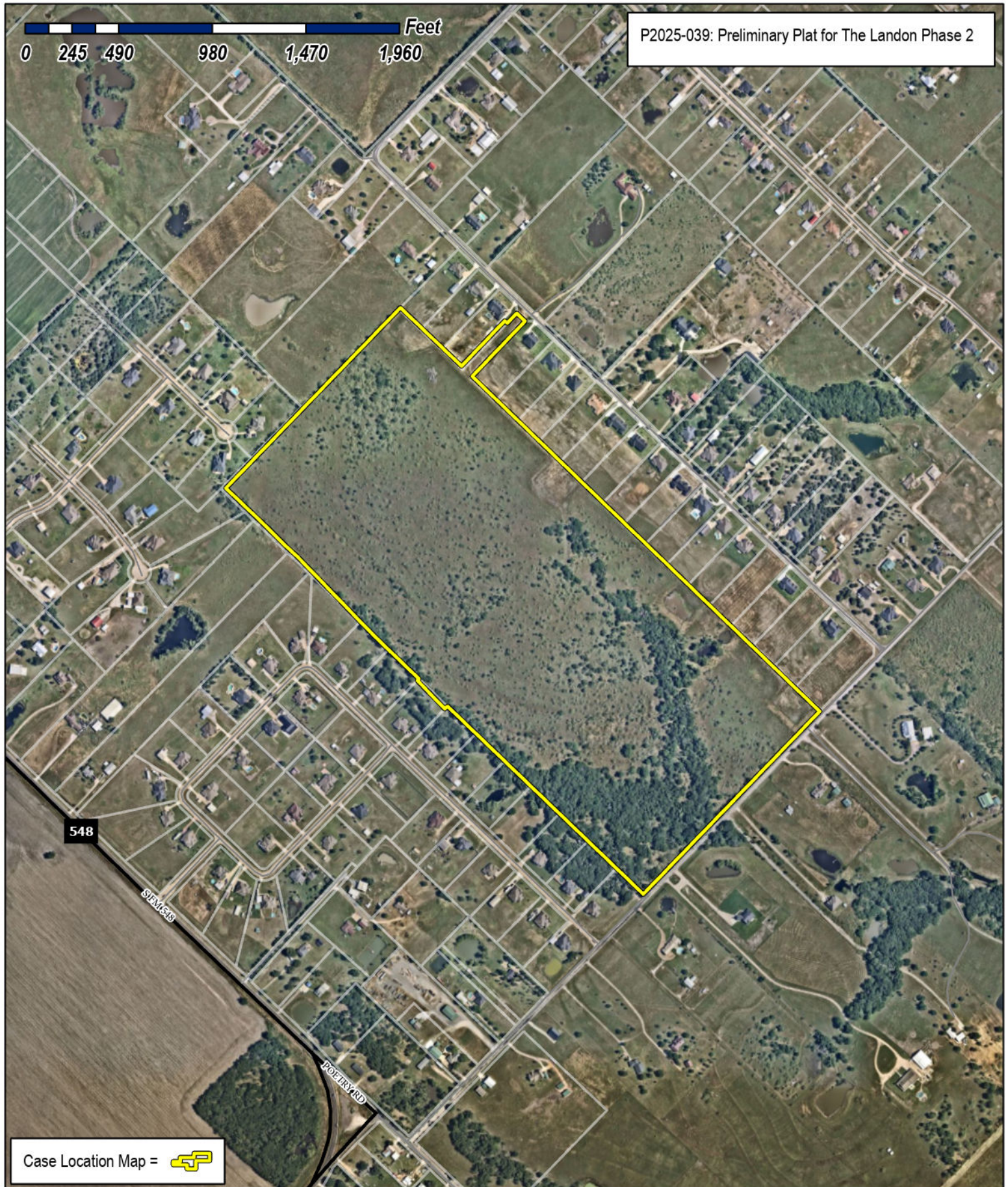
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 245 490 980 1,470 1,960 Feet

P2025-039: Preliminary Plat for The Landon Phase 2



Case Location Map = 

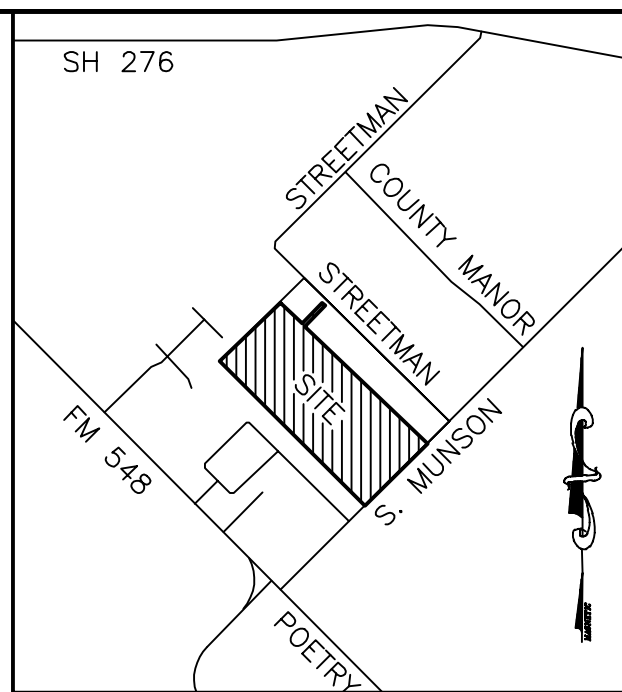
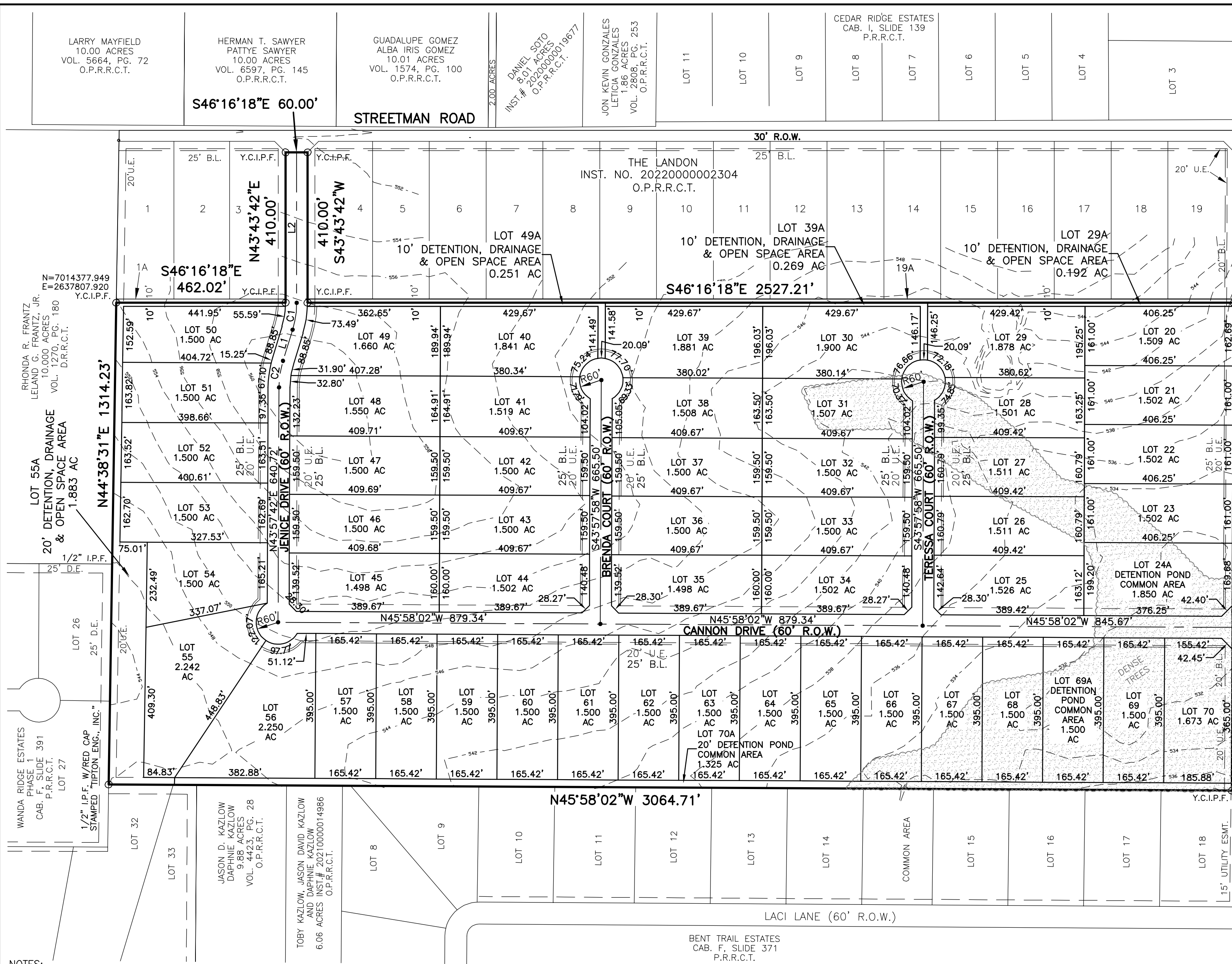


City of Rockwall

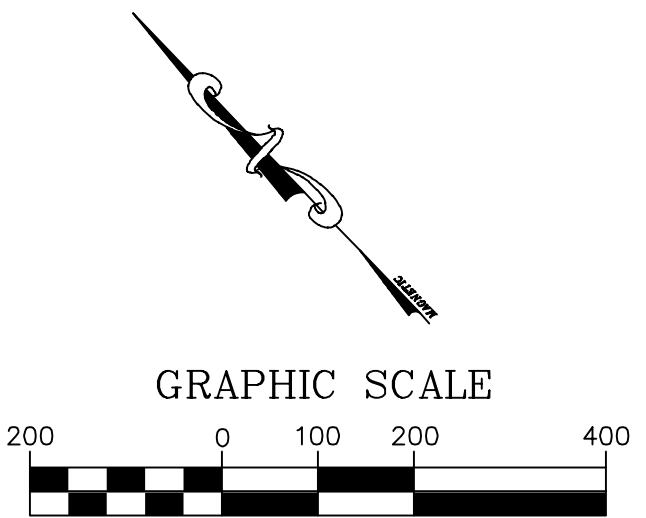
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOCATION MAP (N.T.S.)



Line Table		
Line #	Direction	Length
L1	N60°48'44"E	88.85'
L2	N43°43'42"E	410.00'

Curve Table				
Curve #	Length	Radius	Delta	CHORD
C1	74.54'	250.00'	17°05'03"	N52°16'13"E, 74.27'
C2	73.53'	250.00'	16°51'03"	N52°23'13"E, 73.26'

RICHARD A. GRESCHAW
MARY J. GRESCHAW
5.500 ACRES
VOL. 1636 PG. 251
O.P.R.R.C.T.

LARRY CALDWELL 5.00 ACRES
VOL. 6028, PG. 287

RALPH MAXWELL BUTLER & KAY ANN BUTLER
24.32 ACRES INST.# 20170000021259

SUSAN P. DEWITT
6.50 ACRES
VOL. 6510, PG. 272
O.P.R.R.C.T.

FELIX DIAZ
10.000 ACRES
INST.# 20160000009790

JOHN D. BISHOP
AUDREY K. BISHOP
30.09 ACRES
VOL. 6742, PG. 25
O.P.R.R.C.T.

SUSAN J. DAHSE
WALTER D. DAYSE
12.000 ACRES
VOL. 5357, PG. 124
O.P.R.R.C.T.

- NOTES:
1. Located in the City of Rockwall, Texas E.T.J.
 2. Water supplied by Cash SUD.
 3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
 4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
 5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.
 6. 1.8 Dwelling units per acre.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

LEGEND

M.N.S. - MAG NAIL SET
I.P.F. - IRON PIN FOUND
D.R.R.C.T. - DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.F. - 1/2" IRON PIN FOUND WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

OWNER:
HARLAN PROPERTIES, INC.
2404 TEXAS DR., SUITE 103
IRVING, TEXAS 75062

PRELIMINARY PLAT
THE LANDON PHASE TWO
LOTS 20-70 & LOTS 29A, 39A, 49A,
55A, 69A & 70A, BLOCK A
50 Residential Lots
93.357 Acres of Land
Being a replat of Lot 20 of The Landon
Inst. No. 2022000002304, O.P.R.R.C.T.
Samuel McFadgin Survey, Abstract No. 142
Situated within the
Extraterritorial Jurisdiction (ETJ)
of the City of Rockwall
Rockwall County, Texas
Case No.:

CARROLL CONSULTING GROUP, INC.
203 W. FM 6 NEVADA, TEXAS 75173
PHONE (972) 840-1506
TBPELS REGISTRATION NO.: F-21608
TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas, Harlan Properties, Inc. is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being all of Lot 20, Block A of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 2022000002304, Official Public Records, Rockwall County, Texas and as conveyed to Harlan Properties, Inc. by deed recorded in Instrument No. 2024000000232, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the south corner of said Lot 20 and being on the northeast line of Bent Trail Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas and the northwest right-of-way line of S. Munson Road;

Thence, North 45°58'02" West, along the southwest line of said Lot 20, the northeast line of said Bent Trail Estates, the northeast line of a 6.06 acre tract of land conveyed to Toby Kazlow, Jason David Kazlow and Daphnie Kazlow by deed recorded in Instrument No. 20210000014986, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and a northeast line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, a distance of 3064.71 feet to a 1/2" iron pin found with red cap stamped "TIPTON ENG. INC." for the west corner of said Lot 20 and a re-entrant corner of said Wanda Ridge Estates Phase 1;

Thence, North 44°38'31" East, along the northwest line of said Lot 20, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for a north corner of said Lot 20 and the west corner of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 2022000002304, Official Public Records, Rockwall County, Texas;

Thence, southeasterly, along the common lines of said Lot 20 and The Landon the following:

South 46°16'18" East, a distance of 462.02 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

North 43°43'42" East, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 60.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 43°43'42" West, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 2527.21 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the east corner of said Lot 20 and the south corner of said The Landon, and being on the northwest right-of-way line of S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said Lot 20 and the northwest right-of-way line of S. Munson Road, a distance of 1330.36 feet to the Point of Beginning and containing 4,066,627 square feet or 93.357 acres of land.

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

James Bart Carroll
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2025.

Notary Public in and for the State of Texas.
My commission expires: _____

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the ____ day of _____, 2025.

Harlan Properties, Inc., Owner

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____ DAY OF _____, 2025.

Notary Public for the State of Texas
My Commission expires _____

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 20____ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 20____.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

PRELIMINARY PLAT

THE LANDON PHASE TWO
LOTS 20-70 & LOTS 29A, 39A, 49A,
55A, 69A & 70A, BLOCK A

50 Residential Lots
93.357 Acres of Land

Being a replat of Lot 20 of The Landon
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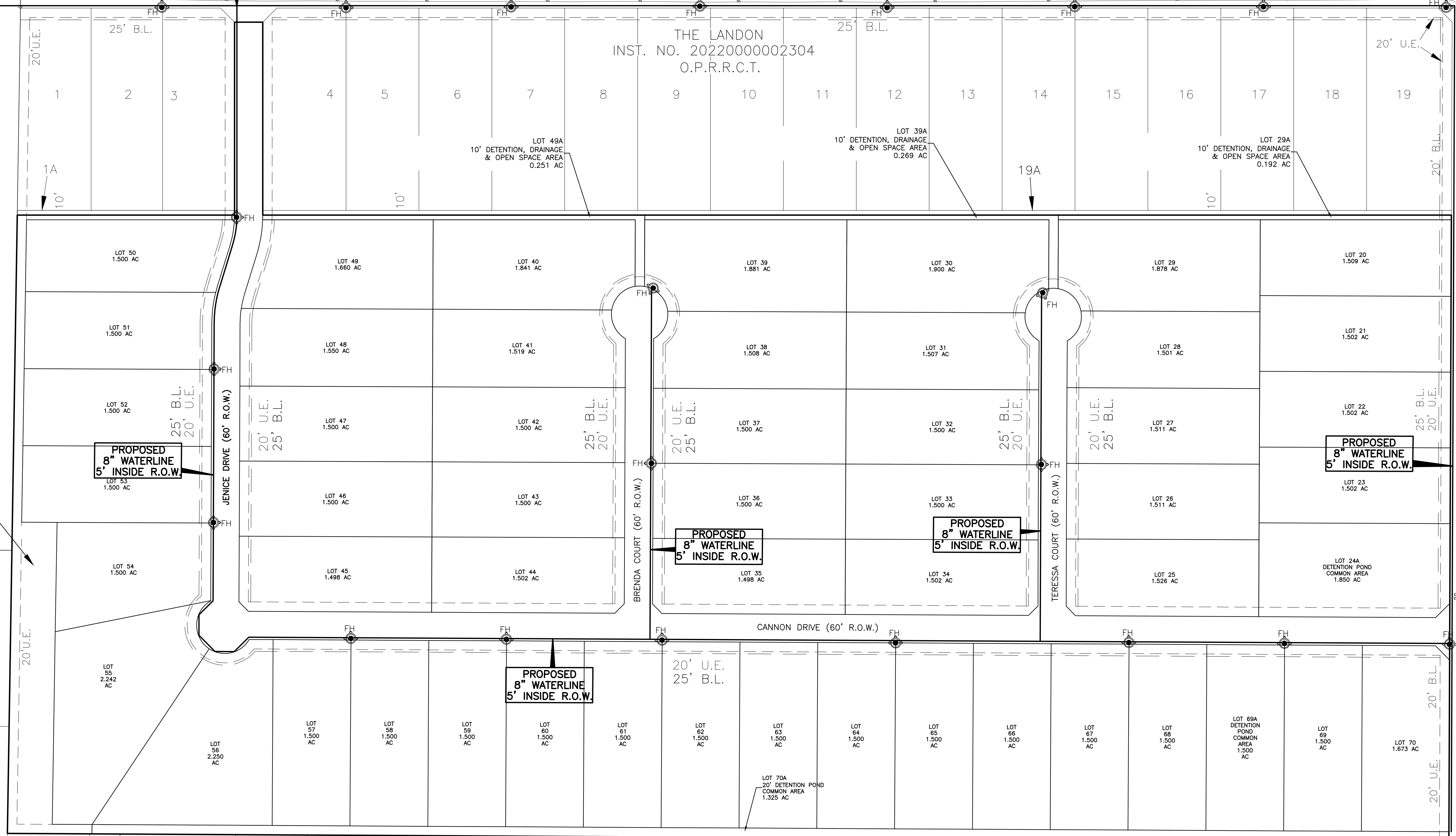
CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE (972) 840-1506
NEVADA, TEXAS 75173 TBPELS REGISTRATION NO.: F-21608
COPYRIGHT © CARROLL CONSULTING GROUP TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

8" WATERLINE STREETMAN ROAD

THE LONDON
INST. NO. 2022000002304
O.P.R.R.C.T.



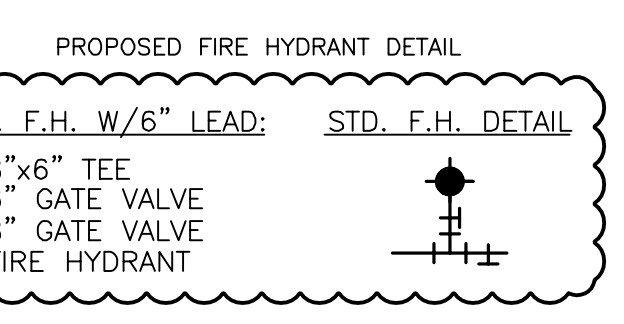
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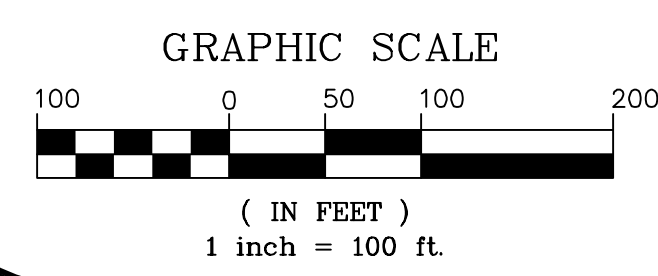
PROPOSED
8" WATERLINE
5' INSIDE R.O.W.

PROPOSED
8" WATERLINE
5' INSIDE R.O.W.



○ - PROPOSED FIRE HYDRANT

ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.
ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.
UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.
ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)
ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



LARRY VC
RALPH M 24.32

S. MUNSON ROAD

EXISTING:
2-48" CMPS

PRELIMINARY WATER PLAN

Case No.:

THE LONDON PHASE TWO

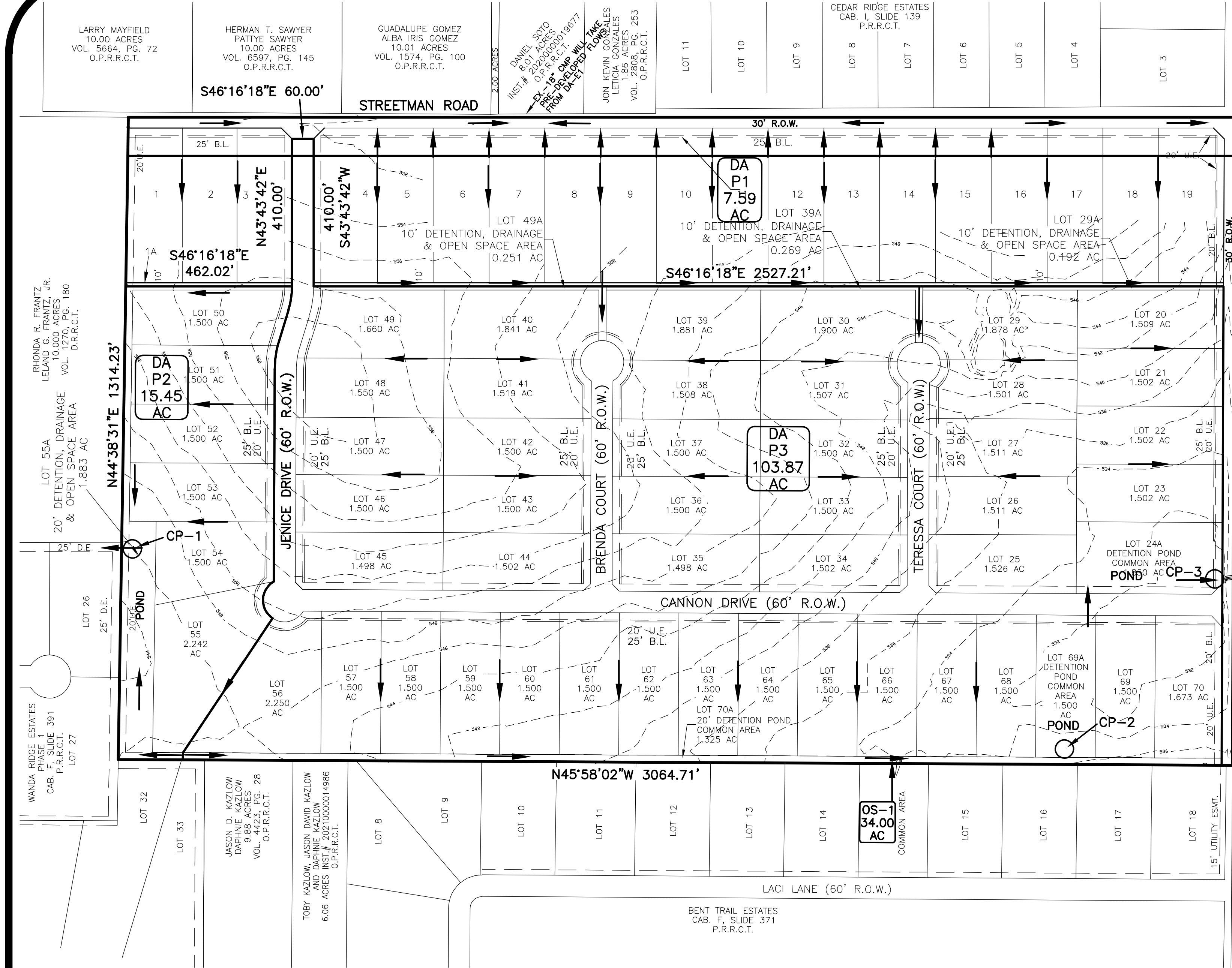
CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE:	SCALE:	DRAWN BY:
THE LONDON-2	OCTOBER 17, 2025	1"=100'	CP

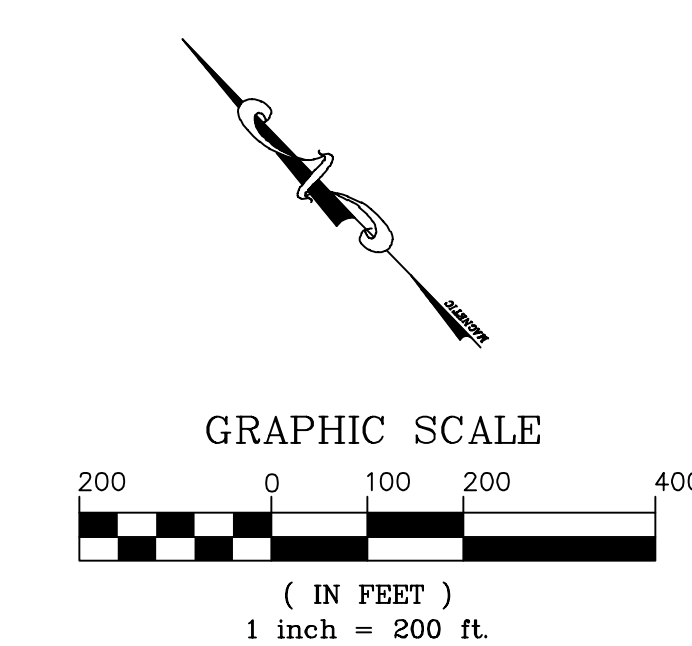
2

PROPOSED DRAINAGE AREAS

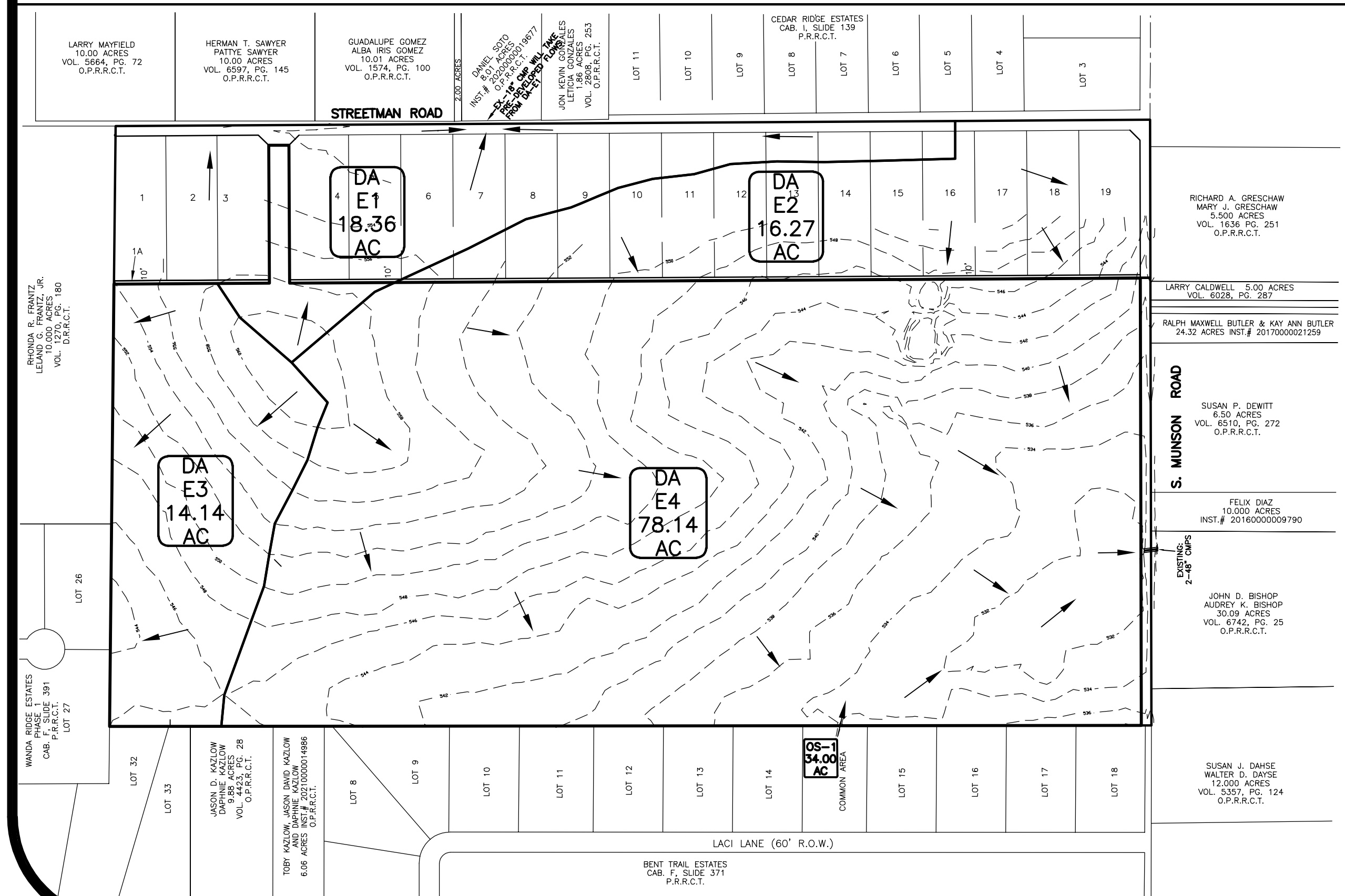


PROPOSED DRAINAGE AREAS				
Tc = 10 min.				
DA	ACRES	C	I100	Q100 cfs
DA-P1	7.59	0.500	9.80	37.19
DA-P2	15.45	0.500	9.80	75.71
DA-P3	103.87	0.500	9.80	508.96
OS-1	34.00	0.500	9.80	166.60
TOTALS	160.91			788.46

NOTES				
DA-P1	7.59	0.500	9.80	37.19
DA-P2	15.45	0.500	9.80	75.71
DA-P3	103.87	0.500	9.80	508.96
OS-1	34.00	0.500	9.80	166.60
DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD				
DRAINS TO CP-1, POND				
DRAINS TO CP-3, POND TO 2-48" RCPS				
DRAINS TO PR-3, SWALE TO CP-2, POND				

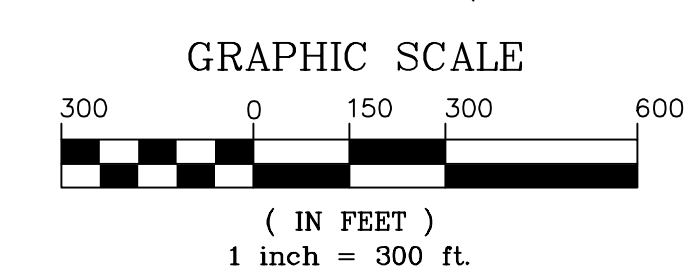


EXISTING DRAINAGE AREAS



EXISTING DRAINAGE AREAS				
Tc = 20 min.				
DA	ACRES	C	I100	Qcfs
DA-E1	18.36	0.350	8.30	53.34
DA-E2	16.27	0.350	8.30	47.26
DA-E3	14.14	0.350	8.30	41.08
DA-E4	78.14	0.350	8.30	227.00
OS-1	34.00	0.500	9.80	166.60
TOTALS	160.91			535.27

NOTES				
DA-E1	18.36	0.350	8.30	53.34
DA-E2	16.27	0.350	8.30	47.26
DA-E3	14.14	0.350	8.30	41.08
DA-E4	78.14	0.350	8.30	227.00
OS-1	34.00	0.500	9.80	166.60
OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.				



PRELIMINARY DRAINAGE PLAN

Case No.:

THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON-2	OCTOBER 17, 2025	1"=200' & 300'	CP

BOUNDARY CLOSURE REPORT

THE LANDON PHASE TWO

North: 7011312.6680' East: 2639087.7930'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3064.714'

North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227'

North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018'

North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000'

North: 7014354.8614' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000'

North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000'

North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2527.215'

North: 7012270.1995' East: 2640011.3746'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.364'

North: 7011312.6682' East: 2639087.7935'

Perimeter: 9578.537' Area: 4066627.24 Sq. Ft.

Error Closure: 0.0004 Course: N65° 24' 54.37"E

Error North: 0.00018 East: 0.00040

Precision 1: 23946345.000

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2025

PROJECT NUMBER: SP2025-041
PROJECT NAME: Site Plan for 1301 S. Goliad Street
SITE ADDRESS/LOCATIONS: 1301 S. Goliad Street

CASE CAPTION: Discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a Site Plan for a Medical Office Building on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	10/24/2025	Approved w/ Comments

10/24/2025: SP2025-041; Site Plan for a Medical Office Building at 1301 S. Goliad Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Medical Office Building on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-041) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 A subdivision plat will be required to be submitted prior to the issuance of a building permit in order to account for any new or existing easements on the subject property.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 All overhead utilities are required to be underground per the Unified Development Code (UDC) and the Planned Development District Ordinance. (Subsection 06.01.H, of Article 05, UDC; Ordinance No. 17-05)

M.7 Site Plan.

- (1) Please provide a vicinity map that locates the site relative to the nearest major roadways in a one-half mile radius. (Subsection 03.04. B, of Article 11, UDC)
- (2) Please indicate the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (3) Indicate the type and depth of the paving material and provide a detail or cut-sheet. (Subsection 03.02, of Article 06, UDC)
- (4) Signage is done through separate permits with the Building Inspections Department. (Subsection 06.02. F, of Article 05, UDC)
- (5) Please indicate any existing or proposed fencing. Please delineate the location and provide the material and height. (Subsection 08.02. F, of Article 08, UDC)
- (6) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (7) Please provide a note that there shall no above ground storage tanks or outside storage, which includes vehicles. (Subsection 01.05. B, of Article 05, UDC)
- (8) Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. In addition, the current dumpster location faces towards residentially zoned property. Please turn the dumpster enclosure away from the residential subdivision.

M.8 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please provide three (3) tiered landscape screening along the northeast property line. (Subsection 05.02.B, of Article 08, UDC)
- (3) Please provide one (1) canopy tree and one (1) accent tree per 50-linear feet along the east access easement. This can serve as a compensatory measure. (Subsection 05.05, of Article 08, UDC)
- (4) All pad mounted equipment must be shown; this includes franchise utilities. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (5) All shrubs shall be five (5) gallon. (Subsection 05.05. B, of Article 08, UDC)
- (6) All parking spaces that face onto a roadway must have a row of 5-gallon evergreen shrubs planted in front of them for headlight screening. (Subsection 05.03, of Article 08, UDC)
- (7) All landscaping must be irrigated with an underground system. (Subsection 05.04, of Article 08, UDC)
- (8) Please delineate and label the required berms within the landscape buffers. (Subsection 06.02, of Article 05, UDC)

M.9 Treescap Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) For Eastern Red Cedar (ERC) trees, the mitigation is required based on the height of the ERC. In this case, the treescap table indicated caliper sizes, which appear to be much larger than what is on site. Please provide some clarity on this item. (Section 05, of Article 09, UDC)

M.10 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Light levels shall not be greater than 0.2 FC at all property lines. In addition, the light levels should be 0.0 FC adjacent to S. Goliad Street, and the northeast property line. In this case, the light levels appear to be taken from the edge of pavement and not the property line. Please correct the photometric plan to address this requirement. (Subsection 03.03, of Article 07, UDC)
- (3) Please indicate the mounting height for all of the fixtures. All fixtures may not be mounted greater than 20-feet. (Subsection 03.03, of Article 07, UDC)

M.11 Building Elevations

- (1) The subject property is located within an Overlay District. This requires that the stone be natural or quarried. In this case, the proposed stone appears to be cast. Please propose a different stone or this will be a Variance request. (Subsection 06.02, of Article 05, UDC)
- (2) EIFS is not an approved masonry material, rather three (3) part stucco will need to be utilized. (Subsection 06.02, of Article 05, UDC)

- (3) The subject property is located within an Overlay District. This requires that each façade cannot utilize more than 50% cementitious material. In this case, the north and east façade exceeds this requirement. Please correct this or this will be a Variance request. (Subsection 06.02, of Article 05, UDC)
- (4) Please include a note on the building elevations that indicate that the back side of the parapets will incorporate the same material as the exterior facing façade. (Subsection 06.02, of Article 05, UDC)
- (5) All roof mounted equipment must be crosshatched on the building elevations. This equipment must be fully screened. (Subsection 01.05.C, of Article 05, UDC)
- (6) Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Staff should note that the Architectural Review Board (ABR) will be looking for canopies over any exterior doors. (Subsection 01.05.C, of Article 05, UDC)
- (7) The subject property is located within an Overlay District. This requires four (4) sided architecture where all sides of the building must utilize the same materials, detailing, articulation and features. In this case, the detailing, features, and articulation are not the same on each side. Please provide four (4) sided architecture or this will be a Variance request. (Subsection 06.02, of Article 05, UDC)
- (8) In addition, the comment above, the four (4) sided architecture requires the primary articulation standards to be used on each side of the building. Please see the areas of non-conformance below. Please correct this or this will be a Variance request. (Subsection 06.02, of Article 05, UDC)
 - a. Wall Height: (conforming)
 - b. Wall Length: maximum permitted = 51'6" (non-conforming on north, west, and east sides)
 - c. Secondary Entry Element Width: minimum permitted = 12'10" (non-conforming on south side, and north, east, and west have no secondary element)
 - d. Wall Projection: minimum permitted = 4'3" (non-conforming on all sides)
 - e. Primary Entry Element Depth: minimum permitted = 8'6" (non-conforming on all sides)
 - f. Projection Height: minimum permitted = 4'3" (non-conforming on all sides)
 - g. Primary Entry Element Width: minimum permitted = 25'8" (non-conforming on south side, and north, east, and west have no primary element)

M.12 At this time, based on the materials submitted, staff has identified several changes to the site, landscape, photometric, and building design that require changes. Any required changes that are not made will be an exception/variance. These exceptions/variances must be approved by the Planning and Zoning Commission.

M.13 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. For every requested exception or variance, two (2) compensatory measures must be provided.

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on November 4, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on October 28, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on November 11, 2025.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

- 10/23/2025: 1. Dumpster area must have oil/water separator that drains to storm drainage system.
 2. Shift drive aisle and parking SW to allow for 20' parking space.
 3. 20' min.

General Items:

General Items:

- Must meet City 2023 Standards of Design and Construction

- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences with easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- The site will need to be platted.
- All utilities must be underground.
- Additional comments may be provided at time of Site Plan and Engineering.

Roadway Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking must be 20'x9' minimum.
- Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Culverts (if needed) must be engineered.
- Sidewalk pro-rata \$3.50/lf of SH 205 frontage

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- There is an existing sewer manhole located on the northwest side of the property available for use.
- There is an existing 12" water main stub along S. Goliad St., and an 8" water main stub located on the northeast side of the property available for use.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered within an easement.
- 10' Utility easements to be dedicated along SH 205 and Community Lane

Drainage Items:

- Existing flow patterns must be maintained.
- Detention is required.
- Detention calculations are based on zoning, not specific land use.
- Detention easement is required, set at the freeboard elevation.
- No vertical walls allowed in the detention easement.
- No public water or public sanitary sewer allowed in the detention easement.
- Detention must have a max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention ponds must be irrigated
- Detention must be on site, and not within public utility easements or Right-of-Way.

- Detention pond must have an emergency spillway.
- The 100-year WSEL for the detention pond must be called out.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- FFE for all buildings must be called out when adjacent to a detention pond. FEE must be a minimum 2' above the 100-year WSEL for the detention pond.
- Grate inlets are not allowed.
- Dumpster areas must drain to oil/water separator and then to the storm drainage system.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved w/ Comments

10/23/2025: * Back sides of the parapet walls to be finished with the same material as the front

* Must be 3-part stucco, listed as stucco

* Materials indicate EIFS, which is not allowed, must be 3-part stucco

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved

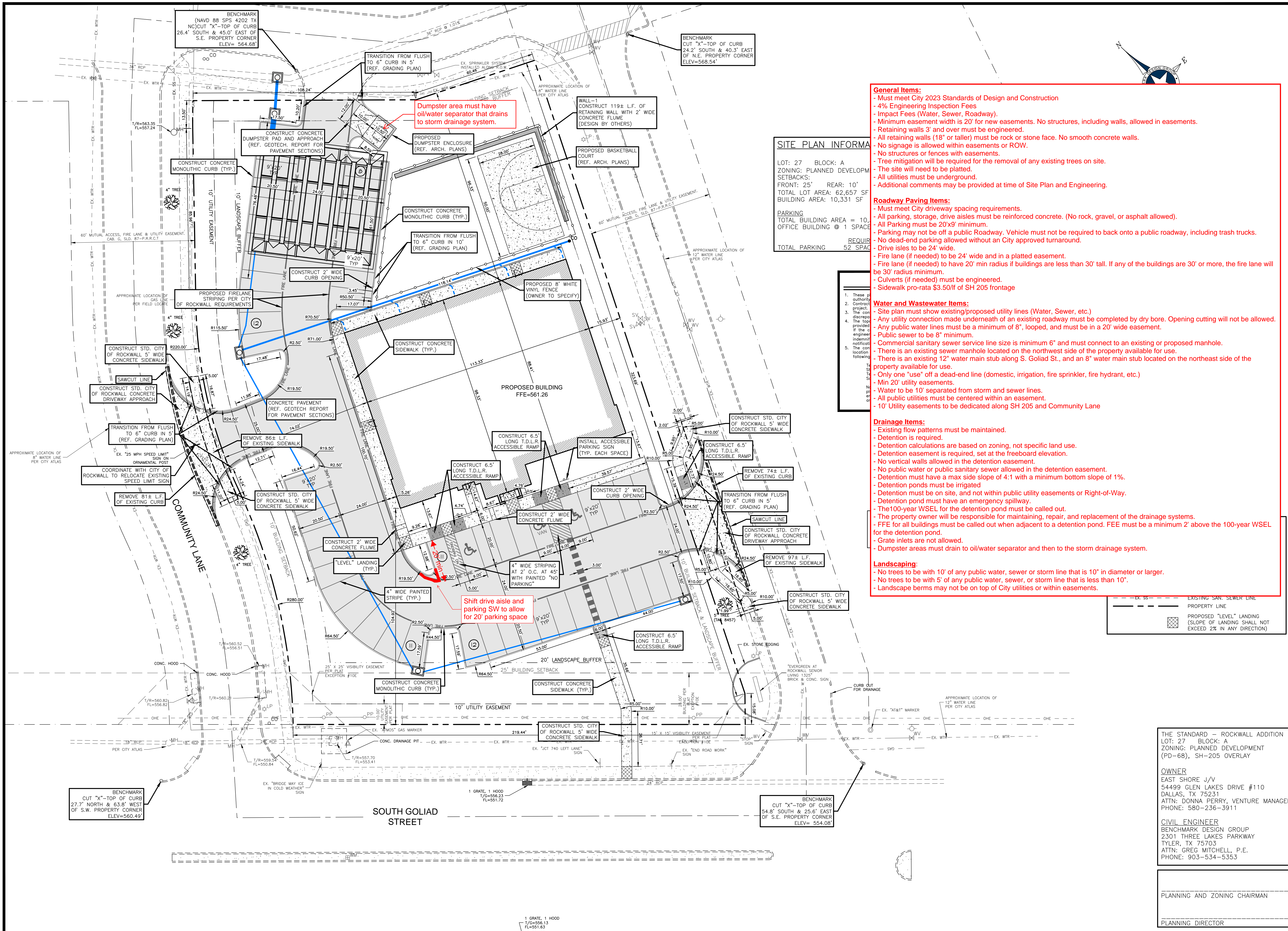
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Ryan Miller	10/24/2025	N/A

No Comments



SITE PLAN INFORMATION

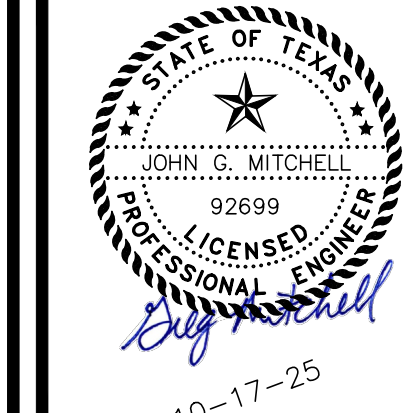
LOT: 27 BLOCK: A
 ZONING: PLANNED DEVELOPMENT
 SETBACKS:
 FRONT: 25' REAR: 10'
 TOTAL LOT AREA: 62,657 SF
 BUILDING AREA: 10,331 SF

PARKING
 TOTAL BUILDING AREA = 10
 OFFICE BUILDING @ 1 SPACE
 TOTAL PARKING REQUIREMENT = 52 SPACES

- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - No signage is allowed within easements or ROW.
 - No structures or fences with easements.
 - Tree mitigation will be required for the removal of any existing trees on site.
 - The site will need to be platted.
 - All utilities must be underground.
 - Additional comments may be provided at time of Site Plan and Engineering.
- Roadway Paving Items:**
- Must meet City driveway spacing requirements.
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 - All Parking must be 20'x9' minimum.
 - Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
 - No dead-end parking allowed without an City approved turnaround.
 - Drive aisles to be 24' wide.
 - Fire lane (if needed) to be 24' wide and in a platted easement.
 - Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Culverts (if needed) must be engineered.
 - Sidewalk pro-rata \$3.50/lf of SH 205 frontage
- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
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 - Public sewer to be 8" minimum.
 - Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
 - There is an existing sewer manhole located on the northwest side of the property available for use.
 - There is an existing 12" water main stub along S. Goliad St., and an 8" water main stub located on the northeast side of the property available for use.
 - Only one "use" of a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements.
 - Water to be 10' separated from storm and sewer lines.
 - All public utilities must be centered within an easement.
 - 10' Utility easements to be dedicated along SH 205 and Community Lane
- Drainage Items:**
- Existing flow patterns must be maintained.
 - Detention is required.
 - Detention calculations are based on zoning, not specific land use.
 - Detention easement is required, set at the freeboard elevation.
 - No vertical walls allowed in the detention easement.
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 - Detention must have a max side slope of 4:1 with a minimum bottom slope of 1%.
 - Detention ponds must be irrigated
 - Detention must be on site, and not within public utility easements or Right-of-Way.
 - Detention pond must have an emergency spillway.
 - The 100-year WSEL for the detention pond must be called out.
 - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
 - FFE for all buildings must be called out when adjacent to a detention pond. FFE must be a minimum 2' above the 100-year WSEL for the detention pond.
 - Grate inlets are not allowed.
 - Dumpster areas must drain to oil/water separator and then to the storm drainage system.
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - Landscape berms may not be on top of City utilities or within easements.

DATE	REVISIONS	BY
10-17-25	SITE PLAN SUBMITTAL	CCB

BENCHMARK DESIGN GROUP
 CIVIL / ENVIRONMENTAL / PLANNERS



BENCHMARK DESIGN GROUP

DRAWN BY: CCB
 CHECKED BY: JGM
 DATE: JUNE 2025
 JOB NO: 2025.036

MINDFUL WELLNESS
 1301 S. GOLIAD ST.

SITE PLAN

THE STANDARD - ROCKWALL ADDITION
 LOT: 27 BLOCK: A
 ZONING: PLANNED DEVELOPMENT (PD-68), SH-205 OVERLAY

OWNER
 EAST SHORE J/V
 54499 GLEN LAKES DRIVE #110
 DALLAS, TX 75231
 ATTN: DONNA PERRY, VENTURE MANAGER
 PHONE: 580-236-3911

CIVIL ENGINEER
 BENCHMARK DESIGN GROUP
 2301 THREE LAKES PARKWAY
 TYLER, TX 75703
 ATTN: GREG MITCHELL, P.E.
 PHONE: 903-534-5353

CASE NO.
 Z2025-055

PLANNING AND ZONING CHAIRMAN

PLANNING DIRECTOR

SHEET NO.
C-4

F:\Projects\2025\2025.036 Palm Development - Rockwall, TX\dwg\2025.036.dwg, 10/14/2025 11:09:56 AM, Benchmark



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **Z2025-055**

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1301 S. Goliad St, Rockwall, TX**

SUBDIVISION **The Standard - Rockwall Addition** LOT **27** BLOCK **A**

GENERAL LOCATION **Located on the corner of S Goliad and Community Ln**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-68, SH-205 Overlay**

CURRENT USE **None, Vacant lot**

PROPOSED ZONING **PD-68, SH-205 Overlay**

PROPOSED USE **Business (Medical Office Bldg)**

ACREAGE **1.4384**

LOTS [CURRENT] **One (1)**

LOTS [PROPOSED] **One (1)**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **East Shore JV**

APPLICANT **Palm Development Partners, LLC**

CONTACT PERSON **Donna Perry, Venture Manager**

CONTACT PERSON **Lisa Deaton, Chief Operations Officer**

ADDRESS _____

ADDRESS _____

ADDRESS _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Donna Perry, Venture Manager [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

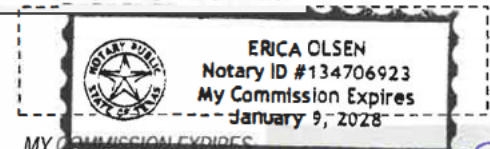
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 278.77 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 2025

OWNER'S SIGNATURE

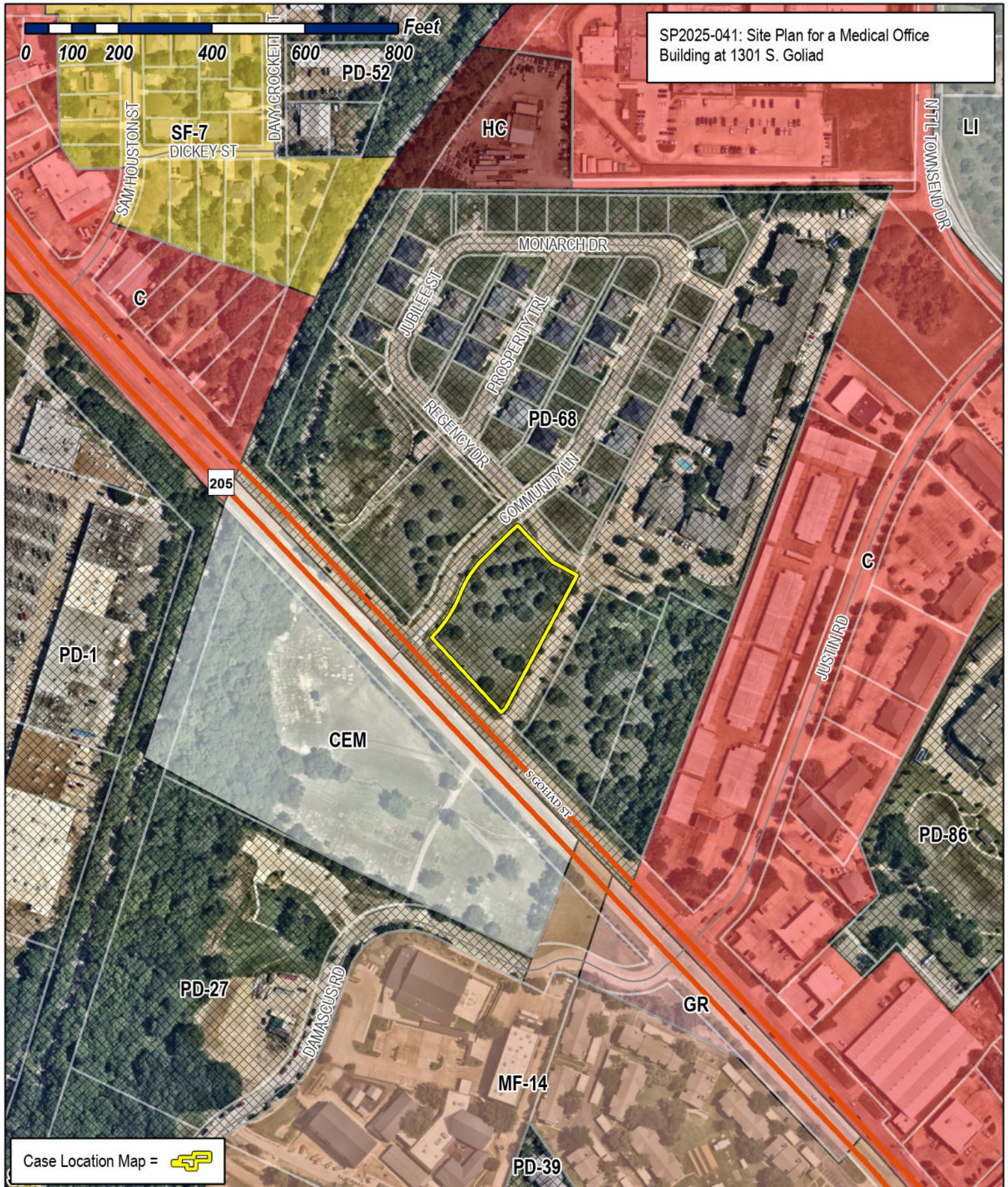
[Handwritten signature of Donna Perry]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

01-09-2028



SP2025-041: Site Plan for a Medical Office Building at 1301 S. Goliad

Case Location Map = 

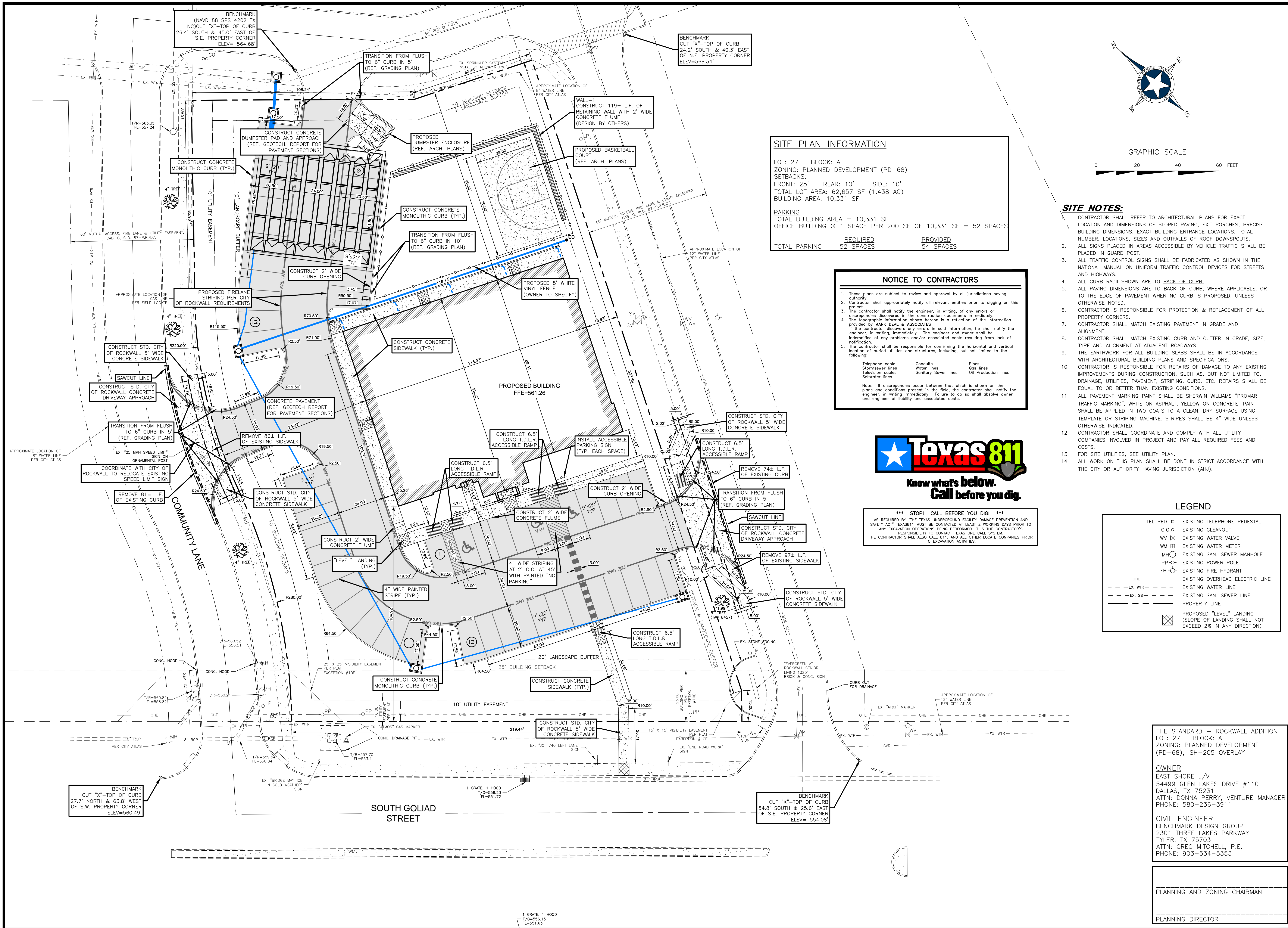


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE PLAN INFORMATION

LOT: 27 BLOCK: A
 ZONING: PLANNED DEVELOPMENT (PD-68)
 SETBACKS:
 FRONT: 25' REAR: 10' SIDE: 10'
 TOTAL LOT AREA: 62,657 SF (1.438 AC)
 BUILDING AREA: 10,331 SF

PARKING
 TOTAL BUILDING AREA = 10,331 SF
 OFFICE BUILDING @ 1 SPACE PER 200 SF OF 10,331 SF = 52 SPACES

TOTAL PARKING	REQUIRED 52 SPACES	PROVIDED 54 SPACES
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- SITE NOTES:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS.
 - ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL CURB RADIUS SHOWN ARE TO BACK OF CURB.
 - ALL PAVING DIMENSIONS ARE TO BACK OF CURB, WHERE APPLICABLE, OR TO THE EDGE OF PAVEMENT WHEN NO CURB IS PROPOSED, UNLESS OTHERWISE NOTED.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
 - CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
 - THE EARTHWORK FOR ALL BUILDING SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - ALL PAVEMENT MARKING PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING", WHITE ON ASPHALT, YELLOW ON CONCRETE. PAINT SHALL BE APPLIED IN TWO COATS TO A CLEAN, DRY SURFACE USING TEMPLATE OR STRIPING MACHINE. STRIPES SHALL BE 4" WIDE UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
 - FOR SITE UTILITIES, SEE UTILITY PLAN.
 - ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE CITY OR AUTHORITY HAVING JURISDICTION (AHJ).

NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown hereon is a reflection of the information provided by MARK DEAL & ASSOCIATES. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cables	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing, immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.



*** STOP! CALL BEFORE YOU DIG! ***

AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT "TEXAS811" MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

LEGEND

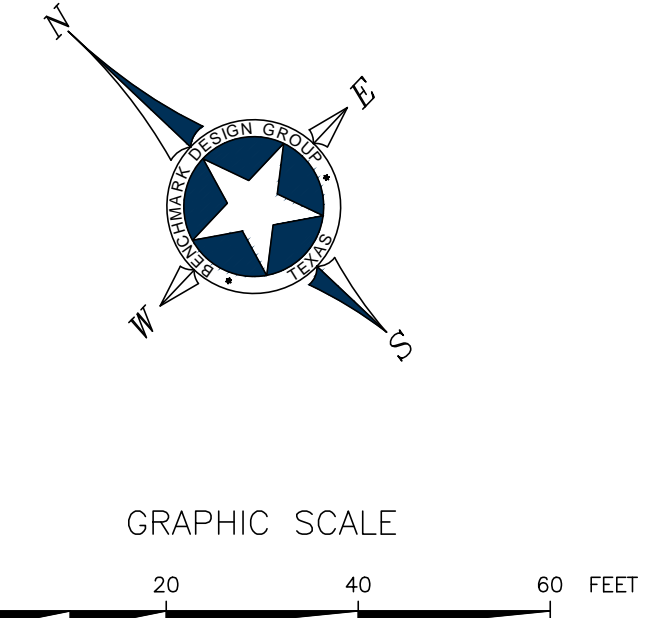
TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
OHE	EXISTING OVERHEAD ELECTRIC LINE
EX. WTR	EXISTING WATER LINE
EX. SS	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
[Hatched Box]	PROPOSED "LEVEL" LANDING (SLOPE OF LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION)

THE STANDARD - ROCKWALL ADDITION
 LOT: 27 BLOCK: A
 ZONING: PLANNED DEVELOPMENT (PD-68), SH-205 OVERLAY

OWNER
 EAST SHORE J/V
 54499 GLEN LAKES DRIVE #110
 DALLAS, TX 75231
 ATTN: DONNA PERRY, VENTURE MANAGER
 PHONE: 580-236-3911

CIVIL ENGINEER
 BENCHMARK DESIGN GROUP
 2301 THREE LAKES PARKWAY
 TYLER, TX 75703
 ATTN: GREG MITCHELL, P.E.
 PHONE: 903-534-5353

PLANNING AND ZONING CHAIRMAN _____
 PLANNING DIRECTOR _____



DATE	10-17-25	CCB
REVISIONS		
SUBMITTAL		

BENCHMARK
DESIGN GROUP
 CIVIL / ENVIRONMENTAL / PLANNERS



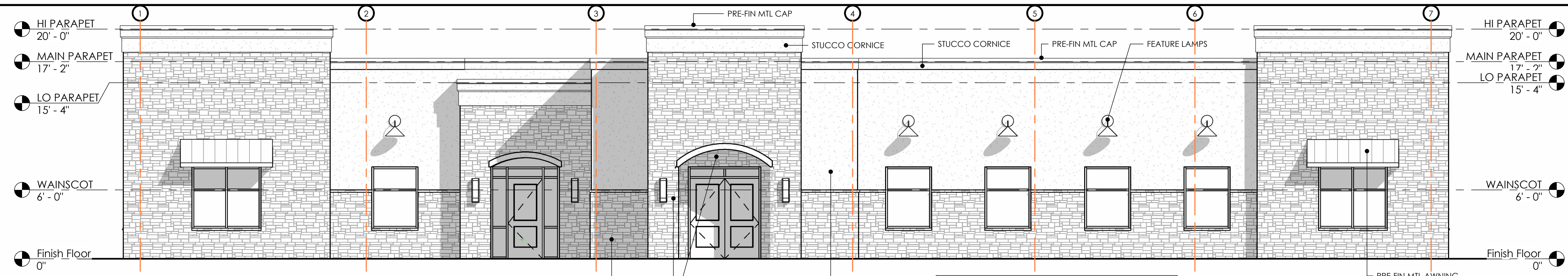
10-17-25

DRAWN BY: CCB
 CHECKED BY: JGM
 DATE: JUNE 2025
 JOB NO: 2025.036

MINDFUL WELLNESS
 1301 S. GOLIAD ST.
 SITE PLAN

CASE NO.
 Z2025-055
 SHEET NO.
C-4

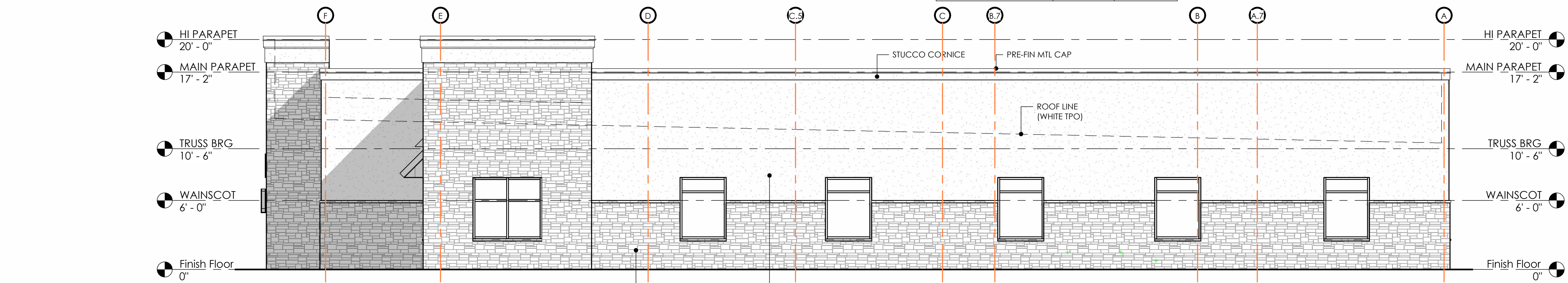
F:\Projects\2025\2025.036 Palm Development - Rockwall, Tx\dwg\2025.036.dwg, 10/14/2025 11:09:56 AM, Benchmark45



MATERIAL - SOUTH

Stucco	727 SF	40 %
Stone	1094 SF	60 %
Total	1821 SF	

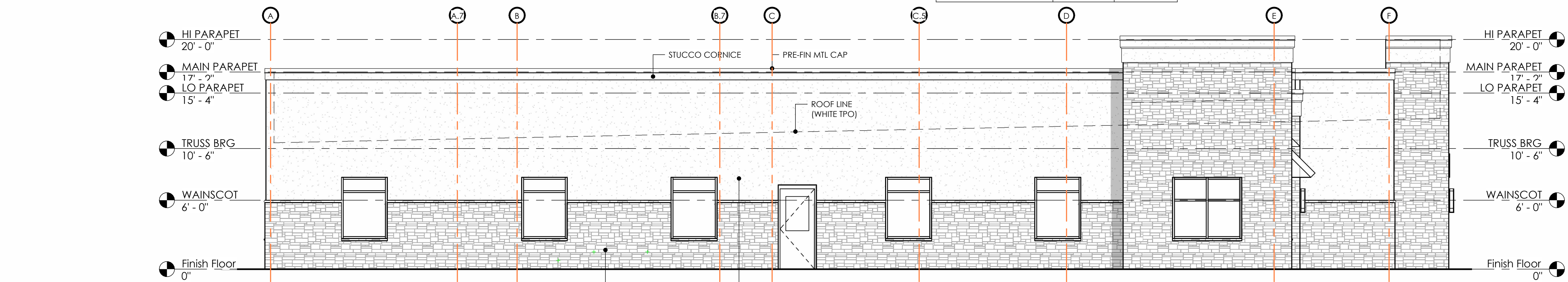
1 SOUTH / FRONT ELEVATION
SCALE: 3/16" = 1'-0"



MATERIALS - EAST

Stucco	934 SF	55 %
Stone	754 SF	45 %
Total	1688 SF	

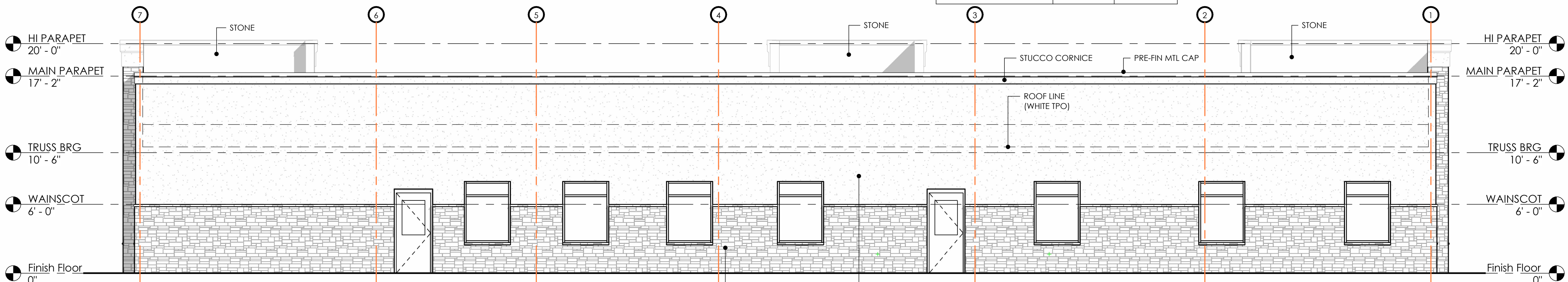
2 EAST / RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



MATERIAL - WEST

Stucco	924 SF	45 %
Stone	770 SF	55 %
Total	1694 SF	

3 WEST / LEFT ELEVATION
SCALE: 3/16" = 1'-0"



MATERIAL - NORTH

Stucco	1199 SF	63 %
Stone	703 SF	37 %
Total	1902 SF	

4 NORTH / REAR ELEVATION
SCALE: 3/16" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

CONSULTANT

Preliminary
Not For Construction

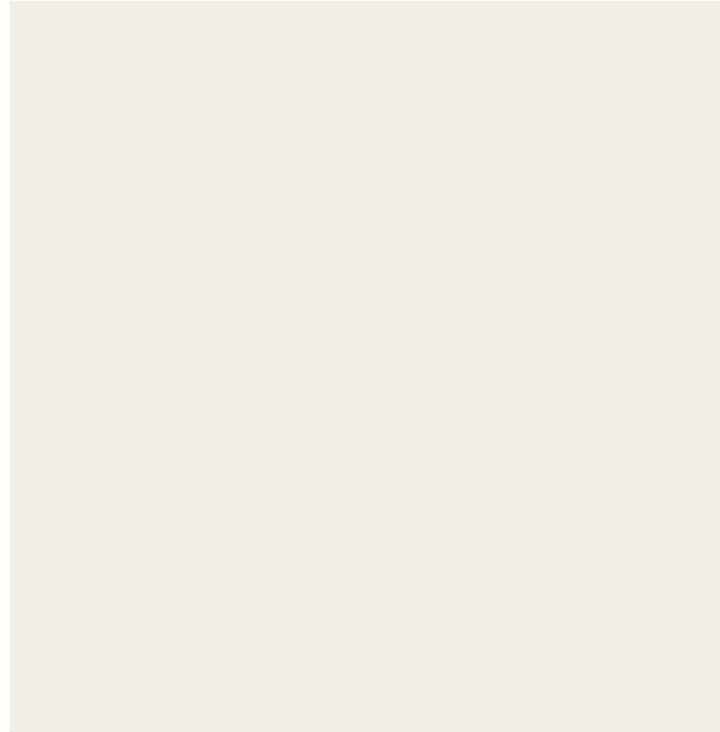
TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS
www.tlmae.com
117 East Lafayette Street Jackson, Tennessee
731.988.9840 (phone) - 731.988.9959 (fax)

ARCHITECTURAL ELEVATIONS
FOR
MINDFUL HEALTH
ROCKWALL, TEXAS FACILITY
PALM DEVELOPMENT
1301 S. GOLIAD ST. ROCKWALL, TEXAS 75087

Exterior Material Specifications



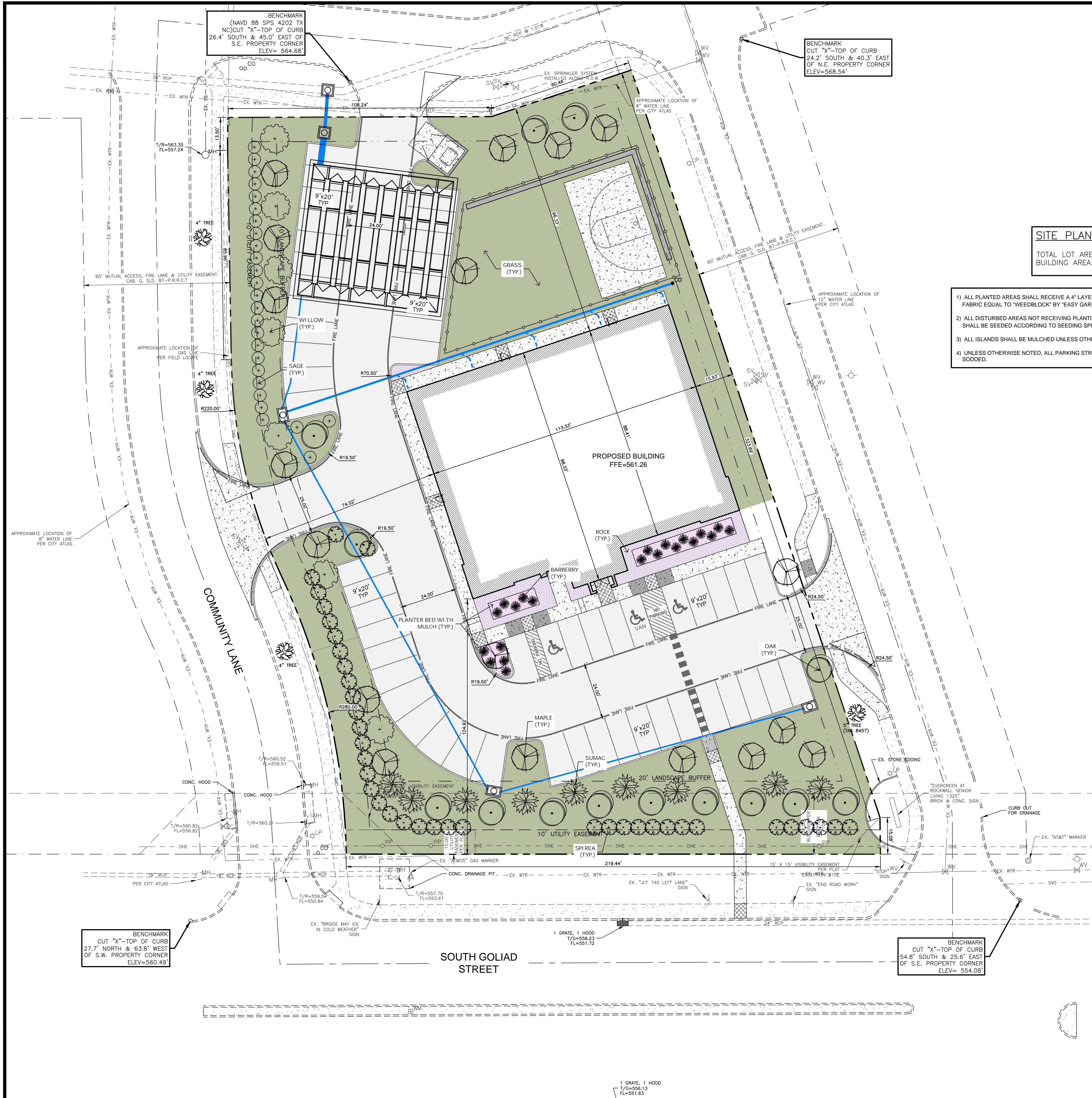
Mountain Stone, Classic Series
Profile: Ledgeplus
Color: Aspen



Dryvit EIFS
Color: Super White



Exterior Metal Finish
Color: Dark Bronze



LEGEND

- TEL PED □ EXISTING TELEPHONE PEDESTAL
- C.O.O □ EXISTING CLEANOUT
- WV ⊗ EXISTING WATER VALVE
- WM ⊕ EXISTING WATER METER
- MH ⊙ EXISTING SAN. SEWER MANHOLE
- PP ⊙ EXISTING POWER POLE
- FH ⊙ EXISTING FIRE HYDRANT
- OHE — EXISTING OVERHEAD ELECTRIC LINE
- EX. WTR — EXISTING WATER LINE
- EX. SS — EXISTING SAN. SEWER LINE
- — — — — PROPERTY LINE

GRAPHIC SCALE
0 20 40 60 FEET

LANDSCAPE TABULATIONS

	REQUIRED	PROVIDED
TOTAL LANDSCAPING:	12,532 SF	26,281 SF
TOTAL STREET YARD LANDSCAPING	6,266 SF	12,225 SF
PARKING LOT:		
CANOPY TREES (1 / 10 PARKING SPACES OF 54 SPACES)	6 EA	11 EA
FRONTAGE OF PRIMARY ROADWAY:		
CANOPY TREES (3 / 100 LF OF 219 LF)	7 EA	9 EA
ACCENT TREES (4 / 100 LF OF 219 LF)	9 EA	9 EA
SHRUBS (SAGE) (1 / 5 LF OF 116 LF)	24 EA	26 EA
SHRUBS (SPIREA) (1 / 6 LF OF 194 LF)	33 EA	38 EA
ABUTTING PUBLIC R.O.W.:		
CANOPY TREES (1 / 50 LF OF 309 LF)	7 EA	7 EA
ACCENT TREES (1 / 50 LF OF 309 LF)	7 EA	7 EA
TREE MITIGATION (140" CALIPER/4" CALIPER)	35 EA	35 EA

SITE PLAN INFORMATION
TOTAL LOT AREA: 62,657 SF (1.438 AC)
BUILDING AREA: 10,331 SF

- ALL PLANTED AREAS SHALL RECEIVE A 4" LAYER OF HARDWOOD MULCH OVER 10 MIL FABRIC EQUAL TO "WEEDBLOCK" BY "EASY GARDENER".
- ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL BE SEEDED ACCORDING TO SEEDING SPECIFICATIONS.
- ALL ISLANDS SHALL BE MULCHED UNLESS OTHERWISE NOTED
- UNLESS OTHERWISE NOTED, ALL PARKING STRIPS, ISLANDS AND BERMS SHALL BE SODDED.

LANDSCAPE TABULATIONS

TOTAL LOT AREA: 62,657 SF
TOTAL LANDSCAPING REQUIRED @ 20% OF 62,657 SF = 12,532 SF
TOTAL STREET YARD LANDSCAPING REQUIRED @ 50% OF 12,532 SF = 6,266 SF

NOTES:

- IRRIGATION SHALL MEET REQUIREMENTS OF UDC.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY A HOSE CONNECTION LOCATED WITHIN 50' OF ALL LANDSCAPED AREAS OR AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WITH FREEZE SENSOR (DESIGNED BY SUCCESSFUL CONTRACTOR).
- OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE.

TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
17	(Symbol)	OAK	Texas Red Oak	Quercus Falcata	4" caliper
18	(Symbol)	MAPLE	October Glory Maple	Acer rubrum 'october glory'	4" caliper
7	(Symbol)	WILLOW	Desert Willow	Chilopsis linearis	4' minimum height
9	(Symbol)	SUMAC	Flameleaf Sumac	Rhus lanceolata	4' minimum height
SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
26	(Symbol)	SAGE	Texas Sage	Leucophyllum sp.	3 gallon, minimum 36" Ht. at planting
38	(Symbol)	SPIREA	Bridal Wreath Spirea	Spiraea cantoniensis	3 gallon, minimum 36" Ht. at planting
21	(Symbol)	BARBERRY	Berberis thunbergii 'crimson pygmy'	Berberis thunbergii 'crimson pygmy'	3 gallon
GROUND COVER					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Symbol)	GRASS	Tahoma 31 Bermuda Grass	Cynodon dactylon	Sod refer to specifications
AS SHOWN	(Symbol)	ROCK	Loose Rock		Rock shall be 3" - 1 1/2" diameter and 3"-4" deep
AS SHOWN	(Symbol)	MULCH	Mulch		

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



***** STOP! CALL BEFORE YOU DIG! *****

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- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:
Telephone cables, Stormwater lines, Television cables, Sanitary sewer lines, Conduits, Sanitary sewer lines, Pipes, Gas lines, Oil Production lines, Saltwater lines.

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

THE STANDARD - ROCKWALL ADDITION
LOT: 27 PLOUCK; A
ZONING: PLANNED DEVELOPMENT (PD-68), SH-205 OVERLAY

OWNER
EAST SHORE J/V
54499 GLEN LAKES DRIVE #110
DALLAS, TX 75231
ATTN: DONNA PERRY, VENTURE MANAGER
PHONE: 580-236-3911

CIVIL ENGINEER
BENCHMARK DESIGN GROUP
2301 THREE LAKES PARKWAY
TYLER, TX 75703
ATTN: GREG MITCHELL, P.E.
PHONE: 903-534-5353

PLANNING AND ZONING CHAIRMAN
PLANNING DIRECTOR

PROJECT: 2025.036 Palm Development - Rockwall, TX (10/14/2025 11:10:58 AM) Benchmark45

BENCHMARK DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS

2026 REPUBLIC DRIVE SUITE B TYLER TEXAS 75701 (PH) 534-5353 (FAX) NUMBER 7814 WWW.BENCHMARKENGINEERS.COM

STATE OF TEXAS
JOHN G. MITCHELL
92699
LICENSED PROFESSIONAL ENGINEER
10-17-25

BENCHMARK DESIGN GROUP

DRAWN BY: CCB
CHECKED BY: JGM
DATE: JUNE 2025
JOB NO: 2025.036

MINDFUL WELLNESS
1301 S. GOLIAD ST.
LANDSCAPE PLAN

CASE NO.
Z2025-055
SHEET NO.
L-1

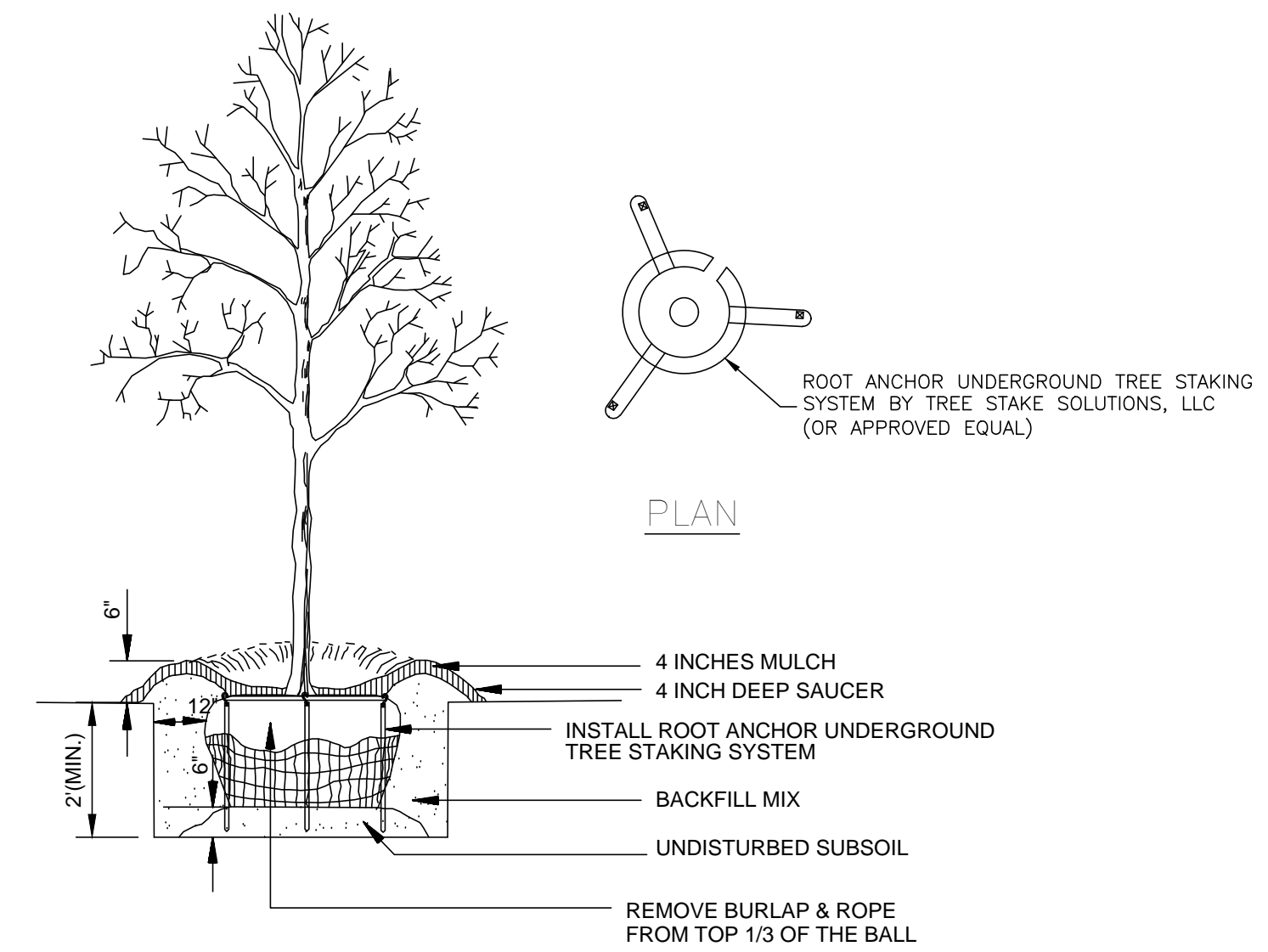
Copyright 2004, Benchmark Design Group, LLC

GENERAL LANDSCAPE NOTES:

TREES OVERHANGING SIDEWALKS, DRIVEWAYS OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN (7') FEET.
 TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9') FEET.
 TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES, AND FIRELANES WILL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN (14') FEET.
 ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
 LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS.
 HARDWOOD MULCH SHALL BE PLACED AT A MINIMUM 4" DEPTH THROUGHOUT LANDSCAPED BEDS.
 NO TREE OR SHRUB SHALL BE PLANTED IN ANY SERVITUDE OR EASEMENT WITHOUT THE WRITTEN PERMISSION OF THE USER AGENCY(IES).

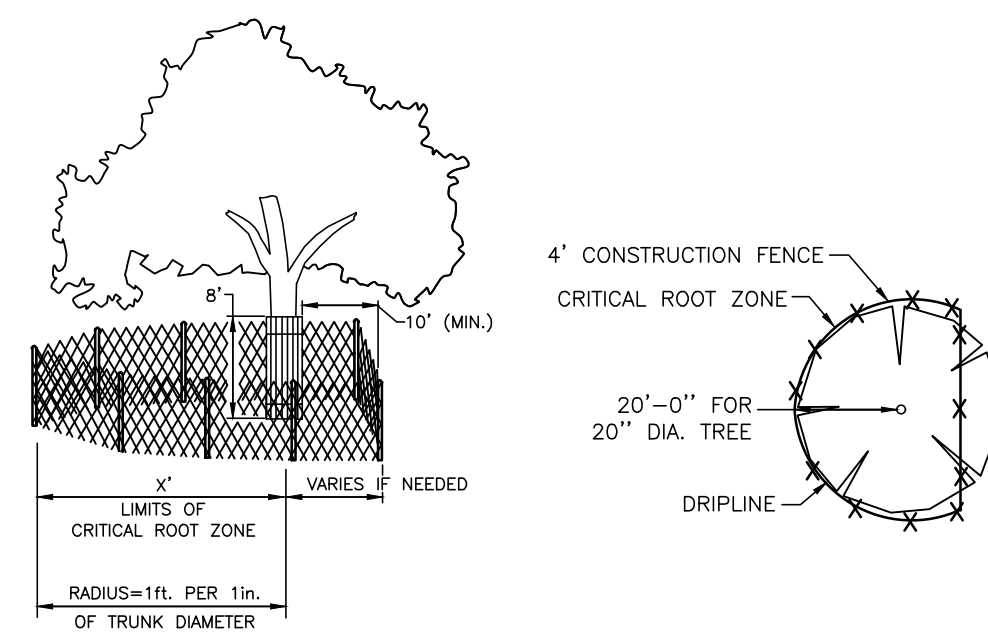
IRRIGATION NOTES

VERIFY "STATIC" PRESSURE AVAILABLE AT THE SITE AND NOTIFY THE ENGINEER IF LESS THAN 55 P.S.I.
 AN 18" DEPTH TRENCH SHALL BE REQUIRED FOR ALL PRESSURE LINES. A 12" DEPTH TRENCH SHALL BE REQUIRED FOR ALL LATERAL LINES.
 PURPLE PRIMER SHALL BE REQUIRED ON ALL WELDS BEFORE GLUING.
 SNAKE PRESSURE LINE IN TRENCH AT LEAST ONE (1') FOOT PER 100', TO ALLOW FOR THERMAL EXPANSION.
 ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED IN APPROPRIATE BOXES AS PER MANUFACTURERS RECOMMENDATIONS.
 ALL IRRIGATION PRODUCTS SHOWN ON THIS PLAN SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
 ALL LATERAL LINES SHALL BE CLASS 200 PVC.
 ADJUSTMENTS TO HEADS MAY BE REQUIRED DURING CONSTRUCTION.
 ALL IRRIGATION LINES ARE TO BE LOCATED WITHIN LANDSCAPED AREAS AND PLACED ADJACENT TO CURBS WHENEVER POSSIBLE.
 NO IRRIGATION LINES SHALL BE PLACED IN POSSIBLE CONFLICT WITH OTHER TRADES OR UTILITIES.
 ALL LINES UNDER PAVEMENT SHALL BE SLEEVED WITH SCH 40 WITH IRRIGATION WIRING IN A SEPARATE 2" SCH 40 SLEEVE.
 IRRIGATION CONTRACTOR IS TO ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS.
 110 VOLT AC TO BE PROVIDED BY GENERAL CONTRACTOR TO THE CONTROLLER.
 BACKFLOW PREVENTION DEVICE TO BE PER CITY REQUIREMENTS - 1" FEBCO 805Y- LOCATED IN HOT-BOX FIBERGLASS, FLIP-TOP ENCLOSURE OR APPROVED EQUAL, ENCLOSURE MUST COMPLY WITH ASSE 1060.
 NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE ENGINEER SHOWN ON THESE PLANS.
 CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS BEFORE STARTING WORK AND NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS IN THE WORK AREA.
 ALL SLEEVES UNDER PAVEMENT TO EXTEND A MINIMUM 12" BEYOND PAVING.
 THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THIS PLAN WHEN IT IS OBVIOUS THAT THE IRRIGATION DESIGN IS IN CONFLICT WITH ON-SITE FEATURES THAT MAY NOT HAVE BEEN CONSIDERED IN THE DESIGN. IN THE EVENT THAT THIS HAPPENS IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER IN WRITING. IF THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY REVISIONS.



TYPICAL TREE PLANTING DETAIL

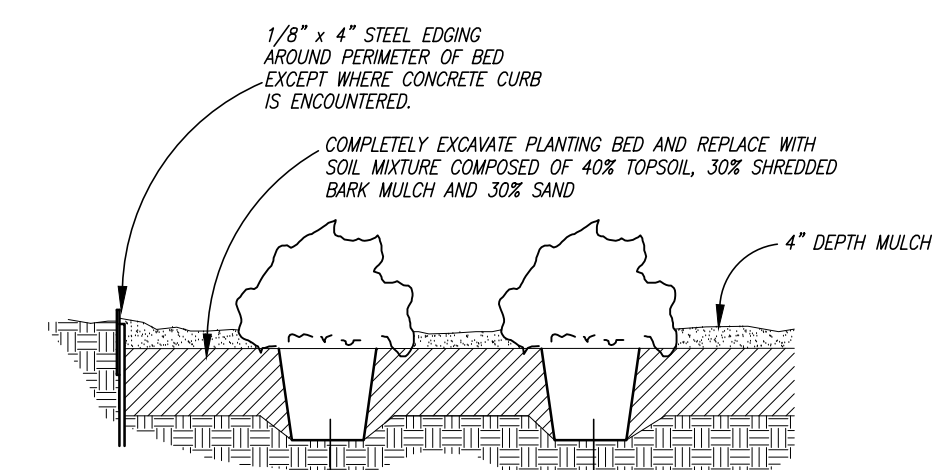
NOT TO SCALE



TREE PROTECTION DETAIL

N.T.S.

IF "X" IS NOT ACHIEVABLE, CONTRACTOR SHALL PROVIDE AT LEAST 10" (MIN.), IF LESS THAN 10", THEN ADD BOARDS STRAPPED TO TRUNK.



TYPICAL SHRUB PLANTING DETAIL

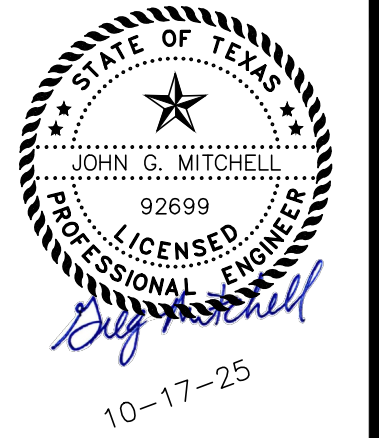
NOT TO SCALE

THE STANDARD - ROCKWALL ADDITION
 LOT: 27 BLOCK: A
 ZONING: PLANNED DEVELOPMENT (PD-68), SH-205 OVERLAY
 OWNER
 EAST SHORE J/V
 54499 GLEN LAKES DRIVE #110
 DALLAS, TX 75231
 ATTN: DONNA PERRY, VENTURE MANAGER
 PHONE: 580-236-3911
 CIVIL ENGINEER
 BENCHMARK DESIGN GROUP
 2301 THREE LAKES PARKWAY
 TYLER, TX 75703
 ATTN: GREG MITCHELL, P.E.
 PHONE: 903-534-5353

PLANNING AND ZONING CHAIRMAN
 PLANNING DIRECTOR

DATE	REVISIONS	BY
10-17-25	SITE PLAN SUBMITTAL	CCB

BENCHMARK DESIGN GROUP
 CIVIL / ENVIRONMENTAL / PLANNERS



BENCHMARK DESIGN GROUP

DRAWN BY: CCB

CHECKED BY: JGM

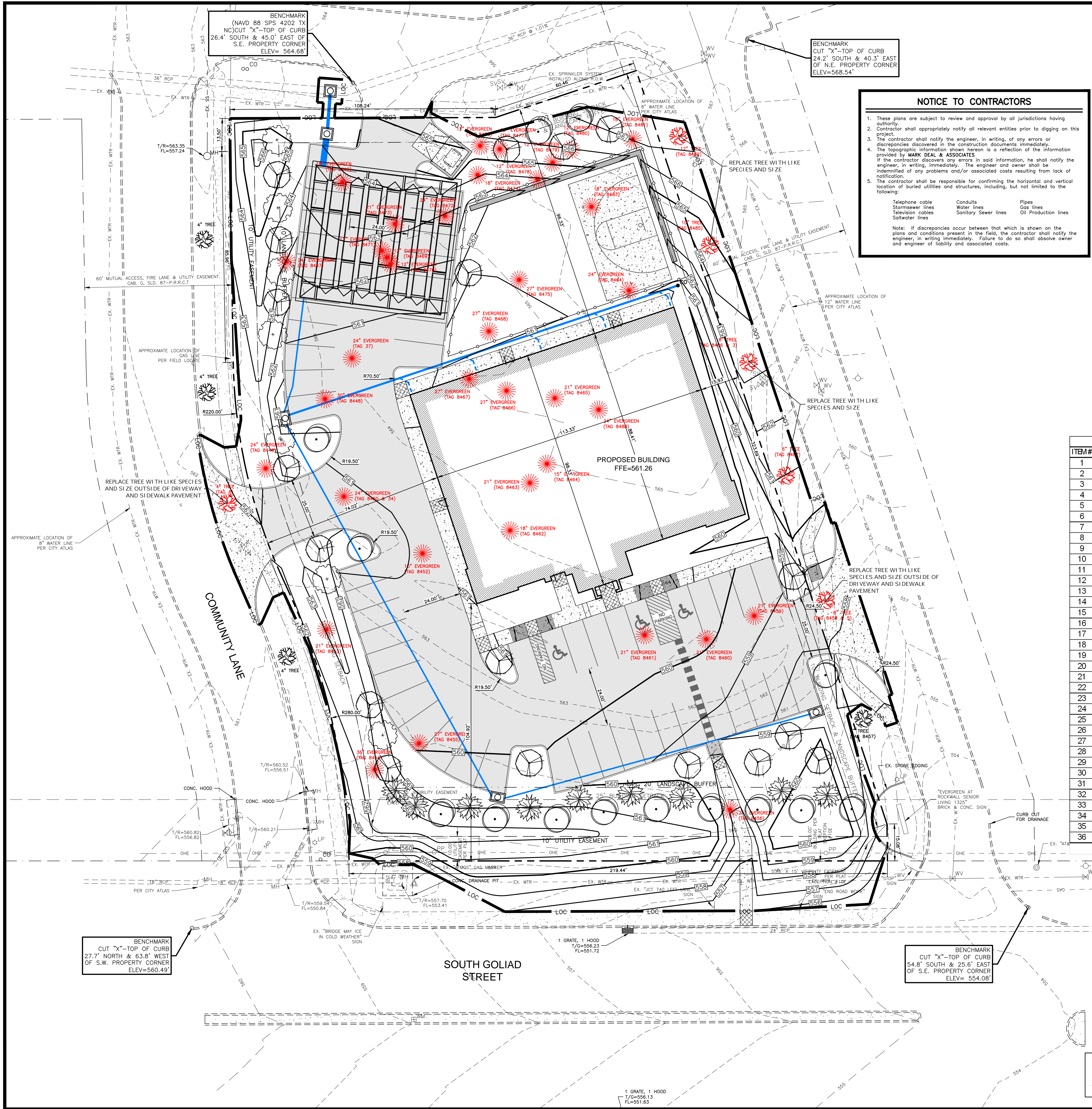
DATE: JUNE 2025

JOB NO: 2025.036

MINDFUL WELLNESS
 1301 S. GOLIAD ST.
 LANDSCAPE DETAILS

CASE NO.
 Z2025-055

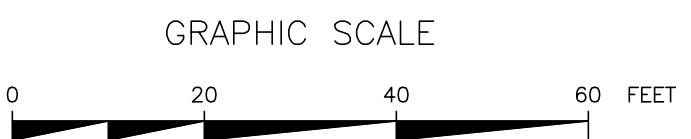
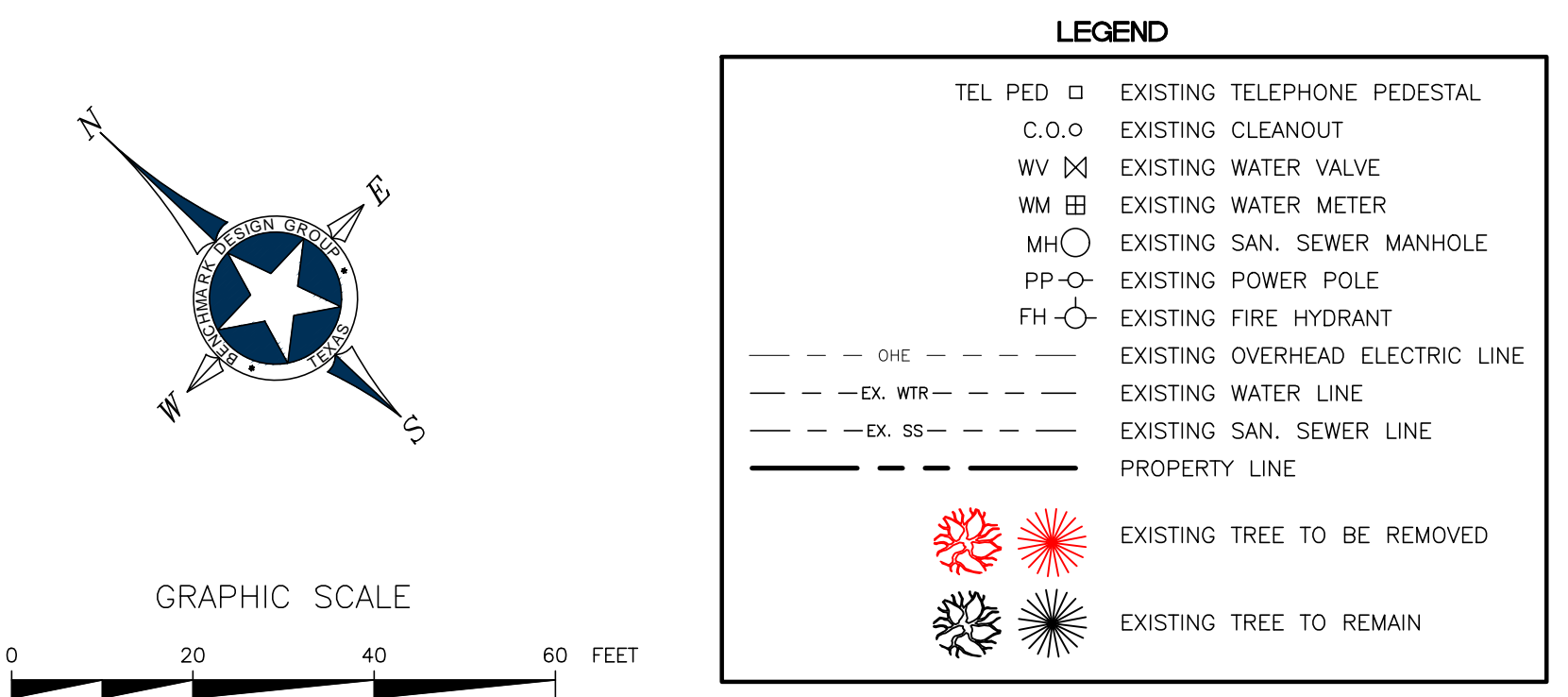
SHEET NO.
 L-2



NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown hereon is a reflection of the information provided by MARK DEAL & ASSOCIATES. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:
 - Telephone cable
 - Stormwater lines
 - Television cables
 - Conduits
 - Water lines
 - Sanitary Sewer lines
 - Pipes
 - Gas lines
 - Oil Production lines
 - Saltwater lines

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall oblige owner and engineer of liability and associated costs.



PROPOSED TREES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
17	☀	OAK	Texas Red Oak	Quercus Falcata	4" caliper
18	☀	MAPLE	October Glory Maple	Acer rubrum 'october glory'	4" caliper
7	☀	WILLOW	Desert Willow	Chilopsis linearis	4" minimum height
9	☀	SUMAC	Flameleaf Sumac	Rhus lanceolata	4" minimum height

TREE MITIGATION

TREE MITIGATION (140" CALIPER/4" CALIPER)	REQUIRED	PROVIDED
	35 EA	35 EA

Tree Mitigation Table

ITEM #	TAG #	SPECIES	CALIPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
1	37	Cedar	24	Remove	5	N	N	N	4"
2	8446	Cedar	18	Remove	5	N	N	N	4"
3	8447	Cedar	24	Remove	5	N	N	N	4"
4	8448	Cedar	30	Remove	5	N	N	N	4"
5	8449	Cedar	24	Remove	5	N	N	N	4"
6	8450	Cedar	24	Remove	5	N	N	N	4"
7	8452	Cedar	10	Remove	5	N	N	N	4"
8	8453	Cedar	21	Remove	5	N	N	N	4"
9	8454	Cedar	36	Remove	4	N	N	N	4"
10	8455	Cedar	27	Remove	5	N	N	N	4"
11	8456	Cedar	21	Remove	5	N	N	N	4"
12	8459	Cedar	21	Remove	5	N	N	N	4"
13	8460	Cedar	21	Remove	5	N	N	N	4"
14	8461	Cedar	21	Remove	5	N	N	N	4"
15	8462	Cedar	18	Remove	5	N	N	N	4"
16	8463	Cedar	21	Remove	4	N	N	N	4"
17	8464	Cedar	15	Remove	1	Y	Y	Y	0
18	8465	Cedar	21	Remove	5	N	N	N	4"
19	8466	Cedar	27	Remove	5	N	N	N	4"
20	8467	Cedar	27	Remove	5	N	N	N	4"
21	8468	Cedar	27	Remove	5	N	N	N	4"
22	8469	Cedar	12	Remove	5	N	N	N	4"
23	8470	Cedar	12	Remove	5	N	N	N	4"
24	8471	Cedar	12	Remove	5	N	N	N	4"
25	8472	Cedar	24	Remove	5	N	N	N	4"
26	8474	Cedar	18	Remove	5	N	N	N	4"
27	8475	Cedar	27	Remove	5	N	N	N	4"
28	8476	Cedar	12	Remove	5	N	N	N	4"
29	8477	Cedar	12	Remove	5	N	N	N	4"
30	8478	Cedar	12	Remove	5	N	N	N	4"
31	8479	Cedar	12	Remove	5	N	N	N	4"
32	8480	Cedar	12	Remove	5	N	N	N	4"
33	8481	Cedar	18	Remove	5	N	N	N	4"
34	8483	Cedar	18	Remove	5	N	N	N	4"
35	8484	Cedar	24	Remove	5	N	N	N	4"
36	8488	Cedar	24	Remove	5	N	N	N	4"
									Total 140"



*** STOP! CALL BEFORE YOU DIG! ***
 AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811 AND ALL OTHER LOCAL COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

THE STANDARD - ROCKWALL ADDITION
 LOT: 27 BLOCK: A
 ZONING: PLANNED DEVELOPMENT (PD-68), SH-205 OVERLAY

OWNER
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BENCHMARK DESIGN GROUP
 CIVIL / ENVIRONMENTAL / PLANNERS

2026 REPUBLIC DRIVE SUITE B TYLER TEXAS 75701 (PH) 903-534-5353 (FAX) 903-534-5353 WWW.BENCHMARKENGINEERS.COM

STATE OF TEXAS
 JOHN G. MITCHELL
 92699
 LICENSED PROFESSIONAL ENGINEER
 10-17-25

BENCHMARK DESIGN GROUP

DRAWN BY: CCB
 CHECKED BY: JGM
 DATE: JUNE 2025
 JOB NO: 2025.036

MINDFUL WELLNESS
 1301 S. GOLIAD ST.
 TRESCAPE PLAN

CASE NO.
 Z2025-055

SHEET NO.
 L-3

PLANNING AND ZONING CHAIRMAN
 PLANNING DIRECTOR

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REVISIONS

NO.	DATE	BY	DESCRIPTION

CONSULTANT

COLLIER
CE PROJECT NO. 25-098

Preliminary
Not For Construction

TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS

SITE PHOTOMETRIC PLAN
FOR
MINDFUL HEALTH
ROCKWALL, TEXAS FACILITY
PALM DEVELOPMENT
1301 S. GOLIAD ST., ROCKWALL, TEXAS 75087

15 OCT 2025
T0105

E0.1

LIGHTING SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	MODEL NO.	LAMPS	NOTES
S1	LED SITE LIGHT WITH TYPE DISTRIBUTION 'R4' MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE (71 W)	LITHONIA	RSX2 LED 40K R4 MVOLT SPA RSX2EGS	LED	EXTERNAL GLARE SHIELD
S2	LED SITE LIGHT WITH TYPE DISTRIBUTION 'R4' MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE (71 W)	LITHONIA	RSX2 LED 40K R4 MVOLT SPA	LED	
S3	LED SITE LIGHT WITH TYPE DISTRIBUTION 'AFR' MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE (71 W)	LITHONIA	RSX2 LED 40K AFR MVOLT SPA	LED	
S4	LED SITE LIGHT WITH TYPE DISTRIBUTION 'R5' MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE (111 W)	LITHONIA	RSX2 LED 40K R5 MVOLT SPA RSX2EGFV	LED	EXTRA GLARE FULL VISOR
W1	EXTERIOR WALL SCONCE (100 W)	QUOIZEL	WAE8408MBK	LED	MOUNTED ~ 10' A.F.F. PER ARCHITECT
W2	EXTERIOR WALL DOWNLIGHT (15 W)	MINKA-LAVERY	71169-143C-L	LED	MOUNTED ~ 10' A.F.F. PER ARCHITECT
W3	LED WALL LIGHT (24 W)	LITHONIA	WFX1 P2 LED 40K MVOLT	LED	MOUNTED ~ 10' A.F.F. PER ARCHITECT



PHOTOMETRIC CALCULATIONS	
ADA PARKING	
Average	1.1 fc
Maximum	3.2 fc
Minimum	0.7 fc
Max/Min	4.6:1
Average/Min	1.6:1
BASKETBALL COURT	
Average	1.3 fc
Maximum	3.5 fc
Minimum	0.5 fc
Max/Min	7.0:1
Average/Min	2.6:1
EXT BUILDING	
Average	1.5 fc
Maximum	8.3 fc
Minimum	0.1 fc
Max/Min	83.0:1
Average/Min	15.0:1
Parking Lot	
Average	1.4 fc
Maximum	5.4 fc
Minimum	0.1 fc
Max/Min	54.0:1
Average/Min	14.0:1
PROPERTY LINE	
Average	0.1 fc
Maximum	0.2 fc
Minimum	0.0 fc
Max/Min	N/A
Average/Min	N/A

