

AGENDA
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
November 12, 2019
6:00 P.M.

CALL TO ORDER

OPEN FORUM

APPOINTMENTS

1. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

CONSENT AGENDA

2. Approval of Minutes for the October 8, 2019 Planning and Zoning Commission meeting.
3. Approval of Minutes for the October 29, 2019 Planning and Zoning Commission meeting.
4. **P2019-040 (Korey)**
Discuss and consider a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.
5. **SP2019-041 (Korey)**
Discuss and consider a request by LeeAnn Latimer on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for a medical office building on a 1.36-acre tract of land identified as Lot 2, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

PUBLIC HEARING ITEMS

6. **MIS2019-014 (Ryan)**
Hold a public hearing to discuss and consider an amendment to the OURHometown Vision 2040 Comprehensive Plan for the purpose of updating the water and wastewater master plans, and take any action necessary.

ACTION ITEMS

7. **SP2019-037 (David)**
Discuss and consider a request by Anna C. Blackwell of Carrillo Engineering, LLC on behalf of Eddie Martin of Retail Partners, LLC for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740], and take any action necessary.
8. **SP2019-040 (David)**
Discuss and consider a request by Matthew Gardner and Halff Associates on behalf of Reid Caldwell of Rockwall Urban Industrial, LP for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive, and take any action necessary.

DISCUSSION ITEMS

9. Director's Report of post Council meeting outcomes of Planning & Zoning cases (**Ryan**).

ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (*Consultation with City Attorney*) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 8th day of November 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
November 12, 2019
5:00 PM

CALL TO ORDER

OPEN FORUM

ACTION ITEMS

1. SP2019-037 (David)

Discuss and consider a request by Anna C. Blackwell of Carrillo Engineering, LLC on behalf of Eddie Martin of Retail Partners, LLC for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740], and take any action necessary.

2. SP2019-040 (David)

Discuss and consider a request by Matthew Gardner and Halff Associates on behalf of Reid Caldwell of Rockwall Urban Industrial, LP for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive, and take any action necessary.

3. SP2019-041 (Korey)

Discuss and consider a request by LeeAnn Latimer on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for a medical office building on a 1.36-acre tract of land identified as Lot 2, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

ADJOURNMENT

The City of Rockwall Architecture Review Board (ARB) reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (*Consultation with City Attorney*) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 8th day of November 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
October 8, 2019
6:00 P.M.

I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:01 p.m. The Commissioners present at the meeting were, Jerry Welch, Tracey Logan, Mark Moeller, and John Womble. Absent from the meeting was Annie Fishman and Sedric Thomas. Staff members present were Planning Manager, David Gonzales, Senior Planner, Korey Brooks, Planning Coordinator, Laura Morales, Civil Engineers Jeremy White and Sarah Hager.

Commissioners Fishman and Thomas arrived at the meeting at 6:03 p.m.

II. OPEN FORUM

Chairman Chodun explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time.

Dennis Denney
162 Meadowbrook Circle
Rockwall, TX

Mr. Denney came forward and shared his strong opposition to the County of Rockwall's proposed planned RV Park on Cornelius Road.

Chairman Chodun asked if anyone else wished to come forward and do so, there being no one indicating such; Chairman Chodun closed the open forum.

III. APPOINTMENTS

1. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Chairman Chodun indicated no cases went before the Architectural Review Board for their review.

IV. PUBLIC HEARING ITEMS

2. Z2019-021

Hold a public hearing to discuss and consider a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners Gwen Reed, Saddle Star South Holdings, LLC, and CDT Rockwall/2017, LLC for the approval of a zoning amendment to Planned Development District 79 (PD-79) [Ordinance No. 16-39] for the purpose of amending the development standards and concept plan on a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard south of Featherstone Drive, and take any action necessary.

Planning Manager, David Gonzales, provided a brief explanation and background in regards to the request. On January 4, 2016, the City Council approved Planned Development District 79 Ordinance No. 16-07, which rezoned a 45.292-acre portion of the subject property from an Agricultural District to a Planned Development District establishing an entitlement for a single-family residential subdivision consisting of 113 single-family lots. On May 16, 2019, the applicant voluntarily annexed an additional 11.121-acre tract of land and amended Planned Development District 79, incorporating this property into the subdivision. The annexation created a 55.413-acre residential subdivision. The amendment to PD-79 also increased the lot count from 113 to 138 lots, and granted an increase in the maximum front entry garages from 0% to 50%. On January 22, 2019, the applicant voluntarily annexed an additional 14.995-acre tract of land with the intent

64 of incorporating it into Planned Development District 79. On September 13, 2019, the applicant
65 submitted an application requesting to amend PD-79 for the purpose of amending the
66 development standards and concept plan by incorporating the additional 14.995-acre tract of land
67 into the existing 55.413-acre tract of land to create Phase III for the Saddle Star Estates
68 Subdivision. This amendment would increase the total acreage of the subdivision to 70.408-acres.
69

70 Mr. Gonzales added that currently, Planned Development District 79 allows the applicant to
71 construct 138, 70' x 125' single-family lots on 55.413-acres. The proposed amendment would
72 increase the size of the proposed subdivision to 70.408-acres and add an additional five 70' x 125'
73 lots and 33, 80' x 125' single family lots. The new lot product would be subject to all of the same
74 standards as the existing lot type; however, the applicant would be incorporating 100% j-swing or
75 traditional swing garages with the 80' x 125' as opposed to the 50% flat front entry currently
76 permitted on 138, 70' x 125' lot product. Additionally the applicant will be adding an addition five
77 lots of which 50% would be able to be flat front entry. Based on the applicant's request to rezone
78 the subject property, the following infrastructure will be required to be constructed in order to
79 provide adequate public services to the subject property. The City does not currently have the
80 rights to serve the proposed 14.995-acre addition to Planned Development District 79. The
81 applicant will need to work with Mt. Zion Water Supply Corporation to secure the right for the City
82 of Rockwall to serve the additional acreage. Additionally the lift station located at John King
83 Boulevard and FM-552 is not currently sized to serve the proposed 14.995-acre addition to Planned
84 Development District 79. The applicant will be required to perform an infrastructure study to
85 determine the upgrades necessary to meet the required capacity an all proposed infrastructure
86 improvements must meet the Engineering Department's Standards of Design and Construction.
87 The changes to Planned Development District 79 do not change the conformance of the proposed
88 subdivision with regards to the City's existing codes.
89

90 Mr. Gonzales further noted that on September 20, 2019, staff mailed nine notices to property
91 owners and residents within 500-feet of the subject property and also emailed notices to the Stone
92 Creek and Stoney Hollow Homeowner's Associations. Staff did not received any notices regarding
93 the applicant's request.
94

95 Mr. Gonzales advised the Commission that the applicant was present and available for questions
96 as well as staff.
97

98 Chairman Chodun asked the applicant to come forward
99

100 Pat Atkins
101 3076 Hays Lane
102 Rockwall, TX
103

104 Mr. Atkins came forward and provided a brief explanation and power point presentation in regards
105 to the request.
106

107 Chairman Chodun asked for questions from the Commission.
108

109 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come
110 forward and do so, there being no one wishing to do so; Chairman Chodun closed the public
111 hearing and brought the item back to the Commission for discussion or action.
112

113 Commissioner Welch made a motion to approve Z2019-021 with staff recommendations.
114 Commissioner Womble seconded the motion which passed by a vote of 7-0.
115

116 3. Z2019-022

117 Hold a public hearing to discuss and consider a request by Marty Wright for the approval of a Specific
118 Use Permit (SUP) for an accessory building on a one (1) acre tract of land identified as Lot 10, Block B,
119 Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-
120 16) District, addressed as 2340 Saddlebrook Lane, and take any action necessary.
121

122 Senior Planner, Korey Brooks, provided a brief explanation and background concerning the case.
123 The applicant is requesting approval of a Specific Use Permit (SUP) for a detached garage that
124 exceeds the maximum allowable size for properties located within a Single-Family 16 District.
125 Currently situated on the subject property, there is a 3,397 square foot brick single-family home

126 and a 216 square foot accessory building that is clad with wood. The proposed building will be
127 situated behind the main structure, will be 13' 8" in height, and will be constructed of metal. The
128 building will include a 24' x 40' detached garage and a 6' x 40' porch that will be on the front of the
129 building. The total footprint of the building will be 1,200 square feet, 35% of the size of the home.
130 The porch will incorporate windows with shutters, double walk-in doors, and wooden posts. The
131 applicant has stated that the purpose of the porch is to blend the building with the neighborhood
132 by incorporating architectural elements that are typically seen on a single-family home. The
133 building will have two roll-up doors located on each of the north and south façade and the
134 applicant has stated that detached garage will be utilized to store several antique vehicles. The
135 existing 12' x 18' accessory building will be relocated and will be situated adjacent to the northern
136 side façade of the proposed detached garage.

137
138 Mr. Brooks further noted that according to the Unified Development Code, in a Single-Family 16
139 District a detached garage is permitted provided that it is no larger than 625 square feet. The
140 detached garage should include a minimum of one garage bay door large enough to accommodate
141 a standard size motor vehicle and shall be architecturally compatible with the primary structure.
142 In this case, the proposed detached garage is 960 square feet and the porch is 240 a total building
143 footprint of 1,200 square feet, which exceeds the maximum allowable size of a detached garage.
144 Although the proposed building exceeds the maximum allowable size, the applicant has provided
145 additional architectural elements such as the front porch, windows and shutters, and the double
146 walk-in doors on the building in order for the building to be consistent with the main structure.
147 Additionally, the proposed building incorporates two roll-up doors that are large enough to
148 accommodate a standard passenger vehicle. Based on the proposed design of the building, the
149 applicant's request appears to be in conformance with the requirements stipulated by the Unified
150 Development Code with regard to detached garages; however, the Planning and Zoning
151 Commission and City Council are tasked with determining if the proposed building is
152 architecturally compatible with the primary structure. When looking at the applicant's request, it
153 was observed that a large majority of property owners currently have a detached garage and/or
154 accessory building on their properties. Of the existing accessory buildings within the
155 Saddlebrook Estates #2 Addition, several are roughly the same size or larger than the proposed
156 detached garage. It should be noted that most of the accessory buildings that are visible from the
157 street utilize exterior materials similar to the main structure. Staff was able to determine that 30
158 building permits have been for accessory buildings within the Saddlebrook Estates #2 Addition
159 and 27 of the permits are still active. A vast majority of the permits were issued between 2002 and
160 2009 shortly after this area was annexed. In this case, the proposed detached garage is larger than
161 the maximum allowable detached garage; however, the design of the structure appears to be
162 architecturally compatible with the main house and would resemble a residential building. The
163 building will sit more than 100-feet from the front property line and be approximately four feet
164 higher than the street. Due to this, visibility of the garage bay doors will be limited from the front
165 of the property line. Should the detached garage be visible from of the front of the property, the
166 garage would likely resemble the existing detached garages on the surrounding properties. Given
167 that a majority of the surrounding homes have a detached garage, an accessory building, and/or
168 a portable building approval of this request does not appear to negatively impact the subject
169 property or surrounding properties.

170
171 Mr. Brooks shared that on September 20, 2019, staff sent 30 notices to all residents/property
172 owners within 500-feet of the subject property and there are no Homeowner's Associations
173 Neighborhood Associations located within 1,500-feet of the subject property. Staff received 3
174 emails and 1 notice in favor of the request and 1 email in opposition of the request.

175
176 Mr. Brooks advised the Commission that the applicant was present and available for questions as
177 well as staff.

178
179 Chairman Chodun asked for questions from the Commission.

180
181 Commissioner Thomas asked if there were any old ordinance that required brick to be
182 incorporated in the building as seen in some of the surrounding properties with accessory
183 buildings. Mr. Brooks explained that the ordinances have changed over the years and at one point
184 in time masonry was a requirement however the City can no longer regulate masonry. However if
185 the Planning and Zoning Commission determines that some masonry would make it more
186 architecturally compatible, that could be something that the Commission could ask the applicant
187 to do.

188 Commissioner Logan asked if the outside porch would be used as storage as well. Mr. Brooks
189 shared that there would be no outside storage allowed and the ordinance would indicate that.

190
191 Chairman Chodun asked the applicant to come forward.

192
193 Marty Wright
194 2340 Saddlebrook Lane
195 Rockwall, TX

196
197 Mr. Wright came forward and provided a short presentation and additional comments in regards
198 to the request. He shared that prior to a legislative change that took effect September 1st of this
199 year it was a requirement to have masonry, however with that house bill the requirements have
200 changed. Mr. Wright indicated he was available for questions.

201
202 Commissioner Logan shared concerns with the maintenance such a building would create in the
203 future should there be a time when someone that does not take such owner prideship occupy the
204 home.

205
206 Commissioner Moeller asked if the building would be visible from the street. Mr. Wright indicated
207 that it would be visible.

208
209 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come
210 forward and do so.

211
212 Patty Muggeo
213 2317 Saddlebrook Lane
214 Rockwall, TX

215
216 Ms. Muggeo came forward and shared what an excellent neighbor Mr. Wright has been. However
217 although she does not have a problem with the building itself, the issue she has is that it is not
218 cohesive to the neighborhood what is being proposed. She generally expressed not being in favor
219 of the request unless it is at least partially bricked.

220
221 Kevin Barger
222 2364 Saddlebrook Lane
223 Rockwall, TX

224
225 Mr. Barger came forward and said he shares Ms. Muggeo's opinion in regards to the request.

226
227 Eddie Smith
228 2312 Saddlebrook
229 Rockwall, TX

230
231 Ms. Smith came forward and shared she just built a large shop that required to have brick and
232 they adhered to that requirement. She generally expressed not being in opposition of the structure
233 as long as it has some brick and masonry to be cohesive to the neighborhood.

234
235 Chairman Chodun asked if anyone else wished to speak to come forward and do so there being
236 no one wishing to do so, Chairman Chodun closed the public hearing and brought the item back
237 to the Commission for discussion or action.

238
239 Chairman Chodun expressed concern with setting a precedent in approving a request such as
240 this. General discussion took place between the Commission concerning the concerns expressed
241 by those who spoke.

242
243 Commissioner Womble made a motion to deny Z2019-022. Commissioner Logan seconded the
244 motion which passed by a vote of 7-0.

245
246 4. Z2019-024

247 Hold a public hearing to discuss and consider a request by Adam Buczek of Stone Creek Balance, LTD
248 for the approval of a zoning amendment to Planned Development District 70 (PD-70) for the purpose of
249 changing the number of hard-edged retention ponds required for the residential subdivision being a

250 ~336.00-acre tract of land identified as the Stone Creek Subdivision and being situated within the W. T.
251 Deweese Survey, Abstract No. 71 and the S. King Survey, Abstract No 131, City of Rockwall, Rockwall
252 County, Texas, zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land
253 uses, situated within the North SH-205 Overlay (N. SH-205 OV) and SH-205 By-Pass Overlay (SH-205
254 BY-OV) Districts, generally located at the southeast corner of the intersection of FM-552 and SH-205 [N.
255 *Goliad Street*], and take any action necessary.
256

257 **Planning Manager, David Gonzales, provided a brief explanation and background of the request.**
258 **The applicant submitted an application requesting to amend Planned Development District 70 for**
259 **the purpose of reducing the number of required hard edged retention ponds from four ponds to**
260 **three ponds. Additionally, the applicant has submitted a letter stating an intent to provide an**
261 **additional fountain feature for the existing retention pond located adjacent to York Street. Planned**
262 **Development District 70, in accordance with the original development agreement, requires the**
263 **developer to provide a minimum of four retention ponds with hard edges and fountain features.**
264 **According to the ordinance, the location and configuration of the proposed ponds is to be**
265 **determined at the time of development. Currently, the developer has constructed three of the four**
266 **ponds required by Planned Development District 70: [1] the first pond is located at the northeast**
267 **corner of the intersection of N. Goliad Street and Featherstone Drive which is at the entry to the**
268 **subdivision, [2] the second pond located south of and adjacent to homes along Crestbrook Drive,**
269 **and [3] the third pond located within the public park located at the northwest corner of**
270 **Featherstone Drive and John King Boulevard. The pond at the entryway to the subdivision is the**
271 **only pond that incorporates both a hardedge and a fountain feature. The pond located south of**
272 **and adjacent to Crestbrook Drive only incorporates a hardedge, and the pond in the public park**
273 **does not incorporate either a hardedge or a fountain; however, this pond was exempted by the**
274 **City to make the park eligible for matching grants through the State of Texas, which were applied**
275 **to increase the amenity of the park. The applicant has requested to change the language in the**
276 **Planned Development District 70 to reduce the number of ponds from three to four ponds, and**
277 **has agreed to incorporate a fountain feature in the pond adjacent to Crestbrook Drive and another**
278 **in a secondary pond along York Street. This means that the only thing the applicant is lacking to**
279 **meet the current requirements would be a hardedge along the pond located adjacent to York**
280 **Street; however, staff should point out that this pond is located within the 100-year floodplain and**
281 **is not highly visible from the street. The applicant has stated the reason for the request is tied to**
282 **the lengthy and indefinite permitting process required by the Texas Commission on**
283 **Environmental Quality, and a desire to not put an additional cost burden on the Stone Creek**
284 **Homeowner's Association. Additionally, as has been done with past requests to amend Planned**
285 **Development District ordinances, staff has consolidated the two regulating ordinances into one**
286 **regulating ordinances; however, the only change made in the attached draft ordinance is to the**
287 **verbiage relating to the number of retention ponds permitted within the development. There are**
288 **no infrastructure requirements associated with the proposed amendment. In addition, the**
289 **additional retention pond is not needed to meet the stormwater detention requirements, as the**
290 **retention ponds were not accounted for in the required detention for the subdivision since the**
291 **development was required to provide detention in other areas of the subdivision to meet the City's**
292 **engineering requirements. Since the request is only tied to a requirement of Planned Development**
293 **District 70, the request remains in compliance with all of the requirements of the City's codes.**
294

295 **Mr. Gonzales further noted that on September 20, 2019, staff mailed 928 notices to property**
296 **owners and residents within 500-feet of Planned Development District 70 and also emailed notices**
297 **to the Quail Run Valley, Lakeview Summit, Random Oaks, and Rockwall Shores Homeowner's**
298 **Associations which are the only HOA's located within 1,500-feet of Planned Development District**
299 **70 participating in the Neighborhood Notification Program. Staff received seven in favor and seven**
300 **in opposition of the request.**
301

302 **Mr. Gonzales advised the Commission that the applicant was present and available for questions**
303 **as well as staff.**
304

305 **Chairman Chodun asked for questions from the Commission. Commissioner Logan asked for**
306 **clarification that pond 4 would be getting the fountain not the hardedge. Mr. Gonzales indicated if**
307 **the request was approved the ordinance would require the fountain to be included with pond 4.**
308

309 **Chairman Chodun asked the applicant to come forward and speak.**
310
311

312 Adam Buzcek
313 8214 Westchester Drive, Suite. 710
314 Dallas, TX
315

316 Mr. Buzcek came forward and provided a power point presentation along with additional
317 comments in regards to the request. Mr. Buzcek indicated he was available for questions.
318

319 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come
320 forward and do so.
321

322 Bob Wacker
323 309 Featherstone
324 Rockwall, TX
325

326 Mr. Wacker came forward and provided a brief presentation in regards to the request. Mr. Wacker
327 generally expressed being in favor of the request.
328

329 Shirley Smith
330 609 Amherst Drive
331 Rockwall, TX
332

333 Mrs. Smith came forward and shared her disappointment at the condition the ponds
334 were handed over to the HOA by the developer. She is asking that maintenance be kept up with
335 the existing ponds if the fourth pond will not be hard edged to better enhance the aesthetics of
336 the neighborhood. She generally expressed being against the request.
337

338 Jim Smith
339 609 Amherst Drive
340 Rockwall, TX
341

342 Mr. Smith came forward and shared that the current condition of the existing ponds are not being
343 maintained. Crestbrook Pond that is hard-edged is almost impossible for residents to reach it and
344 therefore does not meet the needs of amenities. He feels the TECQ requirements shouldn't play a
345 role because the developer was aware of those requirements when it first began the development.
346 He feels if the fourth pond will not be incorporated the developer then needs to better maintain
347 the ponds and make Crestbrook Pond accessible to the residents. He generally expressed not
348 being in favor of the request.
349

350 Sara Driscoll
351 306 Iris Drive
352 Rockwall, TX
353

354 Ms. Driscoll came forward and generally expressed being in favor of the request for another pond
355 and feels the ideal location for it would be the intersection of SH-205 and Featherstone.
356

357 Kate Wilke
358 129 Deverson Drive
359 Rockwall, TX
360

361 Ms. Wilke came forward and generally expressed not being in favor with the additional pond being
362 added.
363

364 Chairman Chodun asked if anyone else wished to speak to come forward and do so, there being
365 no one indicating such Chairman Chodun closed the public hearing and asked the applicant to
366 come forward with any rebuttal.
367

368 Mr. Buzcek came forward and provided rebuttal for the comments that were given by the residents
369 present.
370

371 Chairman Chodun brought the item back to the Commission for discussion or action.
372

373 After general discussion among the Commission, Commissioner Womble made a motion to
374 approve Z2019-024 with staff recommendations. Commissioner Fishman seconded the motion
375 which passed by a vote of 5-2 with Commissioners Welch and Thomas dissenting.
376

377
378 V. ACTION ITEMS

379
380 5. SP2019-035

381 Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of the owner for the
382 approval of a site plan for the expansion of an existing Minor Auto Repair Garage on a 1.1107-acre parcel
383 of land identified as Lot 4, Block 1, Horizon Village Addition, City of Rockwall, Rockwall County, Texas,
384 zoned Commercial (C) District, addressed as 2581 Horizon Road [FM-3097], and take any action
385 necessary.
386

387 Senior Planner, Korey Brooks, provided a brief explanation of the request. The applicant is
388 requesting approval of a site plan for the purpose of expanding an existing minor automotive
389 repair garage, Kwik Kar. The applicant has stated that constructing a second building on the
390 subject property will help manage the current volume of vehicles being serviced. According to the
391 Unified Development Code, a Minor Auto Repair Garage is permitted by Specific Use Permit in a
392 Commercial District. In this case, on September 3, 2019, the City Council approved a Specific Use
393 Permit and no additional approvals regarding land use are necessary. Currently, there is an 8,431
394 square foot building on the subject property and the applicant is proposing to construct a second
395 building that will be approximately 1,440 square feet and located behind the existing building.
396 According to the submitted building elevations, the new structure will match the existing structure
397 with regard to design and materials. With the exception of the exceptions being requested the
398 submitted site plan, landscape plan, and building elevations generally conform to the technical
399 requirements contained within the UDC for a property located within a Commercial District.
400

401 Mr. Brooks went over the exceptions the applicant is requesting to the requirements of the Unified
402 Development Code. According to the Unified Development Code, garage doors or bays shall not
403 face the street or a residential lot. In this case, since the bays of proposed building face the street,
404 approval of an exception to the Conditional Land Use Standards is required. Additionally
405 according to the UDC, the maximum wall length of primary building facades shall not exceed three
406 times the wall height without incorporating a secondary entryway/architectural element. In this
407 case, the south and north elevations are 48-feet in length and do not incorporate a secondary
408 entryway/architectural element. Since this exceeds the maximum allowable wall length of 42-feet
409 in length, approval of an exception to the building articulation standards is required. In this case,
410 the applicant is providing additional canopy trees and plants on site adjacent to the new building.
411 Additionally, the applicant is including 24-38% natural stone on each façade. Staff should note,
412 the front of the building will consist of bay doors, which provide some relief on the façade. Since
413 there is an existing building on the property, it seems appropriate for the design and materials of
414 the new building to be consistent. Further, the Unified Development Code, gives the Planning and
415 Zoning Commission the ability to grant exceptions to the general standards should the request
416 meet one of the following; [1] where unique or extraordinary conditions exist or [2] where strict
417 adherence to the technical requirements of the Unified Development Code would create an undue
418 hardship. When exceptions are being requested, the applicant shall provide two compensatory
419 measures that directly offset each requested exception. In this case, the applicant is providing a
420 combination of a berm, shrubs and plants in the landscape buffer and is utilizing 100% masonry.
421 In addition, the applicant is incorporating 24%-38% natural stone on each building façade. Staff
422 should note, that the property is adjacent to other automotive land uses. The proposed building
423 will be located behind the main structure, which will limit visibility of the bays; however, the bays
424 may still be slightly visible from the street. It should also be noted, that the bay doors on the front
425 of the building provide some relief to the buildings' façade. Since there is an existing building on
426 the property, it seems appropriate for the design and materials of the new building be consistent
427 with the existing building. With this being said these exceptions are discretionary decisions for
428 the Planning and Zoning Commission and require approval by a supermajority vote. In the event
429 that the exception is denied, the applicant has the ability to appeal the Planning and Zoning
430 Commission's decision to the City Council by filing a written request with the Planning and Zoning
431 Department.
432

433
434
435
436
437
438
439
440
441
442
443
444
445
446
447
448
449
450
451
452
453
454
455
456
457
458
459
460
461
462
463
464
465

Mr. Brooks further noted that the Architectural Review Board reviewed the proposed building elevations and recommended approval. Mr. Brooks advised the Commission that the applicant was unable to be present however staff was available for que4stions.

Chairman Chodun brought the item back to the Commission for discussion or a motion.

Commissioner Moeller made a motion to approve SP2019-035 with staff recommendations. Commissioner Logan seconded the motion which passed by a vote of 7-0.

VI. DISCUSSION ITEMS

6. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

Planning Manager, David Gonzales, advised the Commission that the City Council meeting was held the night before and the outcome of items brought forward will be discussed at the next scheduled meeting.

VII. ADJOURNMENT

Chairman Chodun adjourned the meeting at 8:16 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2019.

Eric Chodun, Chairman

Attest:

Laura Morales, Planning Coordinator

MINUTES
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
October 29, 2019
6:00 P.M.

I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:00 p.m. The Commissioners present at the meeting were, Jerry Welch, Tracey Logan, Mark Moeller, John Womble, Annie Fishman and Sedric Thomas. Staff members present were Planning Director, Ryan Miller, Senior Planner, Corey Brooks, Planning Coordinator, Laura Morales, City Engineer, Amy Williams, Civil Engineers Jeremy White and Sarah Hager.

II. OPEN FORUM

Chairman Chodun explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward to speak Chairman Chodun closed the open forum.

III. CONSENT AGENDA

1. Approval of Minutes for the September 10, 2019 Planning and Zoning Commission meeting.

2. Approval of Minutes for the September 24, 2019 Planning and Zoning Commission meeting.

3. P2019-039

Consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Julia McKinney for the approval of a replat for Lot 8, Block A, Ellis Centre Phase 2 Addition being a 1.21-acre parcel of land identified as Lot 4, Block A, Ellis Centre Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.

4. P2019-041

Consider a request by David Raines for the approval of a replat for Lot 35, Block A, Chandler's Landing, Phase 18, Section 2 being a 0.19-acre tract of land identified as Lot 12, Block A, Chandler's Landing, Phase 18, Section 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development 8 (PD-8) District for single family land uses, addressed as 5808 Constellation Circle, and take any action necessary.

Commissioner Moeller made a motion to approve the consent agenda. Commissioner Logan seconded the motion which passed by a vote of 7-0.

IV. APPOINTMENTS

5. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Architectural Review representative gave a brief explanation concerning agenda items that were discussed at the Architectural Review Board meeting.

V. PUBLIC HEARINGS

6. Hold a public hearing to discuss and consider imposing a moratorium on accepting and reviewing subdivision plats for commercial and residential property situated within the City's Extraterritorial Jurisdiction (ETJ), and take any action necessary.

63 Planning Director, Ryan Miller, provided a background and explanation of the request. He shared
64 that the City has an interlocal agreement with Rockwall County that allows the City to process and
65 review subdivision plats within the City's extraterritorial jurisdiction. The subdivision plat is an
66 important way that the City ensures that the proper infrastructure is being provided to property
67 being developed within the City's ETJ. On October 22nd the Rockwall County Commissioners
68 Court approved a motion to notify all cities in Rockwall County that the interlocal agreements
69 would need to be amended to account for two things. The County is in the process of changing
70 their subdivision regulations which will affect the unified regulations contained in the document
71 and there was also a lawsuit challenging certain requirements of their subdivision regulations
72 which are incorporated in those unified regulations contained in the interlocal agreement. Until
73 the new unified regulations are adopted it would become difficult for the City to review plats,
74 therefore what the City is proposing is to impose a moratorium of 90 days on commercial
75 development and 120 days on residential developments for subdivision plats in the ETJ.
76

77 Mr. Miller advised the Commission staff was available for questions.
78

79 Chairman Chodun opened up the public hearing and asked if anyone wished to speak to come
80 forward and do so; there being no one indicating so Chairman Chodun closed the public hearing
81 and brought the item back to the Commission for discussion or action.
82

83 Commissioner Welch made a motion to approve the moratorium. Commissioner Womble
84 seconded the motion which passed by a vote of 7-0.
85

86 VI. DISCUSSION ITEMS
87

88 7. MIS2019-014
89

90 Hold a public hearing to discuss and consider an amendment to the OURHometown Vision 2040
91 Comprehensive Plan for the purpose of updating the water and wastewater master plans, and take any
92 action necessary.
93

94 Senior Planner, Korey Brooks provided a brief explanation of the request. Planning Director
95 indicated that with the impact fees are on the way to be approved, the City had the consultants
96 look at the water, water waste master plan and based on the Capital Improvement Plans approved
97 with the impact fee study they have adjusted the plan as necessary. When the Comprehensive
98 Plan was done those master plans were incorporated into the Comprehensive Plan because of
99 that public hearings will have to be held to go over any changes to those Master Plans. Once
100 approved by City Council it will be adopted by Ordinance.
101

102 Mr. Miller indicated staff was available for questions.
103

104 Chairman Chodun asked for questions from the Commission.
105

106 There being no questions Chairman Chodun indicated the case will return to the Commission for
107 action at the next scheduled meeting.
108

109 8. P2019-040
110

111 Discuss and consider a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the
112 approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently
113 identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being
114 zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.
115

116 Senior Planner, Korey Brooks, shared that the agenda item was in the discussion items because
117 it will go before the Park Board next week to have park fees accessed. It will come back at the next
118 scheduled Planning and Zoning meeting on the consent agenda.
119

120 Mr. Brooks indicted he was available for questions.
121

122 Chairman Chodun asked for questions from the Commission.
123

124 There being no further questions Chairman Chodun indicated the case will return to the
Commission for action at the next scheduled meeting.

125
126
127
128
129
130
131
132
133
134
135
136
137
138
139
140
141
142
143
144
145
146
147
148
149
150
151
152
153
154
155
156
157
158
159
160
161
162
163
164
165
166
167
168
169
170
171
172
173
174
175
176
177
178
179
180
181
182
183
184
185
186

9. SP2019-037

Discuss and consider a request by Anna C. Blackwell of Carrillo Engineering, LLC on behalf of Eddie Martin of Retail Partners, LLC for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740], and take any action necessary.

Planning Director, Ryan Miller, shared that the request came before the Commission last cycle, however because of the 30 day rule by the state, the applicant withdrew the request and now are bringing back the request with the changes and will come before the Commission for action at the next scheduled meeting.

Mr. Miller advised the Commission that the applicant was present and available for questions.

Chairman Chodun asked the applicant to come forward.

Anna Blackwell
301 Commerce Street
Fort Worth, TX

Ms. Blackwell came forward provided a brief explanation of the request and indicated that she is the civil engineer on the project on behalf of the owner. She shared that they have been working closely with staff and the Architectural Review Board to address the comments that were provided to them and have made necessary modifications. She indicated she was available for questions.

Chairman Chodun asked for questions from the Commission.

Commissioner Womble asked for recap of the variances being requested, if those were only for the dumpster orientation, space between the drive isles and articulation requirements. Ms. Blackwell indicated that was correct.

There being no further questions Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting.

10. SP2019-040

Discuss and consider a request by Matthew Gardner and Halff Associates on behalf of Reid Caldwell of Rockwall Urban Industrial, LP for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive, and take any action necessary.

Planning Director, Ryan Miller, advised the Commission that the applicant was present to provide comments on the request.

Chairman Chodun asked the applicant to come forward.

Mathew Gardner
3618 Regent Street
Midlothian, TX

Mr. Gardner came forward and provided a brief explanation of the request. They are proposing three light industrial buildings that they are proposing on the site for the purpose of leasing to individual tenants. He shared that they met with the Architectural Review Board who provided comments which they will be addressing. They will be asking for a variance to the slope requirement in the detention pond. He indicated he was available for questions.

Chairman Chodun asked if the tree line would be staying in place. Mr. Gardner stated most would as most are not on their property.

There being no further questions Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting.

187
188
189
190
191
192
193
194
195
196
197
198
199
200
201
202
203
204
205
206
207
208
209
210
211
212
213
214
215
216
217
218
219
220
221
222
223
224
225
226
227
228
229
230
231
232
233
234
235
236
237
238

11. SP2019-041

Discuss and consider a request by LeeAnn Latimer on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for a medical office building on a 1.36-acre tract of land identified as Lot 2, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

Senior Planner, Korey Brooks, shared that the applicant was unable to attend and went on to give a brief explanation of the request. The applicant is proposing to build a medical office building. The Architectural Review Board took a look at the building elevations and provided some suggestions which staff will provide to the applicant. Mr. Brooks indicated staff was available for questions.

Chairman Chodun asked for questions from the Commission.

Commissioner Womble asked if there would be any variances. Mr. Brooks stated that there would not due to it meeting both the vertical and horizontal articulation requirements.

There being no further questions Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting.

12. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

- ✓ MIS2019-001: Impact Fee Update (*1st Reading*) [*Approved*]
- ✓ Z2019-021: Amendment to Planned Development District 79 (PD-79) (*1st Reading*) [*Approved*]
- ✓ Z2019-022: SUP for an Accessory Building at 2340 Saddlebrook Lane (*1st Reading*) [*Postponed to November 4, 2019*]
- ✓ Z2019-024: Amendment to Planned Development District 70 (PD-70) (*1st Reading*) [*Approved*]

Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced case at the City Council meeting.

VII. ADJOURNMENT

Chairman Chodun adjourned the meeting at 6:29 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2019.

Eric Chodun, Chairman

Attest:

Laura Morales, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 12, 2019
APPLICANT: Perry Bowen
CASE NUMBER: P2019-040.; *Lots 1 & 2, Block A, Haley & Kyle Addition*

SUMMARY

Discuss and consider a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

PLAT INFORMATION


- The applicant is requesting to replat one (1) lot (*i.e. Lot A, Block 107, B. F. Boydston Addition*) into two (2) lots (*i.e. Lots 1 & 2, Block A, Haley & Kyle Addition*) for the purpose of subdividing the property in order to construct two (2) single-family homes.
- The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is addressed as 501 S. Clark Street.
- On November 5, 2019, the Parks and Recreation Board reviewed the proposed *replat* and made the following recommendations:
 - 1) The developer shall pay pro-rata equipment fees for Park District No. 21 in the amount of \$516.00 for Lot 2. This will need to be paid at time of final plat; and
 - 2) The developer shall pay cash-in-lieu of land fees for Park District No. 21 in the amount of \$499.00 for Lot 2 to be paid at the time of final plat.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 1 & 2, Block A, Haley & Kyle Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 20 40 80 120 160 Feet

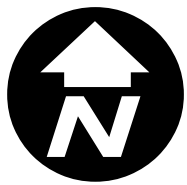
P2019-040 - LOTS 1&2, BLOCK A, HALEY & KYLE ADDITION
REPLAT - LOCATION MAP = 



City of Rockwall

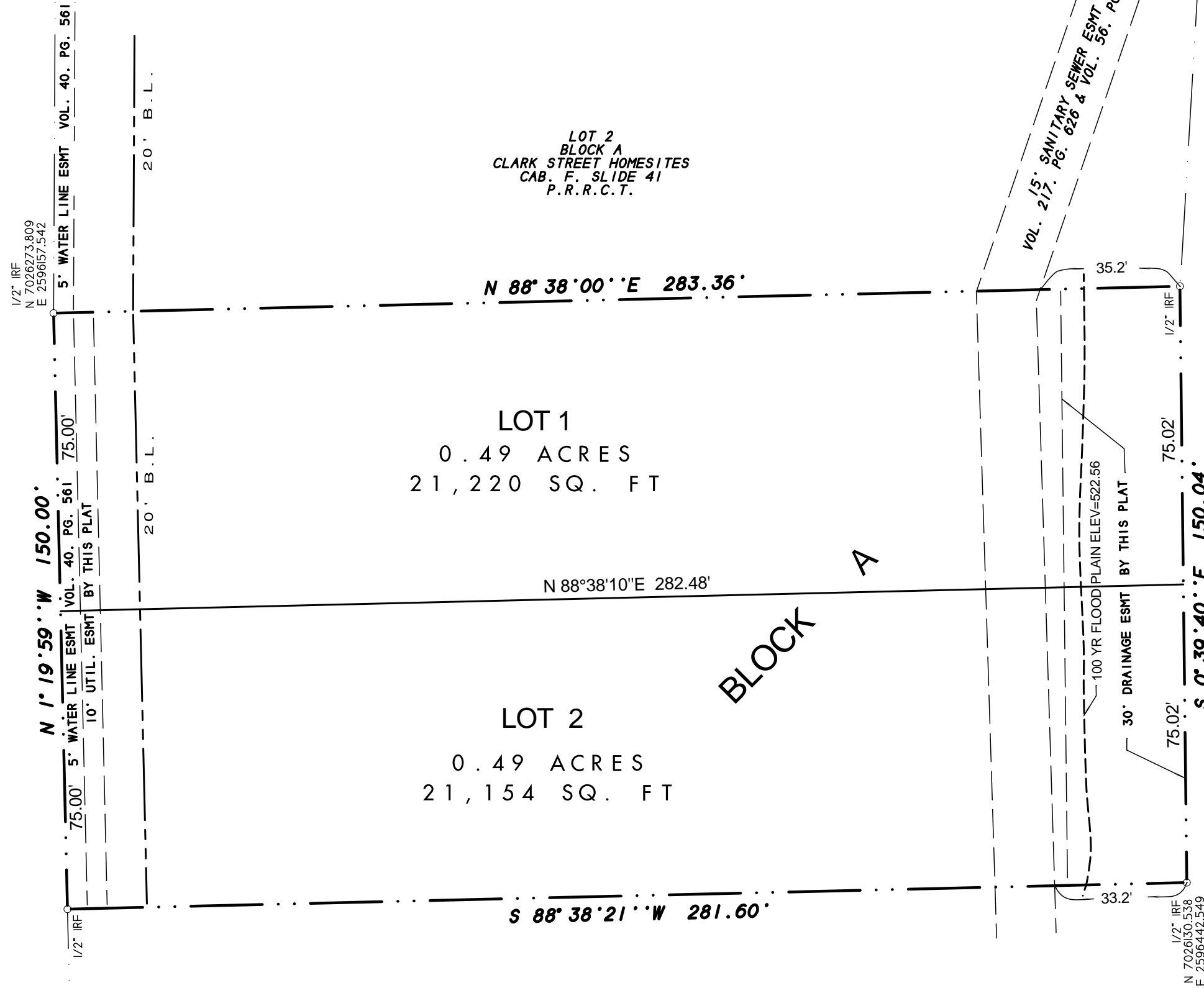
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



S. CLARK STREET

60' R.O.W



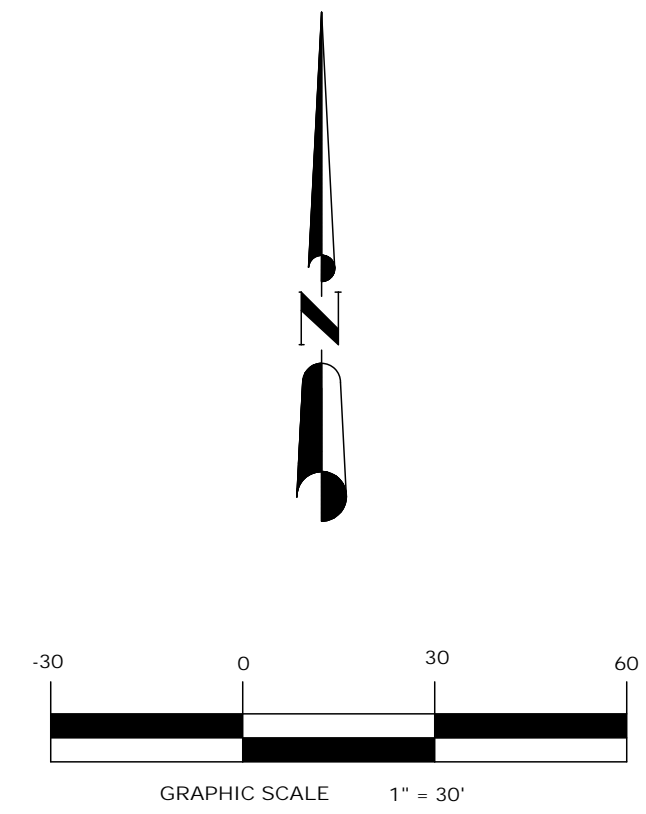
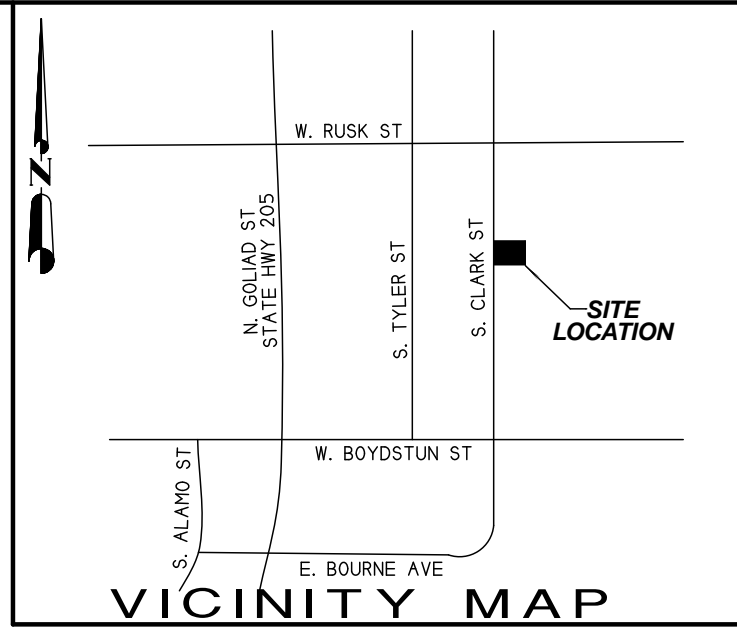
LOT 2
BLOCK A
CLARK STREET HOMESITES
CAB. F. SLIDE 41
P.R.R.C.T.

LOT 1
0.49 ACRES
21,220 SQ. FT

LOT 2
0.49 ACRES
21,154 SQ. FT

0.52 ACRES
DAVID LACOUR
RENEE LACOUR
VOL. 1821, PG. 207
R.P.R.C.T.

3.98 ACRES
CLARENCE SAMPLES
VOL. P. 116 PG. 198
R.P.R.C.T.



FINAL PLAT
HALEY & KYLE ADDITION
LOTS 1 & 2, BLOCK A
0.97 ACRES OR 42,375 S.F.
(2 LOTS)
B.F. BOYSTON SURVEY
ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
 - 4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.
- NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SHEET 1 OF 2

OWNER:
KYLE BRYAN &
HALEY BROOKE BOWEN
401 E. KAUFMAN STREET
ROCKWALL, TEXAS 75087

SYMBOL LEGEND	
TV	TELEVISION
CS	CABLE
GC	GAS
PH	PHONE
HT	HYDRANT
PF	POWER POLE
EL	ELECTRIC
ES	ELECTRIC SUBSURFACE JUNCTION BOX
WT	WATER
LP	LIGHT POLE
1/2" ST. IRON ROD FOUND	1" CORNER
-X-	PROPERTY LINE
---	EASEMENT LINE
---○---	A/C
---	PROPERTY UNIT
---	PREPARE TANK

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 18, 2019
SCALE 1" = 30' FILE # 20190322-FP
CLIENT BOWEN

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS KYLE BRYAN and HALEY BROOKE BOWEN, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that 0.97 acres tract of land as described in a Warranty deed from Mario Del Bosque to Kyle Bryan and Haley Brooke Bowen, dated May 19, 2019 and being recorded in Document no. 2019000007530 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the East right-of-way line of Clark Street (60' R.O.W.) at the Southwest corner of the above cited tract of land, said point also being at the Northwest corner of a 0.52 acres tract of land as described in a Contract for deed to David Lecour and Renee Lecour, dated January 15, 1999 and being recorded in Volume 1821, Page 207 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 19 min. 59 sec. W. along said right-of-way line, a distance of 150.00 feet to a 1/2" iron rod found for corner at the Northwest corner of said Bryan and Bowen tract and at the southwest corner of Lot 2, Block 1, Clark Street Homesites Addition, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet F, Slide 41 of the Plat Records of Rockwall County, Texas;

THENCE N. 88 deg. 38 min. 00 sec. E. a distance of 283.36 feet to a 1/2" iron rod found for corner at the Northeast corner of said Bryan and Bowen tract;

THENCE S. 00 deg. 39 min. 40 sec. E. a distance of 150.04 feet to a 1/2" iron rod found for corner at the Northeast corner of said Lecour tract;

THENCE S. 88 deg. 38 min. 21 sec. W. a distance of 281.60 feet to the POINT OF BEGINNING and containing 42,375 square feet or 0.97 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as HALEY & KYLE ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

KYLE BRYAN

HALEY BROOKE BOWEN

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared KYLE BRYAN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared HALEY BROOKE BOWEN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of KYLE & HALEY ADDITION, LOTS 1 & 2, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall

City Secretary City of Rockwall

City Engineer

Date

FINAL PLAT
HALEY & KYLE ADDITION
LOTS 1 & 2, BLOCK A
 0.97 ACRES OR 42,375 S.F.
 (2 LOTS)
 B.F. BOYDSTON SURVEY
 ABSTRACT NO. 14
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND									
⊙	⊕	⊖	⊗	⊘	⊙	⊕	⊖	⊗	⊘
TELEVISION	GAS	TEL.	FP	FP	CABLE	SAL	PROSE	FIH	POWER
ROSER	METER	ROSER	ROSER	HYDRANT	METER	ROSER	ROSER	ROSER	ROSER
▲	⊕	⊖	⊗	⊘	⊙	⊕	⊖	⊗	⊘
ELEC.	ELEC.	WY	LP	LP	1/2" IRON	1/2" IRON	1/2" IRON	1/2" IRON	1/2" IRON
ELECTRIC	BOX	METER	WOLE	WOLE	ROSER	ROSER	ROSER	ROSER	ROSER
METER	JUNCTION	BOX	BOX	BOX	ROSER	ROSER	ROSER	ROSER	ROSER
-X-	-----	-----	-----	-----	-----	-----	-----	-----	-----
FENCE	EASEMENT LINE	ADJ. COR.	ADJ. COR.	ADJ. COR.	ADJ. COR.	ADJ. COR.	ADJ. COR.	ADJ. COR.	ADJ. COR.
	-----	-----	-----	-----	-----	-----	-----	-----	-----
	-----	-----	-----	-----	-----	-----	-----	-----	-----

OWNER:
KYLE BRYAN &
HALEY BROOKE BOWEN
401 E. KAUFMAN STREET
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 18, 2019
SCALE 1" = 30' FILE # 20190322-FP
CLIENT BOWEN



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 12, 2019
APPLICANT: Lee Ann Latimer
CASE NUMBER: SP2019-041; *Site Plan for T3 Chiropractic*

SUMMARY

Discuss and consider a request by Lee Ann Latimer on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for a medical office building on a 1.36-acre tract of land identified as Lot 2, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

BACKGROUND

The subject property was annexed in 1986 [*Ordinance No. 86-30*] is zoned Commercial (C) District, and is located north of the intersection of Industrial Boulevard and Airport Road. On July 7, 2012, The City Council approved a change in zoning from an Agricultural (AG) District to a Commercial (C) District [*Ordinance No. 12-14*] on the subject property. On August 9, 2016, the Planning and Zoning Commission approved a site plan [*Case No. SP2016-015*] for an indoor recreation facility (*i.e. Adventure Sports*) on Lot 2. Subsequently, on August 15, 2016, the City Council approved variances associated with the approved site plan; however, the developer submitted an amended site plan [*Case No. SP2017-021*] to relocate the indoor recreational facility to Lot 3 in 2017. On June 5, 2017 the City Council approved a final plat [*Case No. P2017-026*] for Lots 1-3, Block A, Landing Point Addition.

PURPOSE

The applicant is requesting approval of a site plan for a 2,900 SF medical office building on Lot 2, Block A, Landing Point Addition.

ADJACENT LAND USES AND ACCESS

The subject property is located north of the intersection of Airport Road and Industrial Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Lot 3, Block A, Landing Point Addition, which is occupied by an indoor recreation/amusement business (*i.e. Adventure Sports*). Beyond this there are several large vacant tracts of land that are zoned Agricultural (AG) District and Planned Development District 71 (PD-71) for Commercial (C) District land uses. Following this William Street [*SH-66*], which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this is a vacant tract of land that is zoned Planned Development District 85 (PD-85) for General Retail (GR) District land uses.

South: Directly south of the subject property is a vacant lot (*i.e. Lot 1, Block A, Landing Point Addition*). Beyond this is Airport Road, which is identified as a *M4U (major collector, four [4]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Following this, there is an athletic complex (*i.e. Leon Tuttle Athletic Complex*) and a railway (*i.e. Union Pacific/Dallas Garland N. E.*

railway). Beyond this, there is a light industrial facility (i.e. *Graham Packaging Pet Technologies*). These areas are zoned Light Industrial (LI) District.

East: Directly east of the subject property, there is a medical office facility (i.e. *Lakes Regional Mental Health*), a house of worship (i.e. *Cornerstone Church*), and a vacant tract of land (i.e. *Tract 4-06, N. Butler Survey, Abstract No. A0020*). These areas are zoned Commercial (C) District. Following this is John King Boulevard, which is identified as a *P6D (principle arterial, six [6]-lane, divided roadway)* on the City’s Master Thoroughfare Plan.

West: Directly west of the subject property, there are several vacant tracts of land followed by Airport Road, which is identified as a *M4U (major collector, four [4]-lane, undivided roadway)* on the City’s Master Thoroughfare Plan. Beyond this, there are several vacant tracts of land, a light industrial facility (i.e. *Columbia Extrusion*), and a mixed-use subdivision (i.e. *Park Station*). These areas are zoned Light Industrial (LI) District and Planned Development District 87 (PD-87) for townhome, commercial, and light industrial land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), a *medical office facility* is permitted by-right in a Commercial (C) District and no additional discretionary approvals are necessary with regard to land use. The proposed medical office building will be approximately 2,900 SF, will be two (2) stories, and will be clad with a combination of brick, stone, and cementitious lap siding (i.e. *Hardi-Board or similar*). The building will utilize a pitched roof system, will be constructed in a residential architectural-style and scale, and will serve as a chiropractic facility (i.e. *T3 Chiropractic*) for an existing medical practice. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>24,570; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>60-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>179-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>28-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>12%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>15 Spaces</i>	<i>32 Spaces; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>35%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>48%; In Conformance</i>

TREESCAPE PLAN

This request does not require a treescape plan since there are no protected trees being removed.

CONFORMANCE WITH THE CITY’S CODES

Subsection 4.01, *General Commercial District Standards*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), stipulates that all commercial development utilize a pitched (*minimum of a 6:12 roof pitch*), parapet, or a mansard roof. In this case, the applicant is proposing to utilize a pitched roof that appears to meet the roof design standards for properties located within a Commercial (C) District. In addition, primary and secondary building façades shall not exceed more than three (3) times the wall height (i.e. *81-feet in this case*)

without a projecting secondary entryway or architectural element. In this case, the building is 27-feet in height, is 71-feet in length, and 42-feet in width. Since the primary and secondary facades are below the maximum allowable wall length, the proposed building seems to conform to the building articulation standards.

According to the purpose statement outlined in Subsection 4.05, *Commercial (C) District*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Commercial (C) District is "...the proper zoning classification for most types of commercial development..." and "...includes most types of office land uses...". Areas should not be zoned Commercial (C) District unless they are located on or close to an arterial or major collector that is capable of carrying the additional traffic generated by land uses in the district. In this case, the proposed use, *a medical office facility*, is allowed by-right in a Commercial (C) District and the applicant is not proposing to rezone the subject property. Due to those factors, the applicant's request appears to conform to the district development standards outlined in the Unified Development Code (UDC).

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Map that was adopted with the OURHometown Vision 2040 Comprehensive Plan depicts the subject property being located within the *Central District*. This district contains a wide range of land uses that vary from single-family residential to industrial land uses. The residential areas within the district are largely rural and estate developments. Although there are some residential and commercial/retail developments within the district, the *Technology/Employment Center (TEC)* land use occupies the largest acreage (*i.e.* 390.78-acres). This can likely be attributed to the Union Pacific/Dallas Garland and Northeastern Rail Road that bisects the district and serves as a major mode of transportation for the facilities within the Rockwall Technology Park. The commercial/retail centers in this district are intended to support existing and proposed residential developments and should be compatible in scale with adjacent residential structures and incorporate appropriate screening (*e.g.* *berms, landscaping, and large buffers*) to transition uses. In this case, it appears that the proposed medical office building can be viewed as a supporting service for the residential developments located to the north and to the west of the subject property. The applicant is utilizing a residential-scale architectural style and the property is surrounded by commercial and industrial land uses. Due to these factors, the applicant's request appears to be in conformance with the district strategies of the Central District and the Commercial/Retail land use outlined in the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):


On October 29, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and provided feedback to the applicant. Specifically, the Architectural Review Board (ARB) requested that the applicant utilize a pitched roof system on the front façade in order to match the rear façade. The applicant agreed to incorporate the revisions and will provide revised building elevations for the Architectural Review Board (ARB) to review during the meeting that will be held on November 12, 2019. Pending any additional revisions, the Architectural Review Board (ARB) will forward a recommendation to the Planning and Zoning Commission.

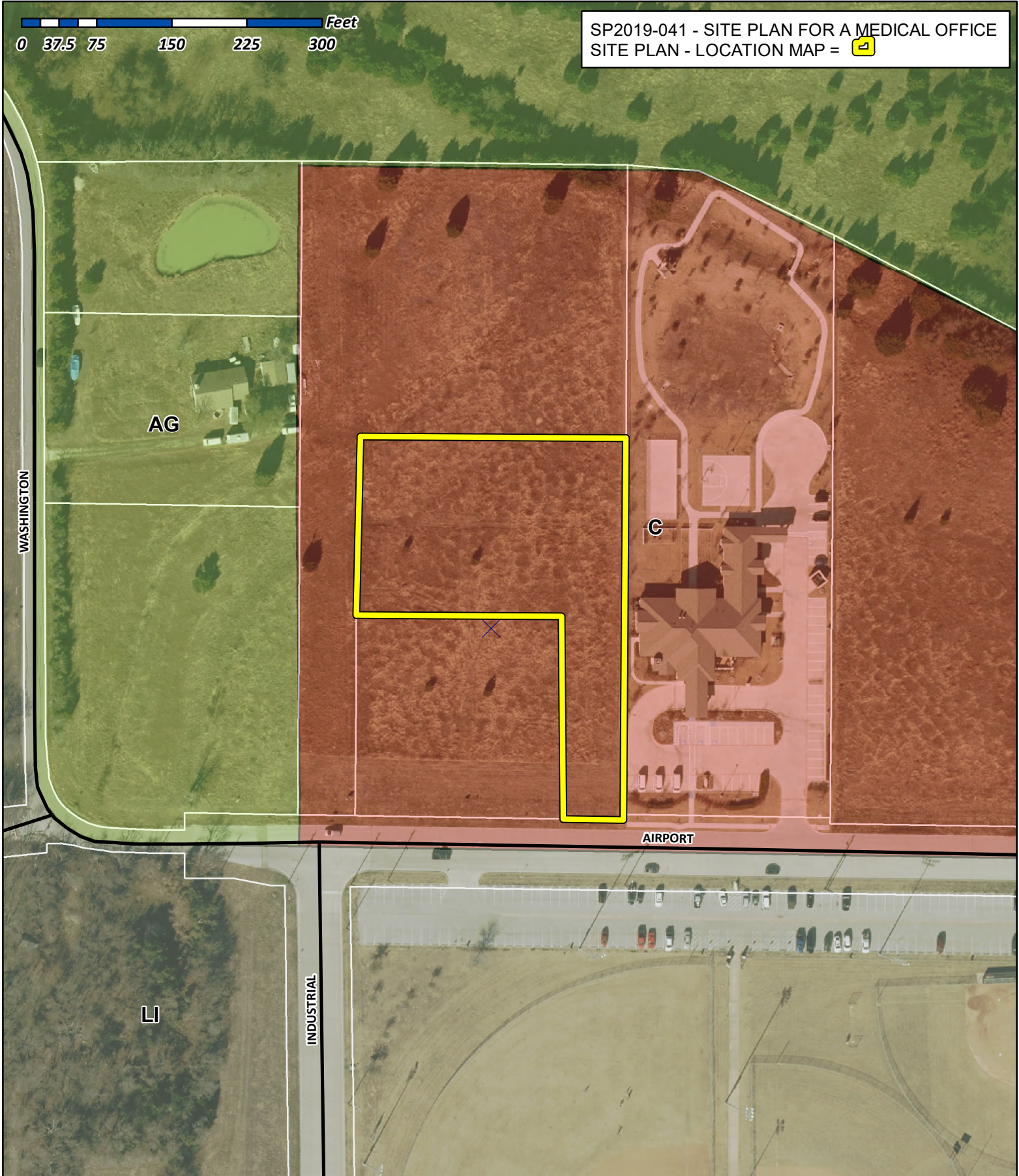
CONDITION OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following condition of approval:

- (1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 37.5 75 150 225 300 Feet

SP2019-041 - SITE PLAN FOR A MEDICAL OFFICE
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

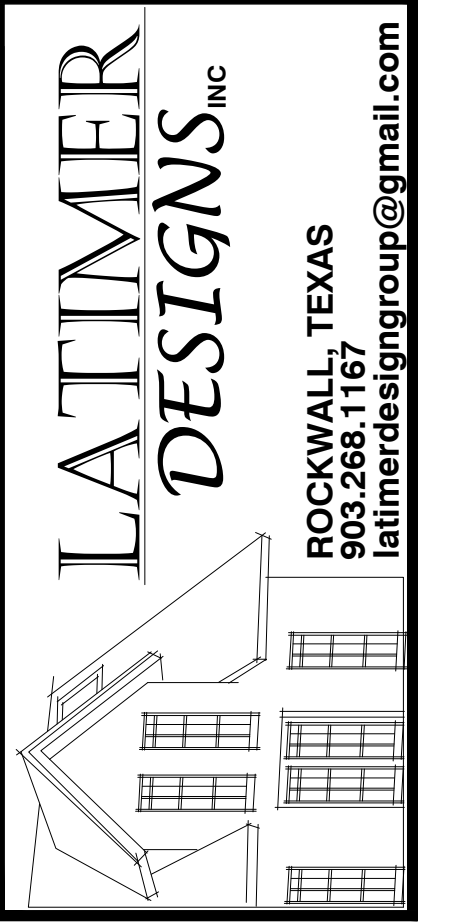
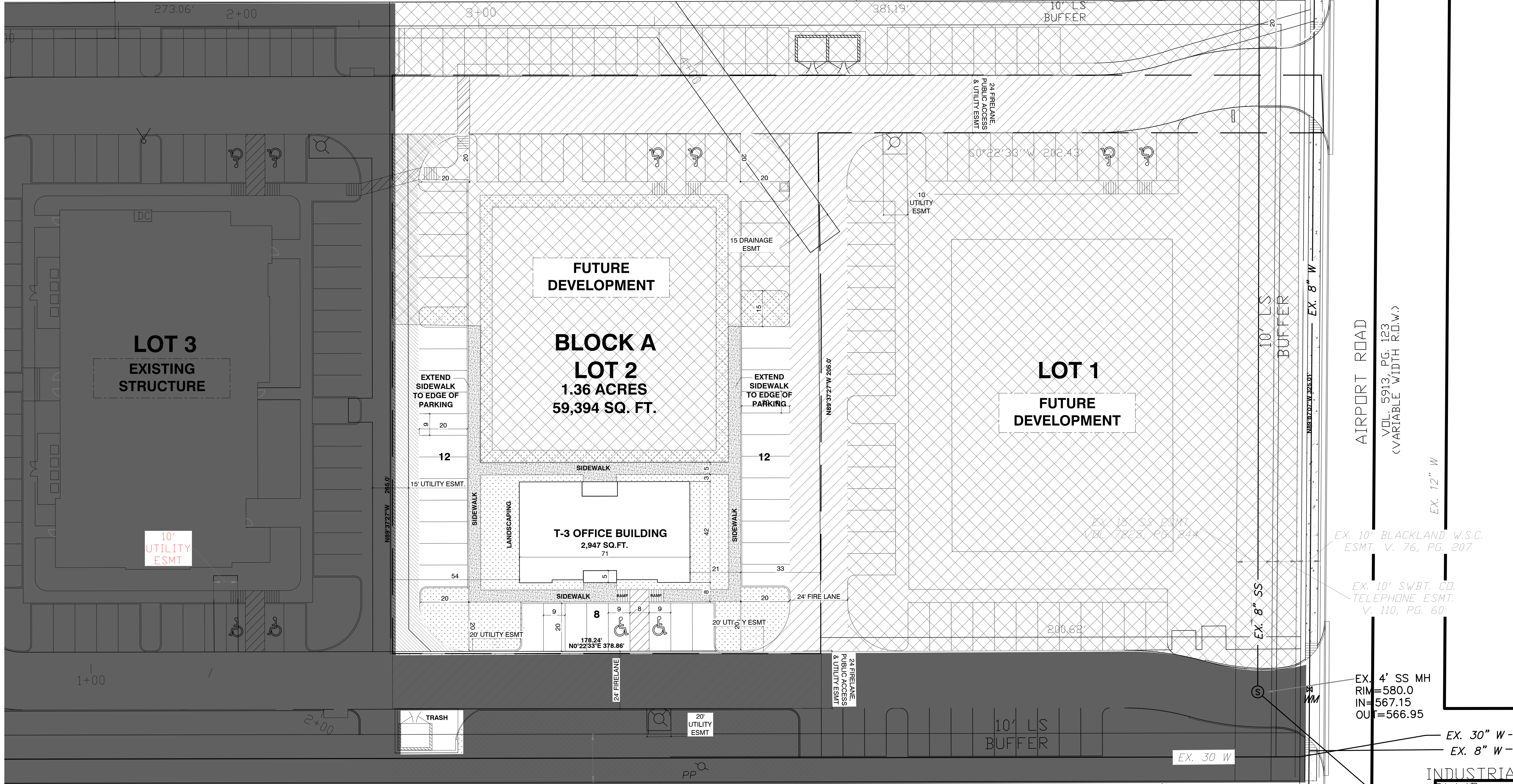


COLUMBIA PARK ADDITION
 LOT 4, BLOCK A
 CABINET H, SLIDE 329
 P.R.R.C.T.

S 0°22'33"W 654.25'

EX. CONC. DRIVE

15 DRAINAGE
 ESMT.



DRAWN BY:
L.L.

CHECKED BY:

DATE:
10.16.2019

ISSUED FOR PRE APPROVAL:
10.18.2019

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

10.23.2019	
10.24.2019	

PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE

LOCATION:
1503 AIRPORT ROAD • ROCKWALL • TX • 75087

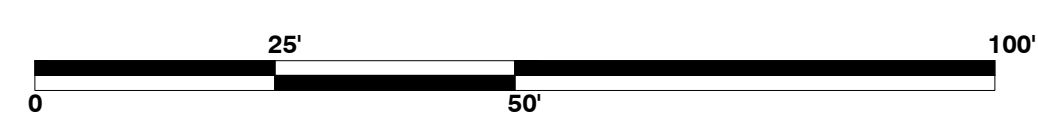
DATE:
11.04.2019

CASE # SP2019-041

SHEET TITLE:
SITE PLAN

SHEET NO.:
A - 0.01

01 SITE PLAN
 SCALE: 1" = 20' - 0"



LEGEND

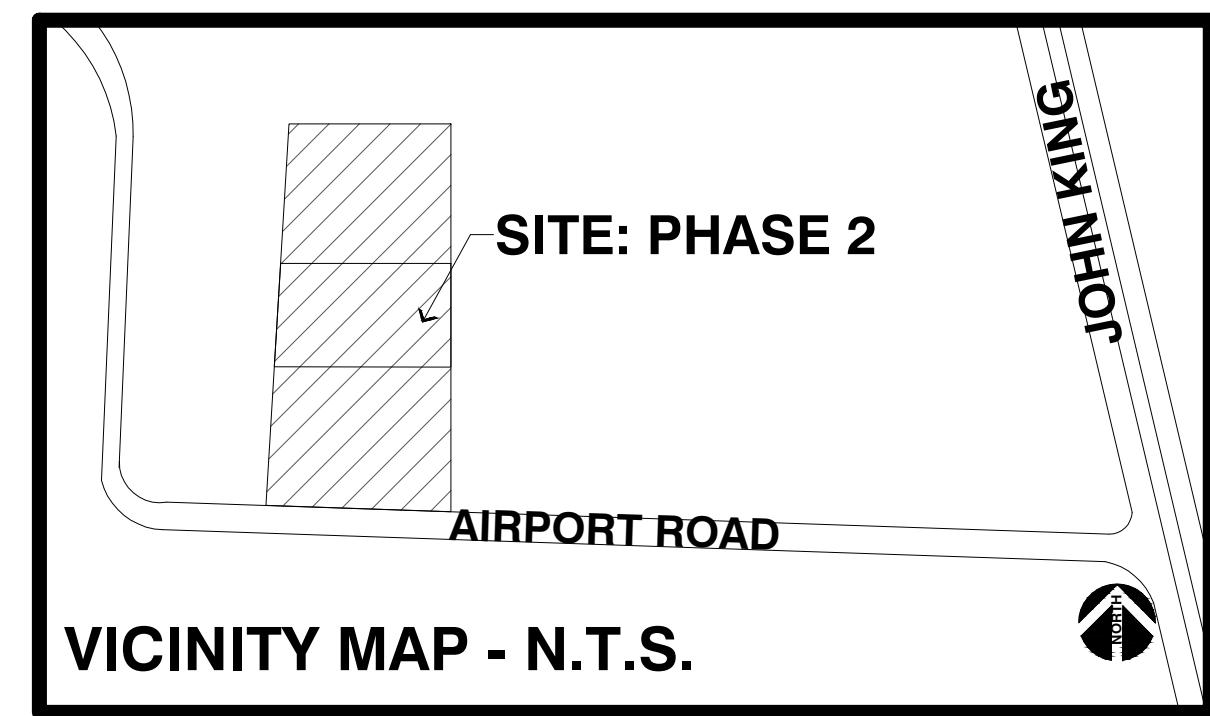
- NEW SIDEWALK
- FIRE LANE
- NEW PARKING SPACES
- PARKING ACCESS
- LANDSCAPING
- FUTURE DEVELOPMENT
- NOT IN SCOPE OF WORK

SITE NOTES

1. TOTAL BUILDING SQUARE FOOTAGE: 2,947
2. TOTAL LOT SQUARE FOOTAGE: 24,570
3. IMPERVIOUS AREA: 11,686
4. IMPERVIOUS / LANDSCAPE: 48%
5. PARKING REQUIREMENTS: 1 SPACE /200
6. HANDICAP SPACES REQUIRED: 1 ACCESSIBLE IN 0-25 SPACES - 2 PROVIDED
7. TOTAL PARKING SPACES PROVIDED: 32
8. ALL PARKING SPACES AT 9' X 21'

BUILDING DEVELOPEMENT

OWNER	ZAPH & ATH PROPERTIES 469.834.6757 arze@me.com
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING REESE BAEZ 214.738.8752 RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC. LEE ANN LATIMER 903.268.1167 LATIMERDESIGNGROUP@GMAIL.COM
TENANT	T3 CHIROPRACTICS DR. CASSIDIE 214.606.3990



EX. 10' BLACKLAND W.S.C.
 ESMT. V. 76, PG. 207

EX. 10' SWBT. CO.
 TELEPHONE ESMT.
 V. 110, PG. 60

EX. 4' SS MH
 RIM=580.0
 IN=567.15
 OU=566.95

T.P.L. CO. EASEMENT
 VOL. 54, P. 75
 VOL. 198 PG. 90

EX. 20' N.T.M.W.D. ESMT.
 VOL. 561, P. 252

EX. 30" W -
 EX. 8" W -

- BRICK : 31.67%
- STONE : 18.58%
- HARDI : 37.63%
- METAL : 12.12%



WEST ELEVATION
SCALE: 1/4" = 1' - 0"

- BRICK : 14.89%
- STONE : 7.38%
- HARDI : 52.01%
- METAL : 25.73%



NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

- BRICK : 15.23%
- STONE : 7.43%
- HARDI : 73.80%
- METAL : 3.54%



EAST ELEVATION
SCALE: 1/4" = 1' - 0"

- BRICK : 16.30%
- STONE : 8.07%
- HARDI : 47.36%
- METAL : 28.27%

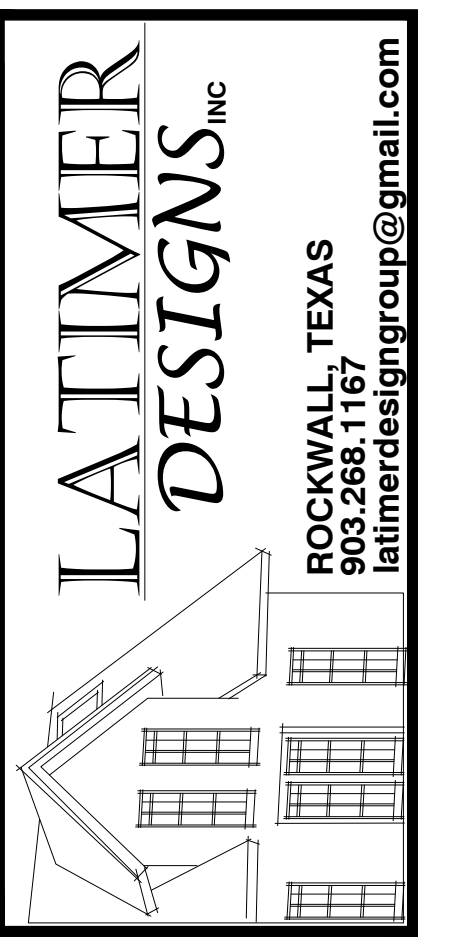


SOUTH ELEVATION (FACING AIRPORT ROAD)
SCALE: 1/4" = 1' - 0"

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

SITE DATA TABLE	
PROPERTY ID	LANDING POINT ADDITION / LOT 2 / BLOCK A
ADDRESS	AIRPORT ROAD, ROCKWALL, TX
ZONING	COMMERCIAL (C) DISTRICT
PROPERTY USE / TYPE	OFFICE / B
PROPERTY AREA (GROSS)	24,570 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	27'-5"
PARKING REQUIRED	1 SPACE/200
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	32 SPACES
ALL SF TOTALS ARE APPROXIMATE	

BUILDING DEVELOPEMENT	
OWNER	ZAPH & ATH PROPERTIES 469.834.6757 arze@me.com
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING REESE BAEZ 214.738.8752 RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC. LEE ANN LATIMER 903.268.1167 LATIMERDESIGNGROUP@GMAIL.COM
TENANT	T3 CHIROPRACTICS DR. CASSIDIE 214.606.3980

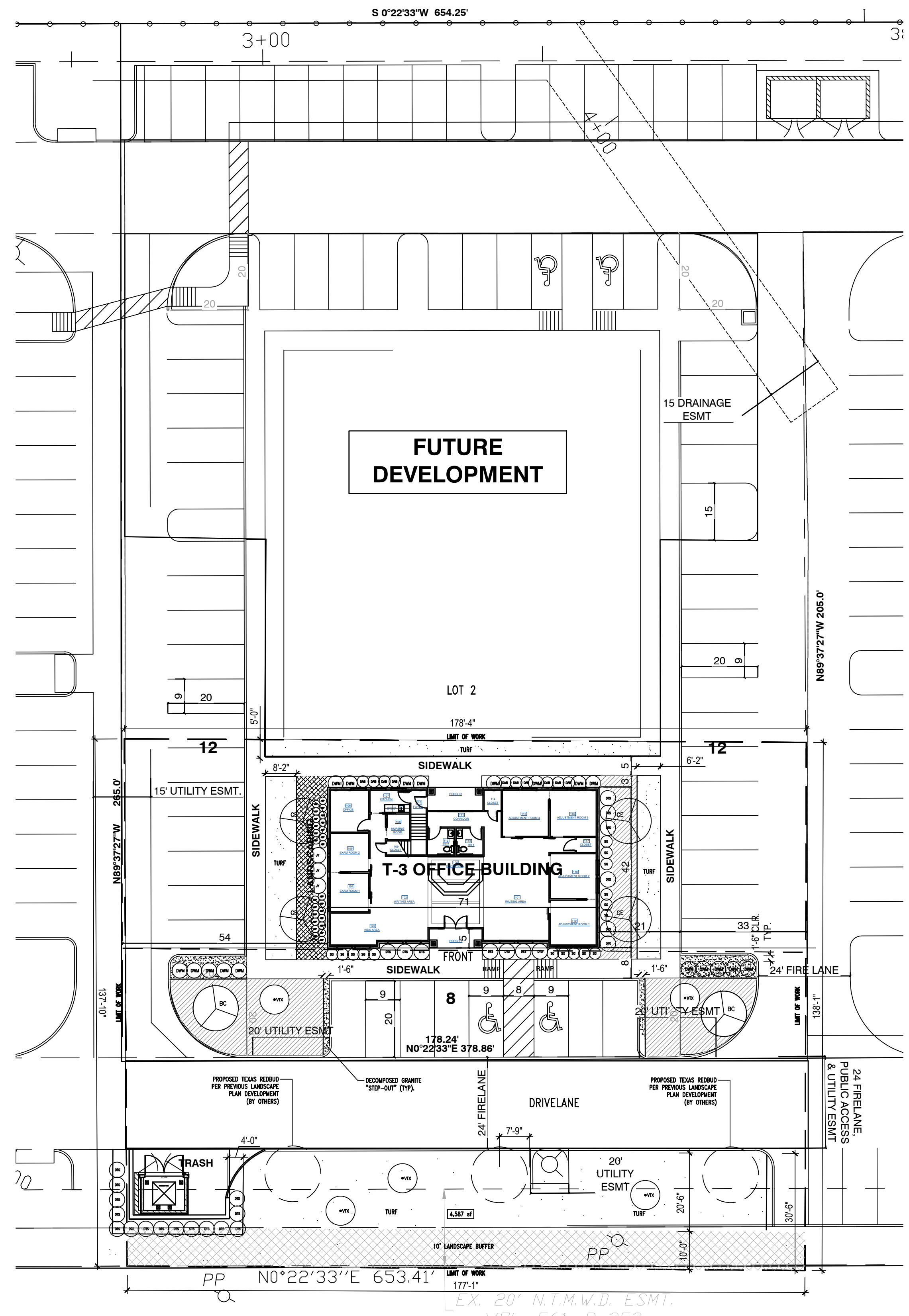


DRAWN BY:	L.L.
CHECKED BY:	
DATE:	10.16.2019
ISSUED FOR PRE APPROVAL:	10.18.2019
ISSUED FOR PERMIT:	
ISSUED FOR CONSTRUCTION:	
REVISIONS:	

PROJECT/CLIENT:	T3 CHIROPRACTIC OFFICE
LOCATION:	1503 AIRPORT ROAD • ROCKWALL • TX • 75087
DATE:	11.04.2019

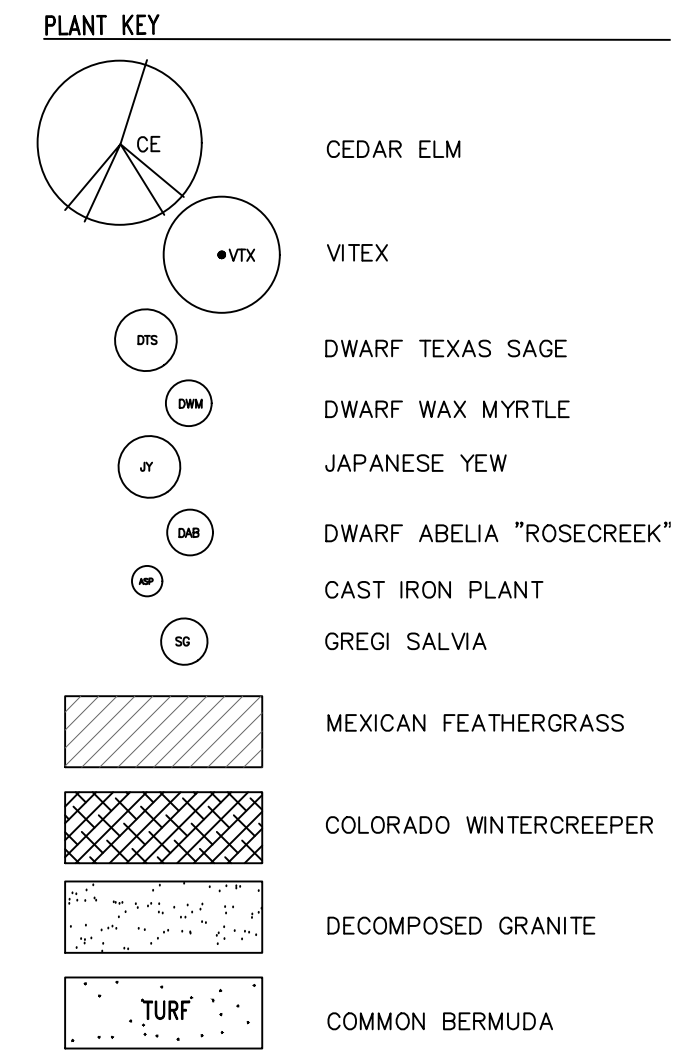
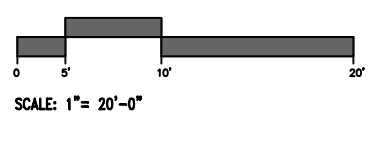
CASE #	SP2019-041
--------	------------

SHEET TITLE:	ELEVATIONS
SHEET NO.:	A - 1.01



1.00 ACRES
172 PG. 202
D.R.R.C.T.

SITE LANDSCAPE - PLAN



KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	04	CEDAR ELM	<i>Ulmus crassifolia</i>	4'-4.5' CAL.	PLANT WHERE INDICATED
DC	02	DWARF CYPRESS	<i>Taxodium distichum</i>	4'-4.5' CAL.	PLANT WHERE INDICATED
DM	05	VITEX	<i>Vitex</i>	8-10' H.T.	PLANT WHERE INDICATED, 6' FROM ADJACENT EXISTING WOOD FENCE
DTD	13	DWARF TEXAS SAGE	<i>Leucophyllum candidum</i> 'Thunder Cloud'	7-GAL.	PLANT 42" O.C. MIN.
DT	03	JAPANESE YEW	<i>Podocarpus macrophyllum</i> 'Stewartii'	7-GAL.	PLANT 36" O.C. MIN.
DMM	15	DWARF WAX MYRTLE	<i>Myrica pauciflora</i>	7-GAL.	PLANT 36" O.C. MIN.
DAD	10	CRISTATE DWARF ABELIA	<i>Abelia grandiflora</i> 'Vasee Creek'	7-GAL.	PLANT 36" O.C. MIN.
ADP	20	ADPONDIA	<i>Peperomia elatior</i>	3-GAL.	PLANT 24" O.C. MIN. SPACED IN LANDSCAPE AREA
DWC	07	COLORADO WINTER CREEPER	<i>Euonymus fortunei</i> 'Coloratus'	3-GAL.	PLANT 18" O.C. (1, 5-45, 5P)
MF	5	MEXICAN FEATHER GRASS	<i>Stenandrium tenuissimum</i>	3-GAL.	PLANT 24" O.C. (244, 5P)
TURF	---	COMMON BERMU DA GRASS	<i>Cynodon dactylon</i>	500	LEVEL SUB GRADE AND REEL WED PLACE.

LANDSCAPE TABULATION
 LOT 2: LIMIT OF WORK .56 AC (24,515 SF)
 BUILDING (FOOTPRINT) : +/- 2,798. SF
 ZONED: C - COMMERCIAL

5.1 LANDSCAPE BUFFER-STRIP
 WEST SIDE (FRONT OF BUILDING) 177. LF
 10' REQUIRED
 10' PROVIDED

1/CANOPY TREE PER 50 LF, 3 CANOPY TREES REQUIRED
 1/CANOPY TREE PER 50 LF, 3 CANOPY TREES PROVIDED

1/ACCENT TREE PER 50 LF, 3 ACCENT TREES REQUIRED
 1/CANOPY TREE PER 50 LF, 3 ACCENT TREES PROVIDED

LANDSCAPE AREA SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.

5.2 SCREENING OF OFF-STREET LOADING DOCKS
 N/A

5.3 ACCEPTABLE LANDSCAPE MATERIALS
 ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
 ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER
 ALL PLANT MATERIAL WILL OF CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARDS.

5.4 PROTECTION OF LANDSCAPE AREAS:
 ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.

5.5 IRRIGATION:
 AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.

5.6 SCREENING FROM RESIDENTIAL USES (SIDE AND BACK YARDS):
 N/A

5.7 STREET LANDSCAPING:
 N/A

5.8 RIGHT-OF-WAY LANDSCAPING:
 N/A

5.9 PARKING LOT LANDSCAPING:
 PARKING "MORE THAN TWO ROWS OF SPACES" (WITHIN LIMIT OF WORK) = 10,563 SF
 5% OR 200 SF OF LANDSCAPING REQUIRED
 9% AND 984 SF OF LANDSCAPING PROVIDED

1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED.
 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.

5.10 - (DELETED):

5.11 DIMENSIONING OF LANDSCAPE AREA:
 ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
 ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.

5.12 REQUIRED LANDSCAPING:
 LOT 2, ZONED COMMERCIAL (24,515 SF)
 A. AMOUNT OF LANDSCAPING
 4,903. SF = 20% OF SITE REQUIRED TO BE LANDSCAPED.
 8,624. SF = 35% OF SITE PROPOSED TO BE LANDSCAPED.

B. LOCATION OF LANDSCAPING
 1,839. SF = 50% REQUIRED IN FRONT YARD
 6,377. SF = 73% OF PROPOSED LANDSCAPE PROVIDED IN FRONT YARD.

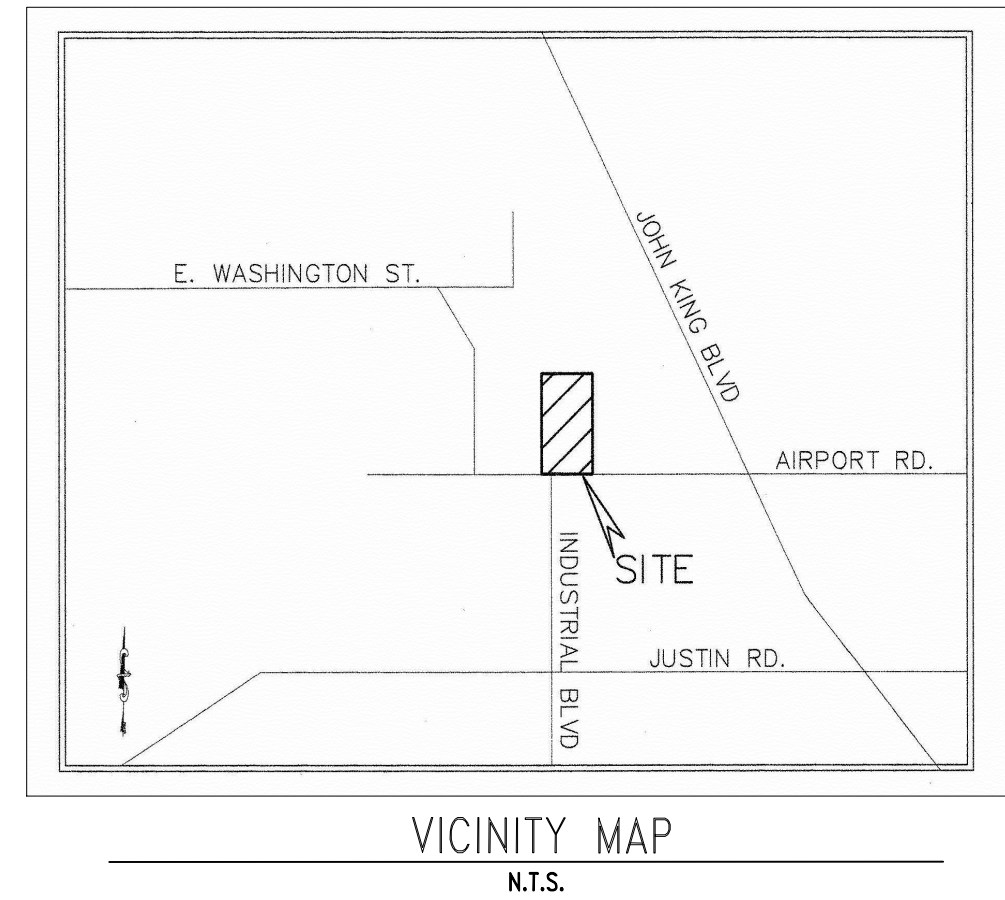
C. DETENTION BASIN
 BEING DETAINED WITH REGIONAL DETENTION ON LOT 3

9.1 MAINTENANCE REQUIREMENT:
 ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY.
 A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 14' AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.

9.2 UTILITY LINES AND RIGHTS-OF-WAY:
 ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.

THERE ARE NO TREES ARE TO BE LOCATED WITHIN 5' OF ANY PUBLIC UTILITY.

TREESCAPING - PROTECTED TREE MITIGATION
 THERE ARE NO PROTECTED TREES EXISTING ON SITE



RYBA Inc.
 Landscape Architecture
 Site Planning
 10670 North Central Express
 6th Floor
 Dallas, TX 75221
 (214) 638-3552
 info@ryba.com
 www.rybadesign.com

STEVEN R. RYBA
 1724
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
 STATE OF TEXAS
 11/05/2019

DRAWN BY:

DK

CHECKED BY:

SR

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

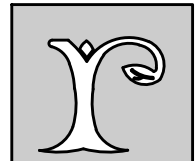
**T3 - Chiropractic Office
 Landing Point
 Rockwall TX**

CASE # XXXX

**SHEET TITLE:
 LANDSCAPE
 DEVELOPMENT
 PLAN**

**SHEET NO.:
 L1.01**

PRELIMINARY 10/15/19
 NOT FOR CONSTRUCTION



RYBA Inc.

Landscape Architecture Site Planning

10670 North Central Expressway
6th Floor
Dallas, TX 75221
(214) 638-3552
info@ryba.net
www.rybadesign.com



DRAWN BY:
DK
CHECKED BY:
SR
DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

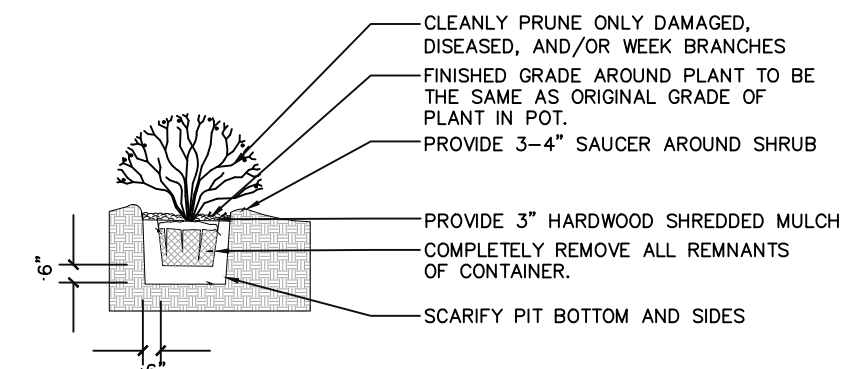
T3 - Chiropractic Office
Landing Point
Rockwall TX

CASE # XXXX

SHEET TITLE:
LANDSCAPE
DEVELOPMENT
DETAILS

SHEET NO.:
L2.01

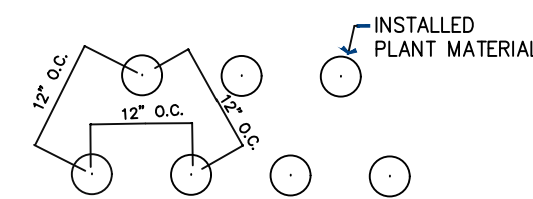
PRELIMINARY 10/15/19
NOT FOR CONSTRUCTION



- CLEANLY PRUNE ONLY DAMAGED, DISEASED, AND/OR WEEK BRANCHES
FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT.
PROVIDE 3-4" SAUCER AROUND SHRUB
PROVIDE 3" HARDWOOD SHREDDED MULCH
COMPLETELY REMOVE ALL REMNANTS OF CONTAINER.
SCARIFY PIT BOTTOM AND SIDES
- NOTE:
1. USE MIXED COMPOST TO BACKFILL.
2. FERTILIZE AND WATER THOROUGHLY AFTER INSTALLATION.
3. EXCAVATE ENTIRE SHRUB BED, AS SHOWN.
4. NO SHRUB, EDGER OF ROOTBALL SHALL BE PLANTED CLOSER THAN 2'-3" FROM FOUNDATION OF BUILDING.

SHRUB PLANTING-SECTION

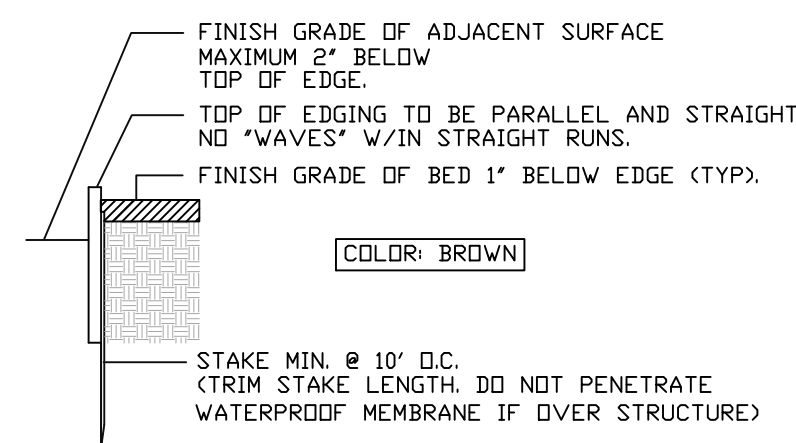
N.T.S.



- NOTE:
1. THE "ON CENTER" MAY VARY PER PLANT TYPE. REFER TO PLANT SCHEDULE, FOR VARIOUS "ON CENTERS".

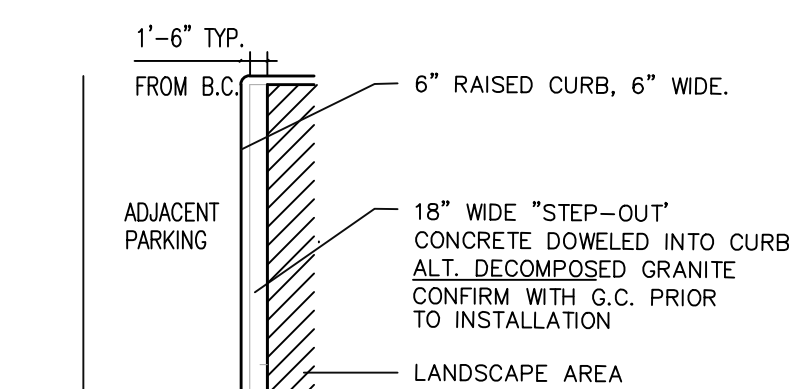
GROUNDCOVER PLANTING-PLAN

N.T.S.



STEEL EDGE-SECTION

N.T.S.

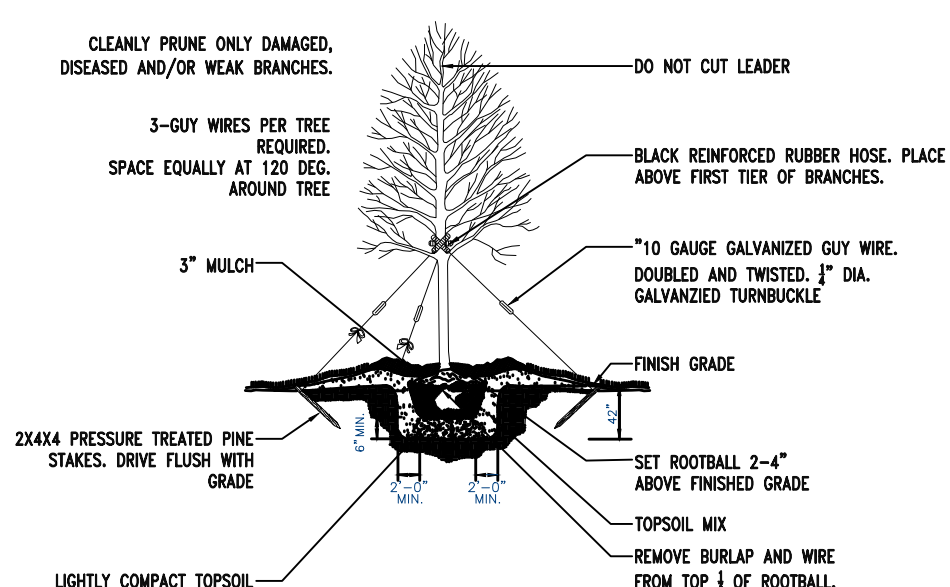


TYPICAL PARKING ISLAND-PLAN

N.T.S.

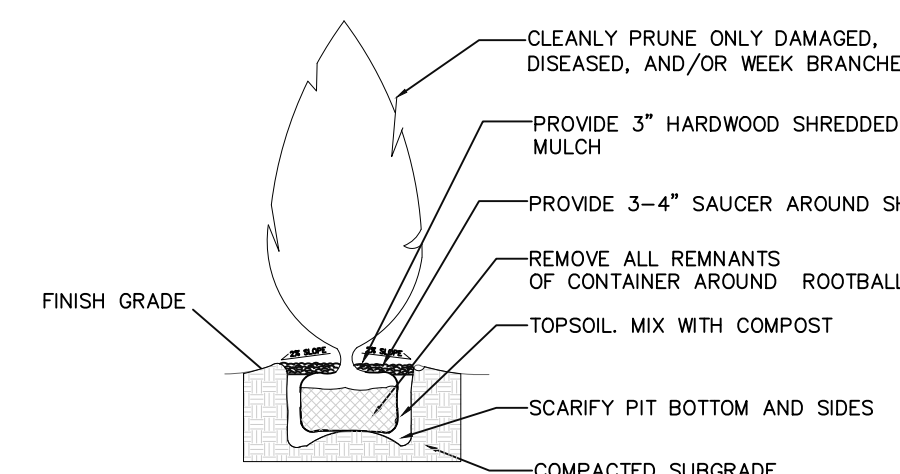
GENERAL PLANTING NOTES:

- QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL TO GRADE.
- TREE HOLES TO BE EXCAVATED 2" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MIN. 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- BED EDGING TO BE STEEL EDGING 12G, X 5.5" AS MANUFACTURED BY COL-MET. COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AND ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
- ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN.
- LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.



LARGE CANOPY TREE-SECTION

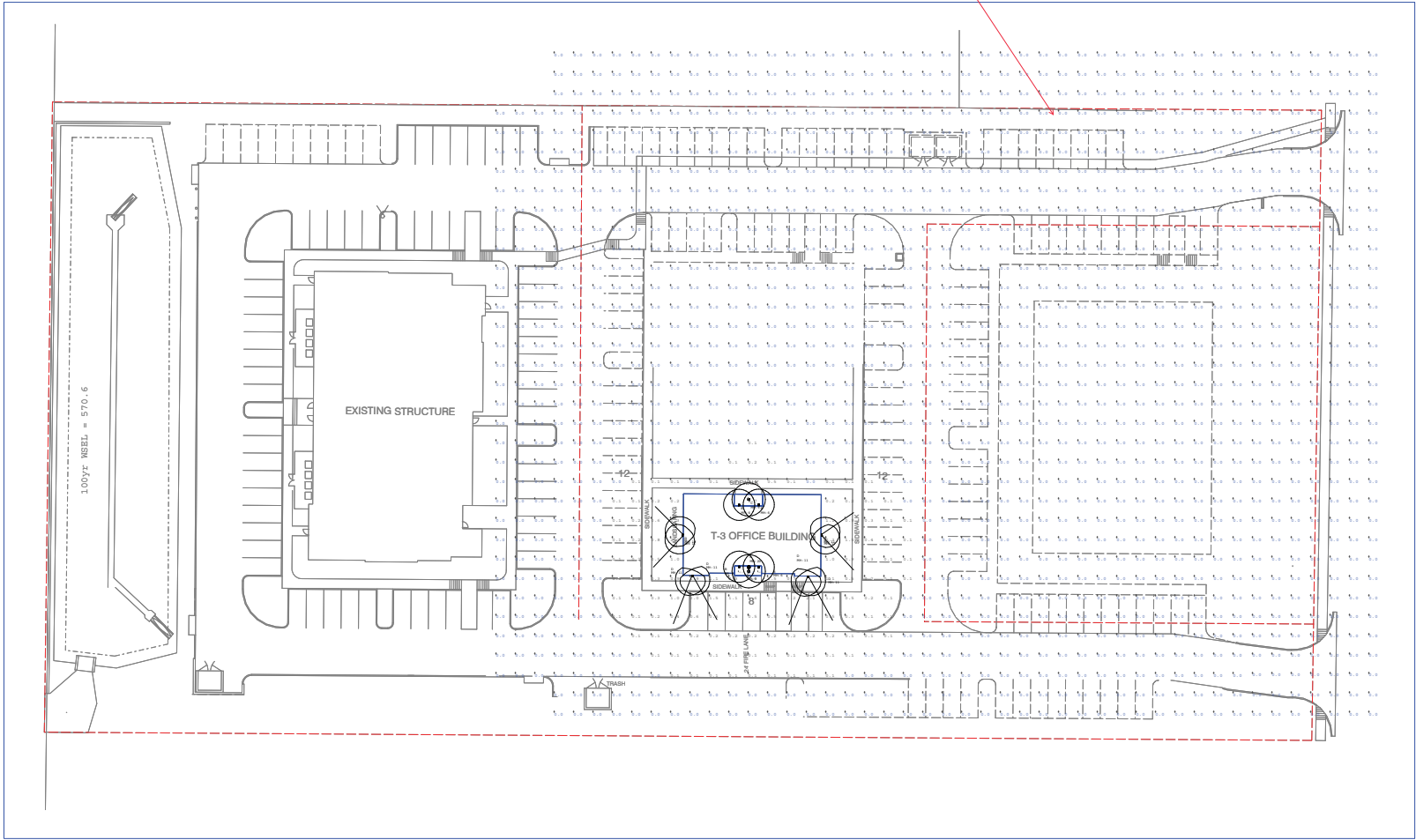
MUST INSTALL SUMP N.T.S.



LARGE SHRUB-SECTION

N.T.S.

Possible future pole lights



Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
○	A	1	HI LITE H-15316-B	404	60	1.000	2.261	2.800
□	B	4	FEISS OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800
□	C	2	FEISS F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800
○	D	8	LITHONIA_OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
CANOPY	0	Fc	13.20	14.4	11.8	1.12
GRADE Planar	0	Fc	0.05	6.7	0.0	N.A.

Notes:
 1. Surface reflectance: Verochrome 0030
 2. Calculation uses an unlit height of 6.5 meters unless noted.
 3. Luminaire height is measured to mounting surface.
 4. Luminaire information does not necessarily reflect specific model number. Contact manufacturer for verification.
 5. Selecting the luminaire type and quantity is based on the luminaire information provided by the manufacturer.
 6. Lighting power density is calculated based on an assumed ballast/trimmer energy consumption. Engineer to verify.
 7. For more information on lighting calculations, please refer to the Lighting Handbook, Illuminating Engineering Society.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: November 12, 2019
SUBJECT: MIS2019-004; *Master Water/Wastewater Plan Update*

Recently, the City's consultant -- *Birkhoff, Hendricks & Carter LLP* -- finished revising the water and wastewater master plans. These plans were incorporated into the OURHometown Vision 2040 Comprehensive Plan on December 3, 2018 by *Ordinance No. 18-48*. As a result of their incorporation, staff is bringing forward an amendment to the Comprehensive Plan to incorporate the revisions identified by the City's consultants. According to Section 213.003 of the Texas Local Government Code, "(a) comprehensive plan may be adopted or amended by ordinance following:

- (1) A hearing at which the public is given the opportunity to give testimony and present written evidence; and
- (2) Review by the municipality's planning commission or department, if one exists."

Additionally, Section 9.03 of the City's Home Rule Charter states that "(r)ecommended changes to the Master Plan shall be submitted to the City Manager after the Planning and Zoning Commission holds at least one public hearing on the proposed change." Furthermore, Section 9.04 states that the "City Manager shall submit the proposed changes to the Council, together with any recommendations. The Council, after a public hearing, shall adopt or reject such proposed revision or any part thereof as submitted within sixty (60) days following its submission by the City Manager. If the proposed revision or part thereof should be rejected by the Council, the Planning and Zoning Commission may make modifications and again forward it to the City Manager for submission to the Council."

The projected meeting dates for this case are as follows:

~~Planning and Zoning Commission Work Session: October 29, 2019~~

Planning and Zoning Commission Public Hearing: November 12, 2019

City Council Public Hearing/1st Reading: November 18, 2019

City Council 2nd Reading: December 2, 2019.

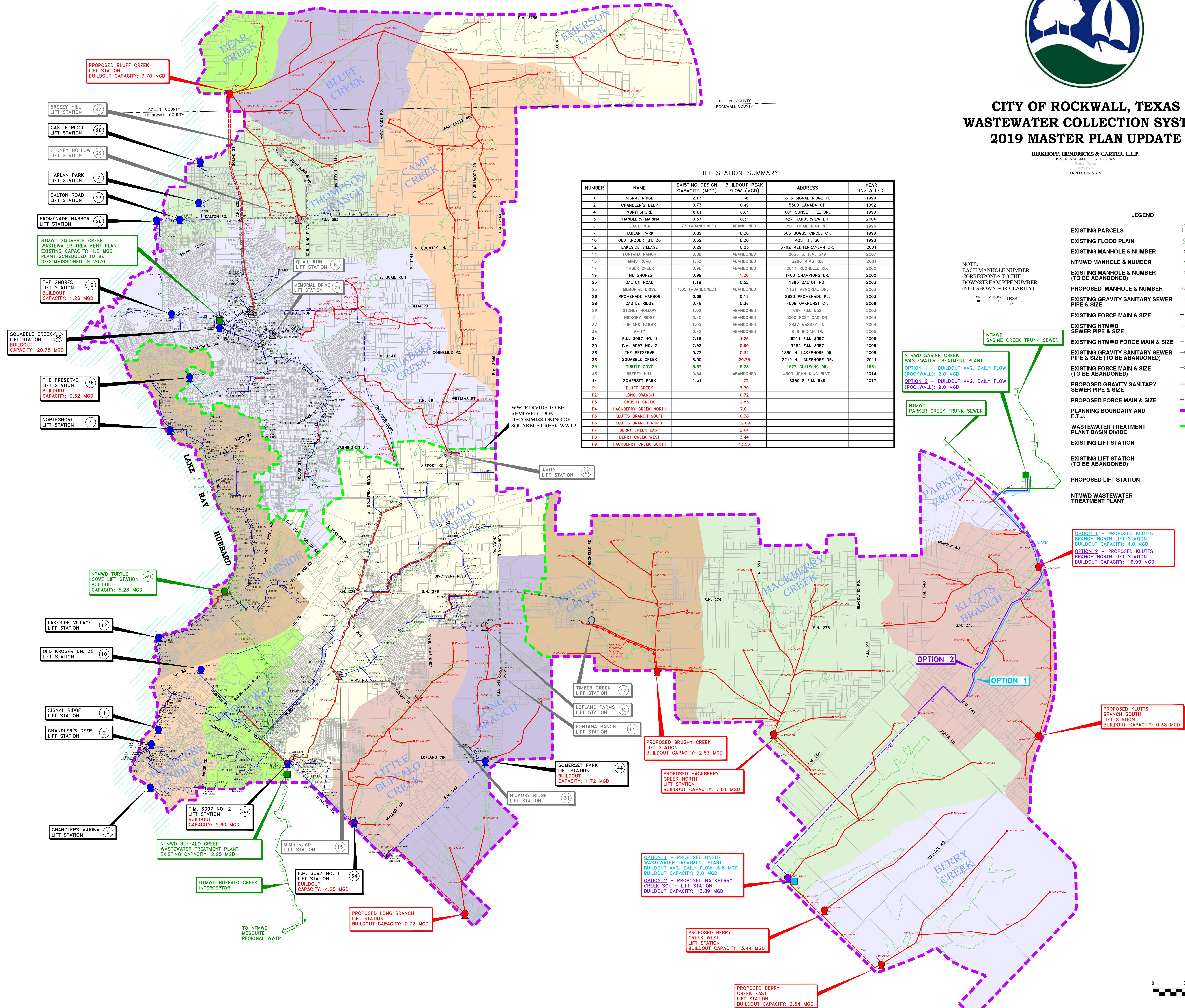
Should the Planning and Zoning Commission have any question concerning the amendment, staff will be available at the November 12, 2019 work session meeting.



CITY OF ROCKWALL, TEXAS WASTEWATER COLLECTION SYSTEM 2019 MASTER PLAN UPDATE

BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS

OCTOBER 2019

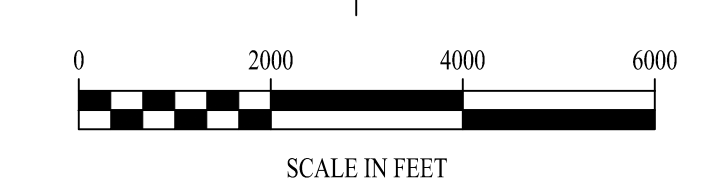
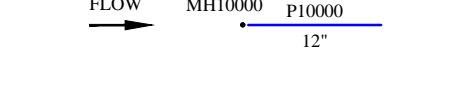


LIFT STATION SUMMARY

NUMBER	NAME	EXISTING DESIGN CAPACITY (MGD)	BUILDOUT PEAK FLOW (MGD)	ADDRESS	YEAR INSTALLED
1	SIGNAL RIDGE	2.13	1.66	1816 SIGNAL RIDGE PL.	1999
2	CHANDLER'S DEEP	0.75	0.49	5500 CANADA CT.	1992
4	NORTHSHORE	0.61	0.61	801 SUNSET HILL DR.	1999
5	CHANDLERS MARINA	0.37	0.31	427 HARBOURVIEW DR.	2006
6	QUAIL RUN	1.73 (ABANDONED)	ABANDONED	501 QUAIL RUN RD.	1996
7	HARLAN PARK	0.89	0.30	505 BOGGS CIRCLE CT.	1999
10	OLD KROGER I.H. 30	0.69	0.36	405 I.H. 30	1998
12	LAKEVILLE VILLAGE	0.29	0.25	3702 MEDITERRANEAN DR.	2001
14	FONTANA RANCH	0.88	ABANDONED	2035 S. F.M. 549	2007
15	MIMS ROAD	1.60	ABANDONED	3200 MIMS RD.	2001
17	TIMBER CREEK	0.98	ABANDONED	2814 ROCHELLE RD.	2002
19	THE SHORES	0.99	1.28	1400 CHAMPIONS DR.	2002
23	DALTON ROAD	1.18	0.52	1695 DALTON RD.	2003
25	MEMORIAL DRIVE	1.05 (ABANDONED)	ABANDONED	1131 MEMORIAL DR.	2003
26	PROMENADE HARBOR	0.69	0.12	2823 PROMENADE PL.	2003
28	CASTLE RIDGE	0.46	0.36	4008 OAKHURST CT.	2008
29	STONEY HOLLOW	1.02	ABANDONED	597 F.M. 552	2003
31	HICKORY RIDGE	0.40	ABANDONED	3500 POST OAK DR.	2004
32	LOFLAND FARMS	1.05	ABANDONED	2837 MASSEY LN.	2004
33	AMITY	0.42	ABANDONED	8 B INDIAN TR.	2005
34	F.M. 3097 NO. 1	2.16	4.25	6211 F.M. 3097	2008
35	F.M. 3097 NO. 2	2.95	5.60	5282 F.M. 3097	2008
36	THE PRESERVE	0.22	0.32	1890 N. LAKESHORE DR.	2008
38	SQUABBLE CREEK	3.00	20.75	2219 N. LAKESHORE DR.	2011
39	TURTLE COVE	3.67	3.28	1927 GULLING DR.	1981
43	BREEZY HILL	0.54	ABANDONED	4300 JOHN KING BLVD.	2014
44	SOMERSET PARK	1.51	1.72	3350 S.F.M. 549	2017
P1	BLUFF CREEK		7.70		
P2	LONG BRANCH		0.72		
P3	BRUSHY CREEK		2.83		
P4	HACKBERRY CREEK NORTH		7.01		
P5	KLUTTS BRANCH SOUTH		0.38		
P6	KLUTTS BRANCH NORTH		12.69		
P7	BERRY CREEK EAST		2.44		
P8	BERRY CREEK WEST		3.44		
P9	HACKBERRY CREEK SOUTH		13.58		

- LEGEND**
- EXISTING PARCELS
 - EXISTING FLOOD PLAIN
 - EXISTING MANHOLE & NUMBER
 - NTMWD MANHOLE & NUMBER
 - EXISTING MANHOLE & NUMBER (TO BE ABANDONED)
 - PROPOSED MANHOLE & NUMBER
 - EXISTING GRAVITY SANITARY SEWER PIPE & SIZE
 - EXISTING FORCE MAIN & SIZE
 - EXISTING NTMWD SEWER PIPE & SIZE
 - EXISTING NTMWD FORCE MAIN & SIZE
 - EXISTING GRAVITY SANITARY SEWER PIPE & SIZE (TO BE ABANDONED)
 - EXISTING FORCE MAIN & SIZE (TO BE ABANDONED)
 - PROPOSED GRAVITY SANITARY SEWER PIPE & SIZE
 - PROPOSED FORCE MAIN & SIZE
 - PLANNING BOUNDARY AND E.T.J.
 - WASTEWATER TREATMENT PLANT BASIN DIVIDE
 - EXISTING LIFT STATION
 - EXISTING LIFT STATION (TO BE ABANDONED)
 - PROPOSED LIFT STATION
 - NTMWD WASTEWATER TREATMENT PLANT

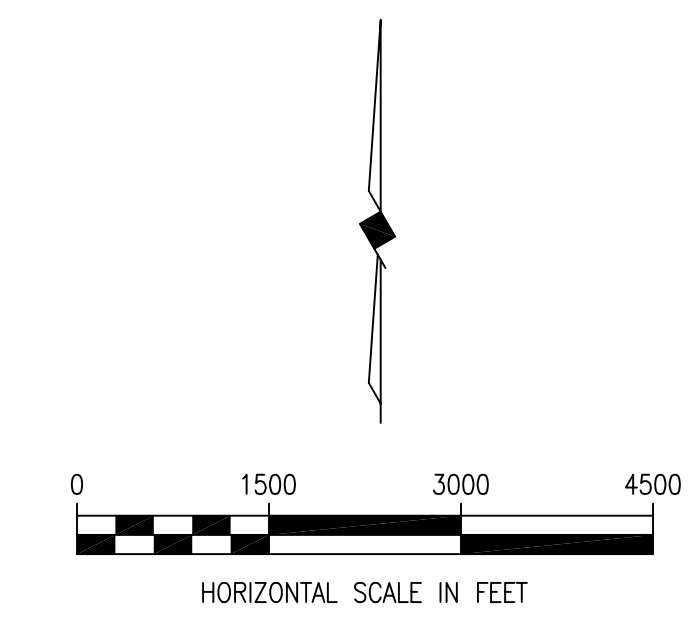
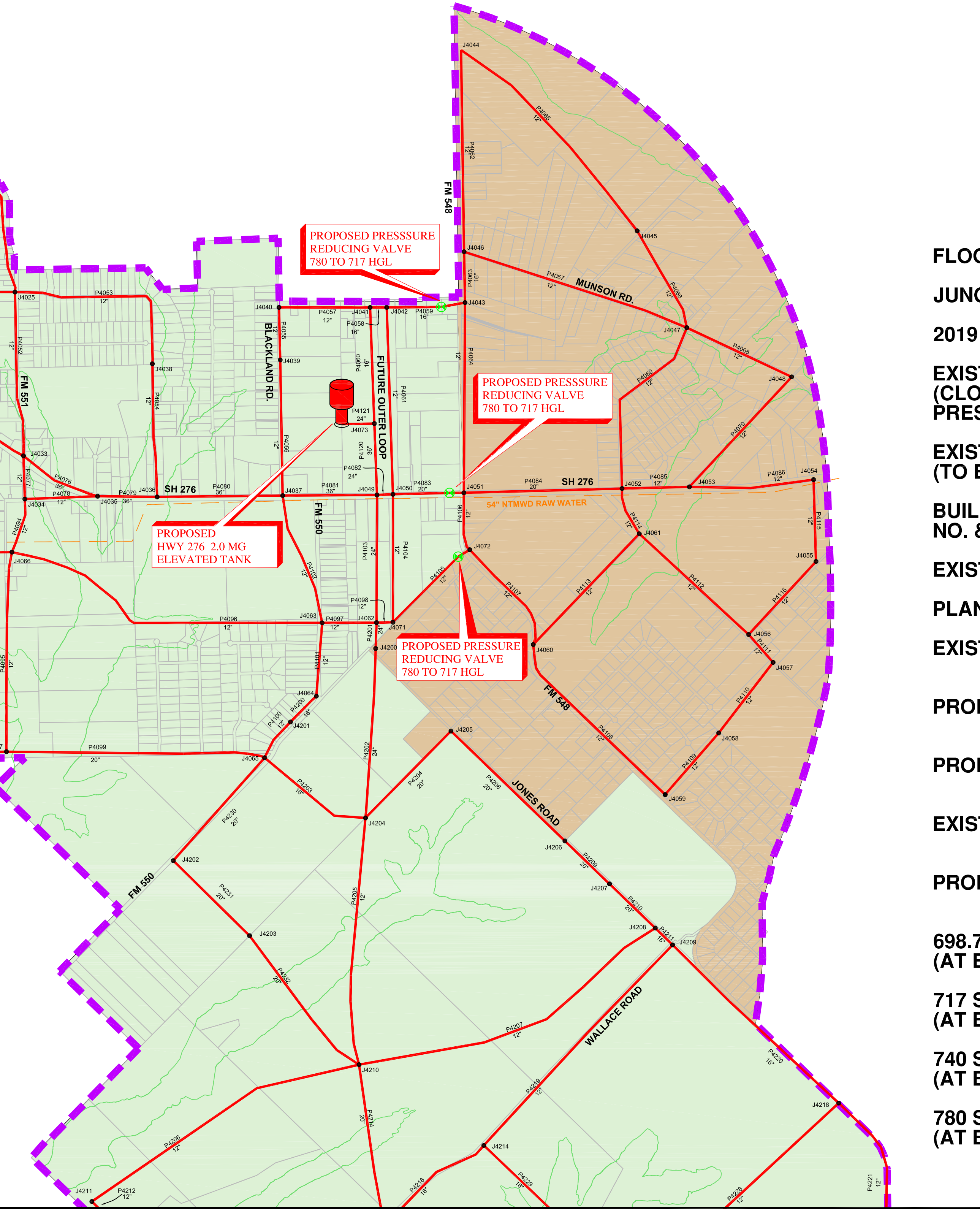
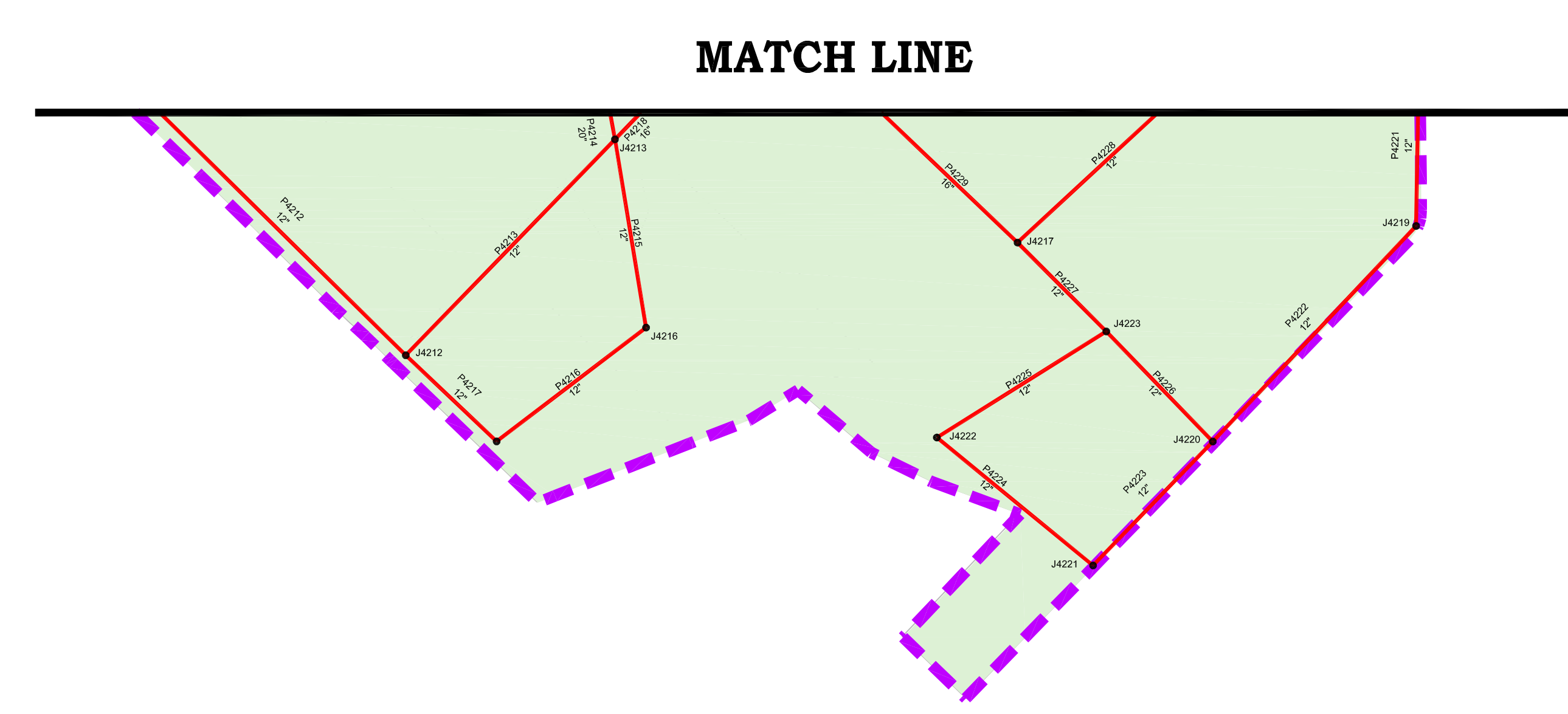
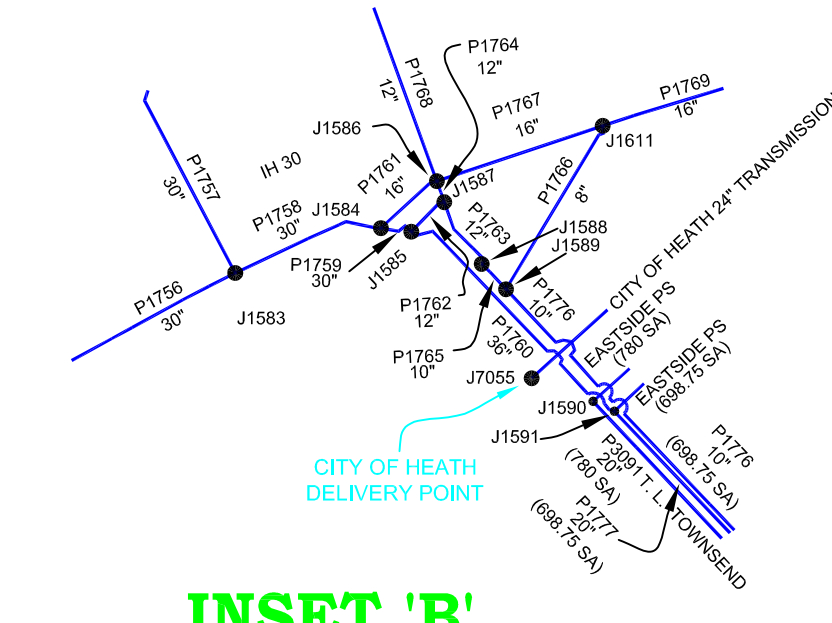
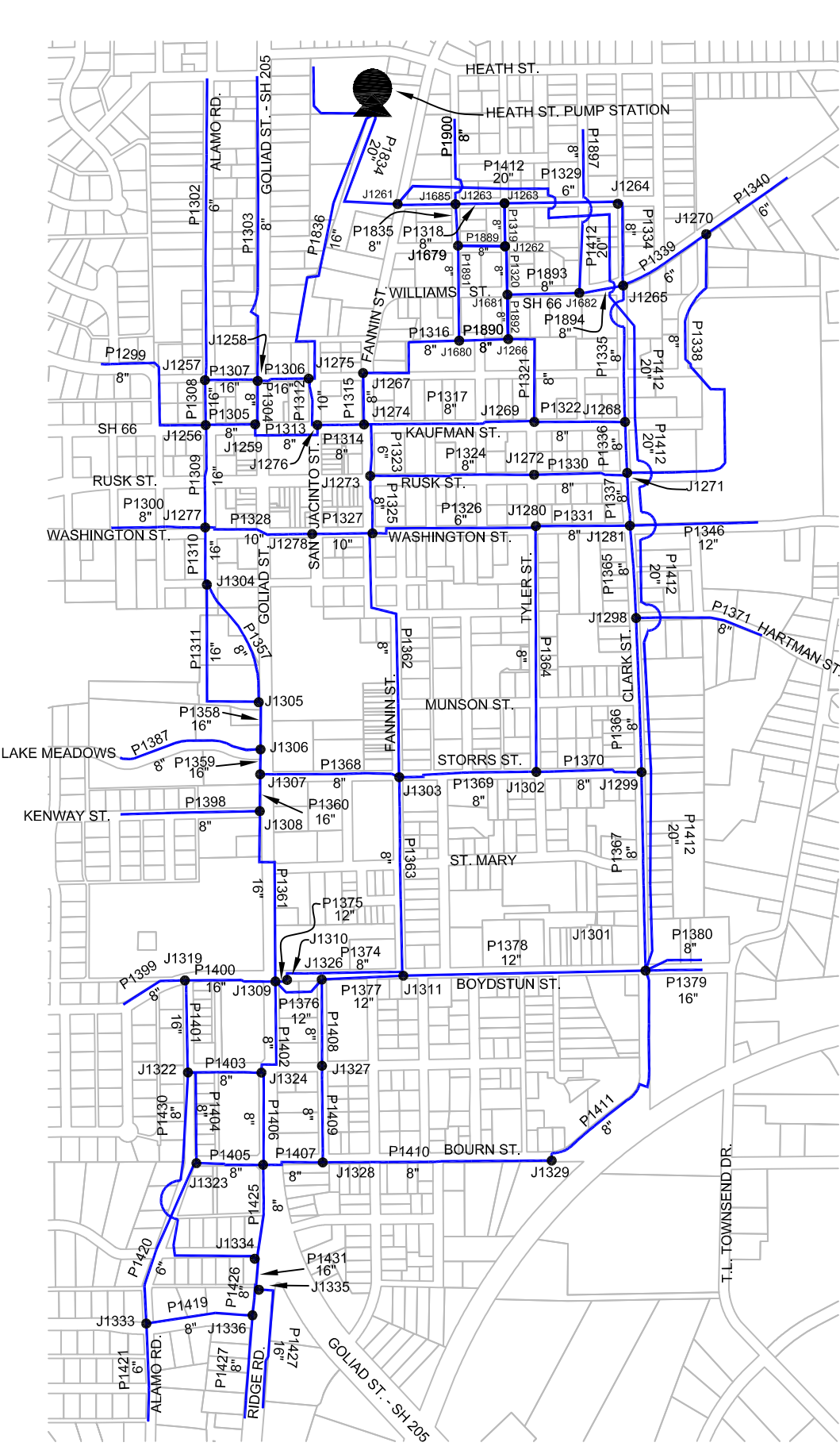
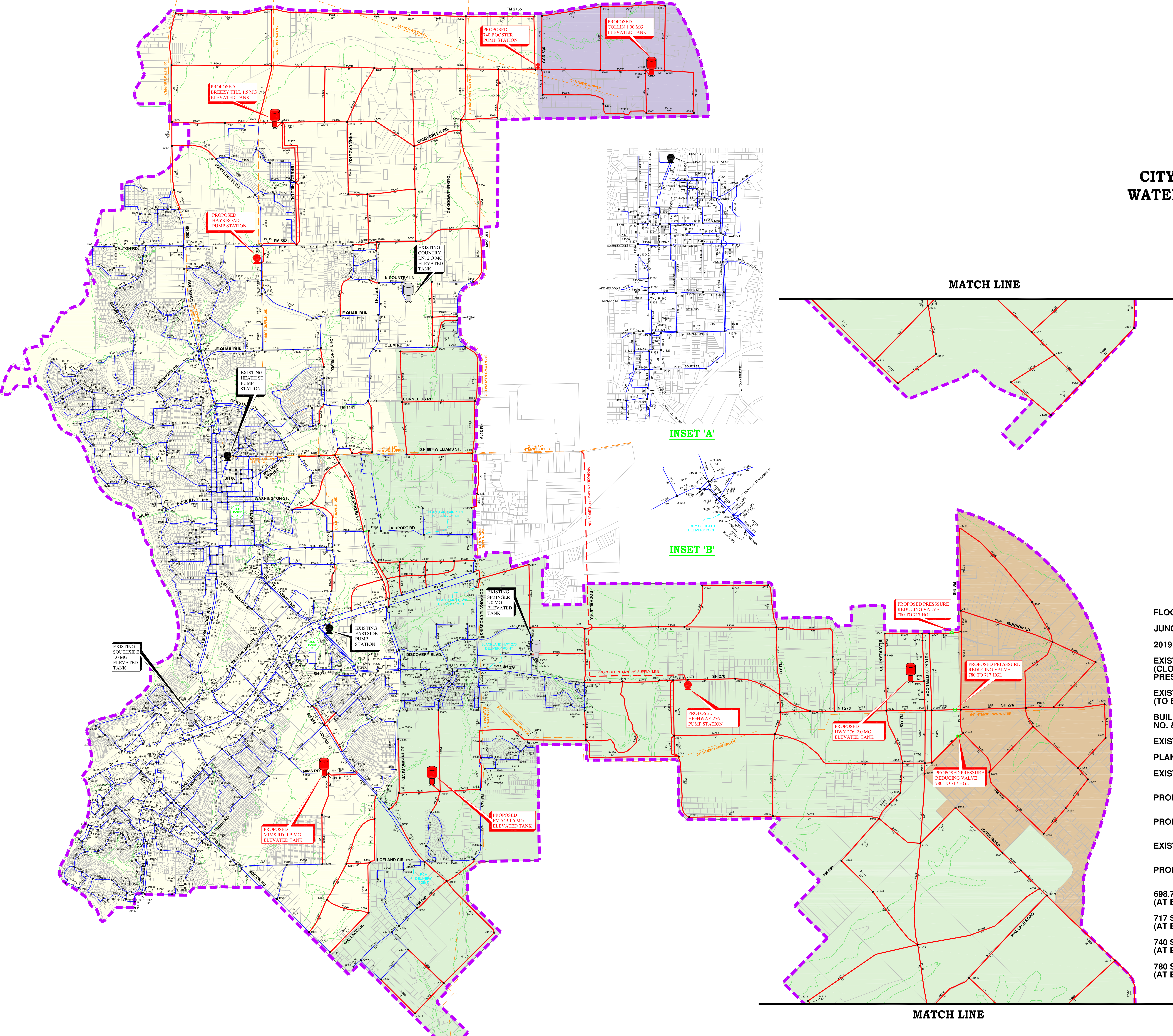
NOTE: EACH MANHOLE NUMBER CORRESPONDS TO THE DOWNSTREAM PIPE NUMBER (NOT SHOWN FOR CLARITY)





CITY OF ROCKWALL, TEXAS WATER DISTRIBUTION SYSTEM MASTER PLAN

BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
Dallas, Texas
Phone: 972.962.2000
FAX: 972.962.2001
OCTOBER 2019



LEGEND

- FLOODPLAIN BOUNDARY
- JUNCTION NODE & NO. J7001
- 2019 EXISTING WATER LINE NO. & SIZE P1328 16"
- EXISTING WATER LINE NO. & SIZE (CLOSED IN MODEL FOR BUILDOUT PRESSURE DIVIDES) P1343 12"
- EXISTING WATER LINE NO. & SIZE (TO BE ABANDONED IN FUTURE) P5297 16"
- BUILDOUT PROPOSED WATER LINE NO. & SIZE P4023 36"
- EXISTING NTMWD SUPPLY LINE
- PLANNING BOUNDARY
- EXISTING PUMP STATION
- PROPOSED PUMP STATION
- PROPOSED PRESSURE REDUCING VALVE
- EXISTING ELEVATED STORAGE TANK
- PROPOSED ELEVATED STORAGE TANK
- 698.75 SERVICE AREA BOUNDARY (AT BUILDOUT)
- 717 SERVICE AREA BOUNDARY (AT BUILDOUT)
- 740 SERVICE AREA BOUNDARY (AT BUILDOUT)
- 780 SERVICE AREA BOUNDARY (AT BUILDOUT)

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ADOPTING REVISIONS TO THE MASTER WATER PLAN AND THE MASTER WASTEWATER PLAN CONTAINED IN THE OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN IN ACCORDANCE WITH THE CITY'S HOME RULE CHARTER.

WHEREAS, the *Home Rule Charter* of the City of Rockwall, Texas, states that the Comprehensive Plan will contain recommendations for the growth, development and beautification of the City and its Extraterritorial Jurisdiction (ETJ); and

WHEREAS, the City Council of the City of Rockwall has previously authorized a study to update the Comprehensive Plan, also referred to as the Master Plan; and

WHEREAS, the citizens of the City of Rockwall were involved in the development of the Comprehensive Plan through participation in a citizen action committee (*i.e. the Comprehensive Plan Advisory Committee [CPAC]*) and public meetings; and

WHEREAS, the OURHometown Vision 2040 Comprehensive Plan was adopted by the City Council of the City of Rockwall on December 3, 2019 by *Ordinance No. 18-43*; and

WHEREAS, the Comprehensive Plan shall serve as a guide to all future City Council action concerning land use and development regulations, and expenditures for capital improvements; and

WHEREAS, the Water/Wastewater Master Plans are updated on a five (5) year basis and the City Council of the City of Rockwall authorized Brickoff, Hendricks & Cater, LLP to perform the update; and

WHEREAS, Section 213.003, *Adoption or Amendment of Comprehensive Plan*, of Chapter 213, *Municipal Comprehensive Plans*, of the *Texas Local Government Code* states that the adoption of or amendment to a Comprehensive Plan requires a hearing at which the public is given the opportunity to give testimony and present written evidence, and as required by the *Home Rule Charter of the City of Rockwall* a public hearing has been held on the proposed revisions to the Comprehensive Plan, and the governing body -- *in the exercise of its legislative discretion* -- has concluded that the Comprehensive Plan should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Master Water Plan and Master Wastewater Plan contained within *Appendix 'C'* of the OURHometown Vision 2040 Comprehensive Plan be amended as depicted in *Exhibit 'A'* of this ordinance; and

Section 2. The Comprehensive Plan shall be used by City Staff in planning and as a guide for future development of the City of Rockwall; and,

Section 3. This ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF DECEMBER, 2019.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: November 18, 2019

2nd Reading: December 2, 2019

DRAFT
ORDINANCE
17.12.2019

Exhibit 'A'
Master Water Plan

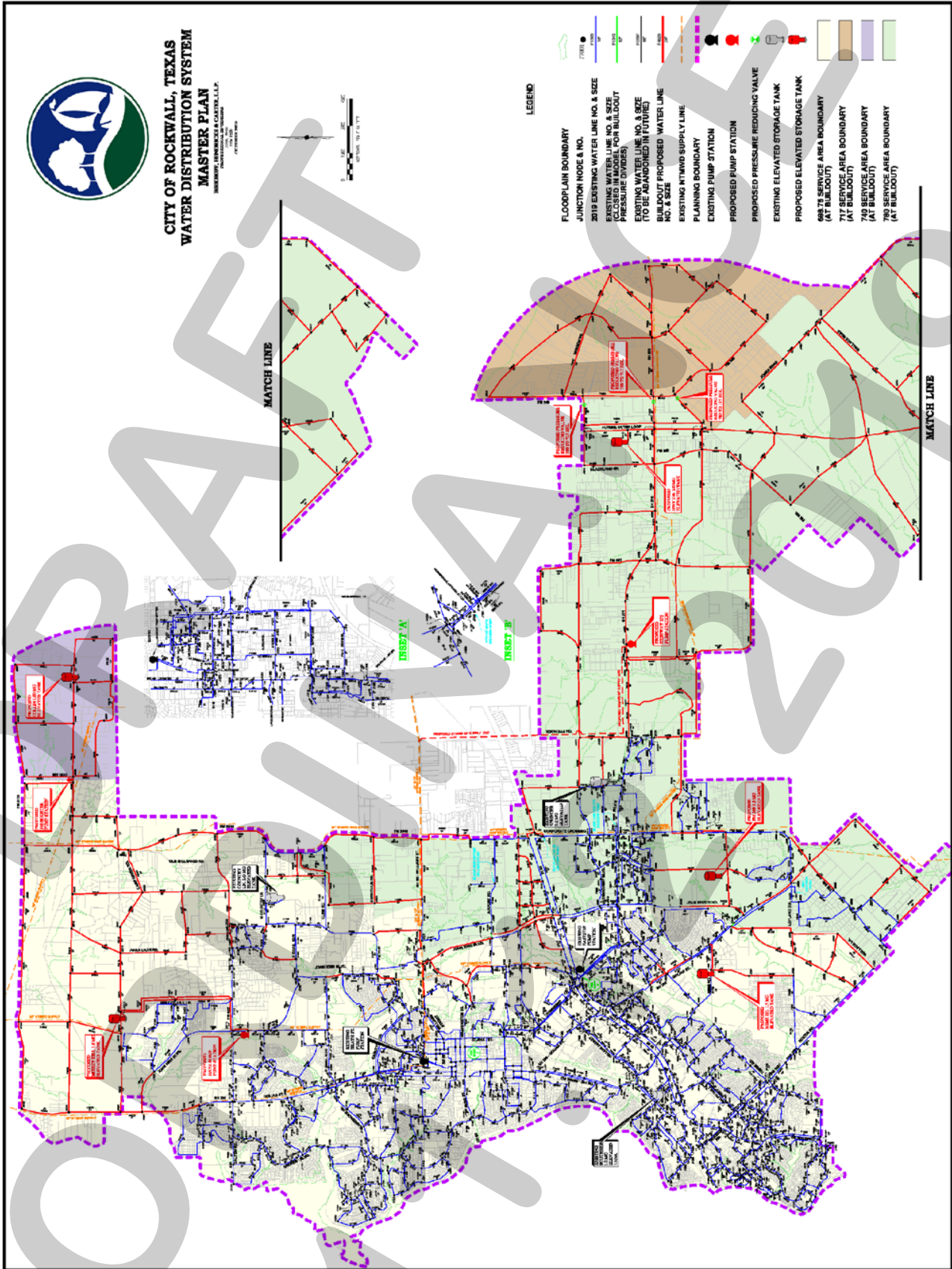
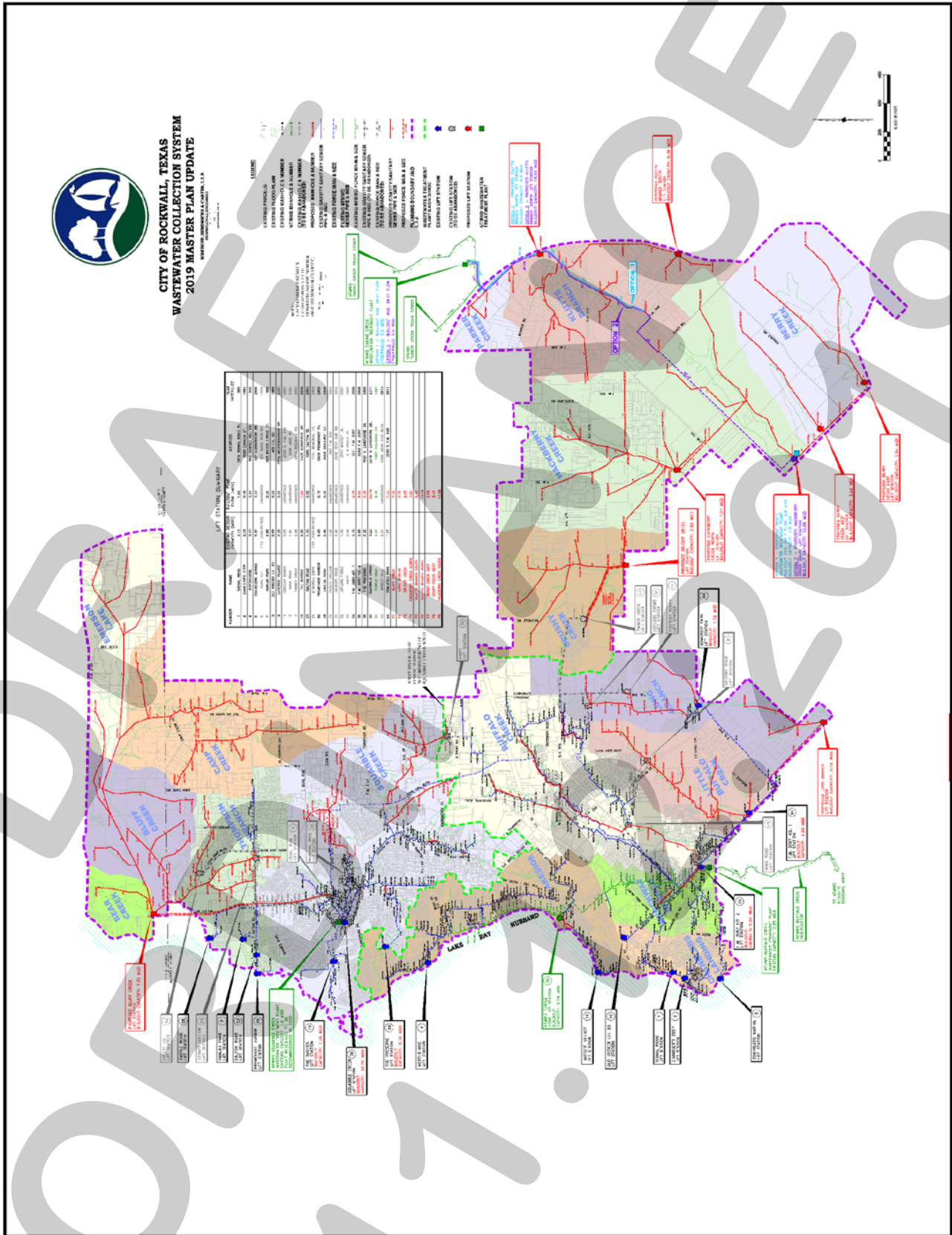


Exhibit 'A'
Master Wastewater Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 12, 2019
APPLICANT: Anna C. Blackwell; *Carrillo Engineering, LLC*
CASE NUMBER: SP2019-037; *Site Plan for Strip Retail Center on Ridge Road*

SUMMARY

Discuss and consider a request by Anna C. Blackwell of Carrillo Engineering, LLC on behalf of Eddie Martin of Retail Partners, LLC for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [*FM-740*], and take any action necessary.

BACKGROUND

The subject property was annexed in to the City of Rockwall on June 7, 1982 by *Ordinance No. 82-27*. According to the City's historic zoning maps, the subject property was zoned Agricultural (AG) District at the time of annexation. On February 17, 2003, the City Council approved a zoning change for the subject property from an Agricultural (AG) District to a General Retail (GR) District by *Ordinance No. 03-08 (Case No. PZ2002-095-01)*. This designation was changed to Planned Development District 32 (PD-32) on September 20, 2010 by *Ordinance No. 10-21*.

PURPOSE

On October 18, 2019, the applicant -- *Anna C. Blackwell; Carrillo Engineering, LLC* -- submitted an application requesting the approval of a site plan for the purpose of constructing a ~7,000 SF multi-tenant commercial/retail building.

ADJACENT LAND USES AND ACCESS

The subject property is located at the northwest corner of Ridge Road [*FM-740*] and Glen Hill Way. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several properties zoned General Retail (GR) District (*i.e. Minth Dentistry, Credit Union of Texas, Park Venue Cleaners, etc.*). Beyond this are properties zoned Planned Development District 32 (PD-32).

South: Directly south of the subject property are several properties zoned General Retail (GR) District (*i.e. Ridge Road Animal Hospital, Willis Building, etc.*). Beyond this are properties zoned Planned Development District 18 (PD-18) for General Retail (GR) District and Single Family 10 (SF-10) District land uses, and two (2) properties zoned Agricultural (AG) District that have single-family homes situated on them.

East: Directly east of the subject property is Ridge Road, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is Planned Development District 9 (PD-9), which includes the Kroger Shopping Center. PD-9

has an underlying zoning of General Retail (GR) District and Single Family Residential (*i.e.* SF-10, SF-12.5, SF-22.5) District land uses.

West: Directly west of the subject property is Planned Development District 32 (PD-32), which is a design district with various land uses. Also, west of the subject property is Planned Development District 18 (PD-18), which allows for General Retail (GR) District and Single Family 10 (SF-10) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the subject property is located within the *Ridge Road Retail Subdistrict*, which allows general retail land uses *by-right*. The intent of this subdistrict (*i.e. Ridge Road Retail Subdistrict*) is to provide retail or restaurant land uses with Ridge Road frontage. The proposed development will construct a single-story retail facility totaling ~7,000 SF. The development will provide 33 surface parking spaces that can be accessed from Ridge Road and Glen Hill Way. The proposed sidewalks -- *which located on both sides of Glen Hill Way* -- will incorporate streetscape elements required by PD-32 [*Ordinance No. 17-22*], and provide decorative trees and pedestrian scaled lighting features. The sidewalks are intended to provide access to the Harbor District and the associated amenities within PD-32. With the exception of the variances being requested, the submitted site plan, landscape plan, photometric plan, and building elevations, generally conform to the technical requirements contained within PD-32 [*Ordinance No. 17-22*], the Scenic Overlay (SOV) District, and the Unified Development Code (UDC). It should be noted that since the subject property is adjacent to Ridge Road, the Scenic Overlay (SOV) District would be considered the regulating ordinance with regard to the design of the subject property. A summary of the applicable requirements for this case are as follows:

<i>Ordinance Provisions</i>	<i>Ridge Road Retail Subdistrict Standards</i>	<i>Conformance to the Standards</i>
<i>Setback Distance from ROW (Glen Hill Way)</i>	10-Feet	x>10-ft; In Conformance
<i>Building Form</i>	40% Maximum Lot Coverage	X=19%; In Conformance
<i>Ground Floor Land Uses</i>	Retail and/or, Restaurant	Retail; In Conformance
<i>Upper Floor Land Uses</i>	N/A	N/A
<i>Maximum Building Height</i>	1-Story or 35-Feet	x=1-Story/29'7" Height; In Conformance
<i>First Floor Minimum Commercial Height</i>	20-Feet	x<20-ft; In Conformance
<i>Encroachments to Street</i>	5-Feet	0-Feet; In Conformance
<i>Surface Parking Setbacks from ROW</i>	10-Feet	x>10-ft; In Conformance
<i>Maximum Surface Parking</i>	Surface Parking	Surface Parking Required; In Conformance
<i>Minimum Number of Pedestrian Ways</i>	1 Per Block Face	2; In Conformance
<i>Minimum Masonry Percentage</i>	90%	x>90%; In Conformance
<i>Minimum Stone Requirement</i>	20% Each Façade	X<20%; Variance Required
<i>Minimum Landscaping Percentage</i>	With Streetscape Plan Elements	Streetscape Elements Incorporated with Landscape Plan; In Conformance
<i>Maximum Lot Coverage</i>	40%	x<40%; In Conformance

TREESCAPE AND LANDSCAPE PLAN

According to the *Tree Preservation Plan* provided by the applicant, a total of 557-inches of trees will be removed from the site, while a total of 105-inches of trees will be preserved. Additionally, the applicant has indicated that nine (9) trees greater than 25-inch caliper will be removed. These nine (9) trees are considered to be *Feature Trees*, which require replacement at double the caliper inch being removed (*i.e. 256 inches x 2 = 512 inches*). With this being said, the *Tree Preservation Plan* shows that 105-inches of trees will be preserved on-site, which entitles the applicant to a total *Tree Preservation Credit* of 21-inches. This means that taking into account the proposed Landscape Plan -- *which shows that*

156-inches of additional trees will be added to the site -- and a Tree Preservation Credit of 21-inches the applicant's total mitigation balance would be 491-inches. This balance will need to be satisfied prior to the submission of a final plat.

CONFORMANCE WITH THE CITY'S CODES

Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], provides flexibility in order to create high quality projects for the *Harbor District*. Non-residentially zoned projects are to generally conform with the Commercial (C) District standards. In this case, the subject property is located within the Scenic Overlay (SOV) District, which is more restrictive than the Design Guidelines [*Resolution No. 10-40*] required by PD-32. With this being said, the standards of the SOV and Subsection 4.05, *Commercial (C) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) shall apply to the development of the subject property. The Commercial (C) District is a district intended to provide commercial land uses such as retail, large shopping centers, office, and restaurants. Commercial (C) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district. In addition, these areas may require increased water, fire protection, and wastewater and drainage capacity. Since the Commercial (C) District is general in nature, development standards are less stringent than lower intensity districts [e.g. *Residential-Office (RO)*, *Neighborhood Services (NS)*, and *General Retail (GR) Districts*]. In this case, the applicant's proposal is adjacent to Ridge Road, which is identified as a M4D (i.e. major collector, four (4) lane, divided roadway) on the City's Master Thoroughfare Plan. In addition, retail buildings are not typically high-volume water/wastewater users. With regard to the land use, a retail facility is permitted *by-right* in Planned Development District 32 (PD-32).

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of Subsection 6.02, *General Overlay District Standards*, of Article V, *District Development Standards*, of the *Unified Development Code* (UDC):

(1) Materials and Masonry Composition.

- (a) *Primary Materials*. According to Subsection 6.02(C)(1)(a)(1) of Article V, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building facades ..." In this case, the applicant's proposed building elevations do not incorporate stone on the front (east = 0.0%) and side (south = 5.76%) facing facades. Since the building design does not meet the standard for the east and south facing façades, a variance to the stone requirements is required to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(2) Trash/Recycling Receptacles and Dumpster Enclosures.

- (b) *Dumpster Enclosure*. According to Subsection 6.02(D)(7) of Article V, *District Development Standards*, of the Unified Development Code (UDC), "these enclosures [*i.e. Trash/Recycling Enclosures*] shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building." In this case, the applicant has stated that due to site constraints, they are unable to orient the dumpster in a way that both complies to the ordinance and allows the necessary maneuverability needed by the waste management truck. As a result, the applicant has oriented the dumpster at the rear of the building, but facing onto the public right-of-way of Glen Hill Road. As a compensatory measure the applicant has increased the landscape screening around the dumpster.

According to Section 9, *Exceptions and Variances*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(u)unless otherwise specified by the Unified

Development Code (UDC), an applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in Subsection 06.02, *General Overlay District Standards*, of Article V, *District Development Standards*, where unique or extraordinary conditions exist or where strict adherence to the technical requirements of this section would create an undue hardship. In cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception.” In this case, the applicant has provided a letter explaining the requested variances and proposing to construct the entire roadway for Glen Hill Way. Staff should point out that the applicant would be required to dedicated the right-of-way for Glen Hill Way based on a proportionality study prepared by staff for the current owner; however, that proportionality study did not require the applicant to build the roadway. Based on the cost of construction of that roadway, this proposal does appear to be a sufficient compensatory measure for the requested variances; however, this request does remain a discretionary decision for the Planning and Zoning Commission and will require approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission’s decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Harbor District. The Harbor District is considered an entry portal to the City of Rockwall and is intended to provide a pedestrian oriented, mixed use district accommodating residential and non-residential land uses. The Harbor District is a live, work, and play district that offers professional offices, scenic condominiums, with restaurants, shopping and entertainment venues, and is intended to be a regional commercial center. When reviewing the mixed use strategies for this district, the applicant’s site plan is targeted at providing a pedestrian friendly and walkable environment by providing streetscape elements along both sides of Glen Hill Way and connecting this area from Ridge Road to the Harbor District.

ARCHITECTURAL REVIEW BOARD (ARB)

On October 29, 2019, the Architectural Review Board (ARB) reviewed the proposed site plan and building elevations. Upon review, the Architectural Review Board (ARB) recommended that the applicant incorporate false windows and increase the parapet height on the southern and western façades of the building. The applicant has revised the building elevations to incorporate the recommendations. The Architectural Review Board (ARB) will review the applicant’s revised building elevations at the November 12, 2019 meeting and provide a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) The applicant will be required to dedicate, design and build the right-of-way for Glen Hill Way adjacent to the subject property.
- (3) The applicant shall be required to satisfy the outstanding tree mitigation balance prior to the filing of the final plat; and,

(4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Staff Comments Highlighted

Project Number SP2019-037
Project Name Ridge Road Retail Center
Type SITE PLAN
Subtype
Status P&Z HEARING

Owner HUGHES, ROBERT J & PATRICK HUGHES &
Applicant CARILLO ENGINEERING, LLC

Applied 9/13/2019 KB
Approved
Closed
Expired
Status 9/20/2019 DG

Site Address 2930 RIDGE RD
City, State Zip ROCKWALL, TX 75032

Zoning

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
MURPHY PLAZA ADDITION PH 2	26		26	4210-0000-0026-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	9/13/2019	9/20/2019	9/17/2019	4	APPROVED	
BUILDING	Russell McDowell	10/22/2019	10/29/2019	10/22/2019		APPROVED	
ENGINEERING	Sarah Johnston	9/13/2019	9/20/2019	9/20/2019	7	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/20/2019 11:07 AM SJ)						
M - Parking near the building to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.19						
M - Must dimension the distance from the driveways to the nearest driveway on either side Standards of Design 2.6						
M - All fire lane radii to be 20' min. This may remove a parking space on the center aisle. Standards of Design 2.19						
M - Driveway radii to be 20' min. Standards of Design 2.19						
M - Dumpster and screening wall must be out of easements.						
M - No structures in easements. This includes retaining walls and footings. Standards of Design 6.4.1						
M - "Cemetery Road" will be named Glen Hill Way City Thoroughfare Map						
M - Must have a public access easement for the property across Glen Hill Way. Standards of Design 2.19						
M - Drive across Glen Hill Way must be tied in at a 90-degree angle. Standards of Design 2.8						
M - Glen Hill Way must have 30' radii onto Ridge Road. Standards of Design 2.8						
M - The existing fire hydrant must have a 20'x20' easement established. Standards of Design 5.3.1						
M - The new 8" water line in Glen Hill Way must connect to the existing 16" water line in Ridge Road. Water Master Plan						
M - Must show existing utilities and your planned service connections.						
M - No trees allowed in the ROW. Standards of Design 4.4						
I - Must meet City Standards						
I - 4% Inspection fee						
I - Impact fees						
I - Parking against the building to be 20'x9', all other to be 18'x9' minimum						
I - Minimum easement is 20' width						
I - Retaining walls 3' and over must be engineered						
I - All retaining walls to be rock or stone face. No smooth concrete walls.						
I - Dumpster to drain to oil/water separator or grease trap before entering the storm lines						
I - Concrete to have 6.5 sack mix/cy.						
I - No sand allowed under paving. Add note						
ENGINEERING	Sarah Johnston	10/24/2019	10/31/2019	10/25/2019	1	COMMENTS
(10/25/2019 10:20 AM SJ)						
M - Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4						
M - No structures in easements. This includes retaining walls and footings, dumpster, signs, and screening wall must be out of easements. Standards of Design 6.4.1						
M - Must add a 10' utility easement along Ridge Road frontage.						
M - Driveway spacing on Glen Hill Way is to be 100' from Ridge Road. You must request a variance of this standard from Council. Standards of Design 2.8						
I - Dumpster to drain to oil/water separator or grease trap before entering the storm lines.						
I - Must meet City Standards						
I - 4% Inspection fee						
I - Impact fees						
I - Parking against the building to be 20'x9', all other to be 18'x9' minimum						
I - Minimum easement is 20' width						
I - Retaining walls 3' and over must be engineered						
I - All retaining walls to be rock or stone face. No smooth concrete walls.						
I - Concrete to have 6.5 sack mix/cy.						
I - No sand allowed under paving. Add note						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	Ariana Hargrove	10/24/2019	10/31/2019				
FIRE (9/20/2019 9:53 AM AA) FDC shall be: -facing and visible from the fire lane - within 100-feet of a fire hydrant - clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access - installed 18-48 inches above grade. (Ord 16-31)	Ariana Hargrove	9/13/2019	9/20/2019	9/20/2019	7	COMMENTS	
GIS (9/17/2019 10:12 AM LS) Cemetery Road is now called GLEN HILL WAY per ordinance 16-17 (3/7/2016)	Lance Singleton	9/13/2019	9/20/2019	9/17/2019	4	APPROVED	See comment
Parks Department	David Gonzales	10/24/2019	10/31/2019				VOIDED (DG 10/25/2019)
Parks Department (9/30/2019 4:10 PM DG) Travis Sales, Parks and Rec, provided the following comments: SP2019-037: Reviewed; 3" caliper trees on landscape plan need to be a minimum of 4" caliper Shrub locations not shown on plan 668 required mitigation 156 mitigated 512 to be mitigated	David Gonzales	9/13/2019	10/7/2019	9/30/2019	17	COMMENTS	See comments
PLANNING	David Gonzales	9/13/2019	9/20/2019	9/20/2019	7	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/20/2019 8:44 AM DG)						
SP2019-037; Site Plan for Ridge Road Retail Center (PD-32)						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740].						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2019-037) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], Resolution No. 10-40 (Design Guideline of PD-32), and the Development Standards of Article V, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit.						
I.6 Provide Site Data Table on all revised plans (i.e. landscape, treescape, photometric, and site plan).						
I.7 Please relabel the proposed street section to Glen Hill Way (i.e. not Cemetery Road) on all revised plans (i.e. landscape, treescape, photometric, site plan).						
M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please relabel the street to Glen Hill Way (i.e. not Cemetery Road).						
2) Verify the building square footage. Indicates 7,025 SF. The SF for each unit = 7,195 SF.						
3) Please label a 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC).						
4) Will there be a dedicated 24-ft firelane in the parking lot? If so, please label.						
5) Remove the label "to be abandoned" underneath Cemetery Road.						
6) Is the chain link fence being removed? If so, please remove label from all other plans.						
7) Under the Construction Schedule legend, No. 7 indicates a detail for the dumpster enclosure is located on the building elevations. The detail was not provided.						
8) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required if not screened or reoriented.						
9) Parking for a retail (4,592 SF) and restaurant (2603 SF) uses requires as follows: A) Retail Facility - a minimum of one (1) parking space per 250-SF (i.e. 1:250 SF = 18 parking spaces) & B) Restaurant - a minimum of one (1) parking space per 100-SF (i.e. 1:100 SF = 26 parking spaces) of gross floor area. Based on these uses, the proposed 7,025 SF facility requires a minimum of 44 parking spaces. Approval of a variance to Section 5, Off-Street Parking Requirements, of Article VI, Parking and Loading is required by the Planning and Zoning Commission.						
10) The proposed parking lot has more than one (1) full row of parking (i.e. two rows of parking with a drive aisle) that is between the primary building façade and the right-of-way (i.e. Ridge Road) and requires a variance. (Subsection 6.02.D.2, Art. V, UDC).						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.9						<p>Dumpster Enclosure. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, Trash/Recycling Receptacles and Dumpster Enclosures. Trash/Recycling Enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building.</p> <p>1) Provide detail of dumpster meeting the Scenic Overlay District's minimum standard for height, materials, etc. (Sec. 6.02.D.7, Art. V, UDC)</p>
M.10						<p>Streetscape Plan. Please provide a streetscape plan that shows conformance to the requirements of Ordinance No 17-22. According to this ordinance the required streetscape plan shall include cut sheets and product specification sheets indicating the proposed products and a plan indicating the location of all the products.</p>
M.11						<p>Building Elevations. Resolution No. 10-40 lays out three (3) architectural styles (i.e. Tuscan, Traditional, and/or Transitional) that are acceptable within Planned Development District 32 (PD-32). The proposed building elevations do not appear to adhere to any of the recommended architectural styles</p>
M.12						<p>Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the submitted building elevations does not appear to have stone incorporated into the building's design. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).</p>
M.13						<p>Building Elevations. Please review the articulation formulas contained in Section 4.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).</p>
I.11						<p>Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> 1) Indicate all HVAC units on the building elevations (i.e. dash-in) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC). 2) Please provide a detail for the parapet height to determine screening of RTUs. 3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west). 4) Provide calculation of building materials as a percentage
M.14						<p>Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> 1) Please label a 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). 2) A minimum of two (2) canopy and four (4) accent trees are required in the 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). Please indicate conformance to this requirement on the landscape plan and relabel where needed 3) Please provide an exhibit showing headlight screening for the head-in parking adjacent to the street (Subsection 5.02(C), Art. VIII, UDC). 4) Please provide an exhibit showing that all parking spaces are located within 80-feet from the trunk of a large canopy tree (Sec. 5.9; Art. VIII, UDC). 5) Parking Lot Landscaping – requires one (1), three (3) inch caliper 65 gallon tree be provided for every eight (8) parking spaces and the trees are to be provided in

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
5-ft x 5-ft diamond planters or island planters (Ord. No. 17-22, Exhibit 'F-1', of PD-32) Provide tree leave outs.						
6) Parking Lot Landscaping – landscape buffers adjacent to public streets are to consist of trees, shrubs, perennial, and/or ornamental grasses in natural groupings (Ord. No. 17-22, Exhibit 'F-1', of PD-32) Provide exhibit.						
7) Please provide an identifying symbol for each tree type to better identify what is being planted						
8) Please ghost-in the existing trees in order to distinguish between proposed plantings						
9) Under General Planting Notes, number 5 indicates the “City of Canyon”. Please change to City of Rockwall.						
M.15	Treescape Plan	According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, the director of planning and zoning, or his/her designee, shall review the treescape plan and approve the plan per the requirements of this article, or forward any recommendations to the planning and zoning commission. As part of the treescape plan review process, the city has the right to request changes or adjustments in the layout and design of a development to save trees. The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.				
	(1)	Adjust mitigation inches due for all landscape trees being provided. The minimum size required for planting of a canopy tree is four (4) inches. (Sec. 4.A.2, Art VIII, UDC)				
M.16	Photometric Plan	Ordinance No. 17-22 stipulates a design standard for all pedestrian scale street lighting and parking lot light fixtures. The proposed pedestrian scale street light does appear to conform to the design standards for this district.				
M.17	Based on the submittal staff has identified the following variances					
	1)	Building Materials. The proposed addition exceeds the maximum permitted percentage of secondary materials and does not include a minimum of 20% stone.				
	2)	Building Articulation. The proposed addition does not meet the articulation standards established by the UDC.				
	3)	Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street.				
	4)	Parking Count. The proposed site does not meet the minimum parking standards.				
	5)	Parking Restrictions. The proposed parking lot has more than one (1) full row of parking (i.e. two (2) rows of parking with a drive aisle) adjacent to Ridge Road and within the Scenic Overlay (SOV) District.				
	To be able to request a variance,	an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.				
I.18	Please note that failure to address all comments provided by staff by 5:00 PM on September 4, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.					
I.19	Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 8, 2019 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 24, 2019.					
I.20	The Architectural Review Board (ARB) meeting will be held on September 24, 2019 and will begin at 5:00 p.m. in the City’s Council Chambers. The ARB will					

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
forward a recommendation to the Planning and Zoning Commission						
I.21 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.						
PLANNING	David Gonzales	10/24/2019	10/31/2019	10/24/2019	COMMENTS	Revised Submittal

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/24/2019 7:21 PM DG)						
SP2019-037; Revised Submittal-- Site Plan for Ridge Road Retail Center(PD-32)						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740].						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2019-037) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan, landscape plan, treescape plan, photometric plan, building elevations).						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], and the Development Standards of Article V, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit.						
I.6 Provide Site Data Table on all revised plans (i.e. landscape, treescape, and photometric).						
I.7 Please provide a label for the proposed street section of Glen Hill Way on all plans (i.e. landscape, treescape, and photometric).						
M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Under the Construction Schedule legend No. 7, change the minimum dumpster enclosure to indicate 8-ft.						
2) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required.						
3) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director.						
M.9 Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the revised building elevations do not incorporate stone on the front (east) and side (south) facing facades. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).						
I.10 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Indicate all HVAC units on the building elevations (i.e. dash-in RTU's) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection 1.05.C.3; Art. V; UDC).						
2) Please provide a detail for the parapet height to determine screening of RTUs.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west). 4) Provide calculation of building materials as a percentage						
M.11 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: 1) Please provide an exhibit showing headlight screening for the head-in parking adjacent to the street (Subsection 5.02(C), Art. VIII, UDC).						
M.12 Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted (1) Total mitigation due= 336 caliper inches. Refer to Article IX, Sec. 5, Tree Mitigation Requirements in order to satisfy mitigation balance						
M.13 Based on the submittal staff has identified the following variances 1) Building Materials. The proposed addition does not meet the minimum of 20% stone. 2) Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to offsetting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures						
I.14 Please note that failure to address all comments provided by staff by 8:00 AM on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2019 Planning & Zoning Meeting. Please note that the Planning & Zoning Work Session meeting will be held on October 29, 2019.						
I.16 The Architectural Review Board (ARB) meeting will be held on October 29, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission.						
I.17 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.						
PLANNING	David Gonzales	11/6/2019	11/13/2019	11/6/2019	COMMENTS	Revision 1 - Revised Plans

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(11/6/2019 2:12 PM DG)						
SP2019-037; REVISION 1 - Revised Submittal-- Site Plan for Ridge Road Retail Center (PD-32)						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1						This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740].
I.2						For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
I.3						This project is subject to all requirements stipulated by the Unified Development Code (UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], and the Development Standards of Article V, that are applicable to the subject property.
I.4						Please note that the property will require a replat prior to the issuance of a building permit.
M.5						Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
						<ol style="list-style-type: none"> 1) Under the Construction Schedule legend No. 7, change the minimum dumpster enclosure to indicate 8-ft. 2) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required. 3) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director.
M.6						Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the revised building elevations do not incorporate stone on the front (east) and side (south) facing facades. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
I.7						Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
						<ol style="list-style-type: none"> 1) Indicate all HVAC units on the building elevations (i.e. dash-in RTU's) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC). 2) Please provide a detail for the parapet height to determine screening of RTUs. 3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west). 4) Provide calculation of building materials as a percentage.
M.8						Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(1) Total mitigation due= 512 caliper inches. Refer to Article IX, Sec. 5, Tree Mitigation Requirements in order to satisfy mitigation balance							
M.9 Based on the submittal staff has identified the following variances							
1) Building Materials. The proposed addition does not meet the minimum of 20% stone.							
2) Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street							
To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two(2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures. LANDSCAPING PROVIDED.							
I.10 Please note that the Planning & Zoning Commission Meeting will be held on November 12, 2019.							
I.11 The Architectural Review Board (ARB) meeting will be held on November 12, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission							
I.12 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.							
Police Department	David Gonzales	10/24/2019	10/31/2019				VOIDED (DG 10/25/2019)
Police Department	David Gonzales	9/23/2019	9/23/2019	9/23/2019		COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/23/2019 9:15 AM DG)						
Responses from Capt. Ed Fowler 09.20.2019:						
SP2019-037 Ridge Road Retail Center						
Considerations.						
<ul style="list-style-type: none"> • Consider Security lighting above all entrances, including rear doors, rear parking areas and dumpster(s). • Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing • Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area. • Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.) • Add photocell to main exterior lighting and update all lighting to LED fixtures. Ensure that all lighting is positioned in a manner to minimize glare and reduce all shadows especially at the rear of business. • Consider auxiliary locking system on rear doors. • Consider all exterior doors being equipped with alarm contact sensors and windows with glass break sensors • Consider motion sensor alarms inside the business and motion activated lighting for the interior. • Consider installation of locking mechanisms/bars on rear doors during closed hours. • Consider installation of solid core doors for offices inside the business including the room that houses any monies or safe Single cylinder locks for all offices and a double cylinder lock for the safe room. • Consider an additional alarm inside the safe room, either attached to the entrance door or safe • Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage. • Consider camera monitors for the rear of the business to ensure that employees will have a complete and unobstructed view prior to exiting into the rear parking area. • Consider the addition of security cameras for the interior the business. • Ensure new or existing trees and bushes are trimmed within acceptable standards(Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement ownership and enhance natural lines of sight at night • More than willing to speak directly with the business owners or developers about the property. 						
<p>The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crimeproof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.</p>						



STANDARD SITE PLAN WORDING

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the **[DAY]** day of **[MONTH], [YEAR]**.

WITNESS OUR HANDS, this **[DAY]** day of **[MONTH], [YEAR]**.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



SP2019-037 - RIDGE ROAD RETAIL CENTER
SITE PLAN - LOCATION MAP =

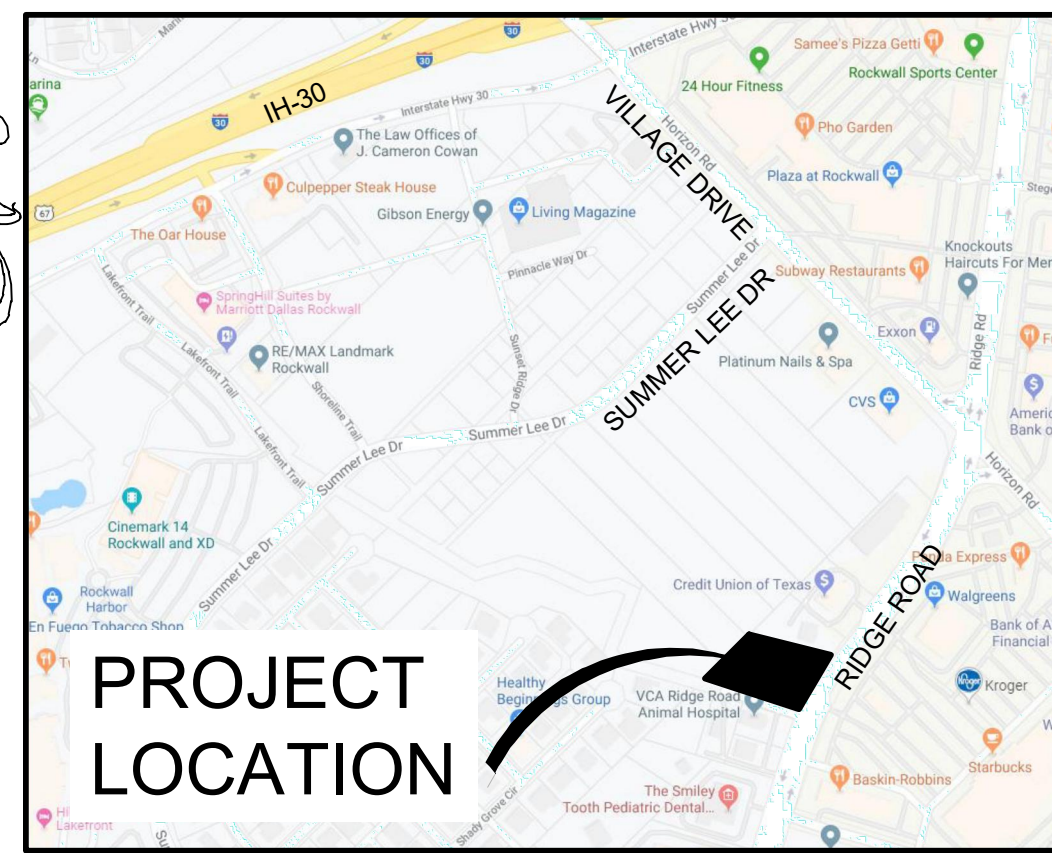
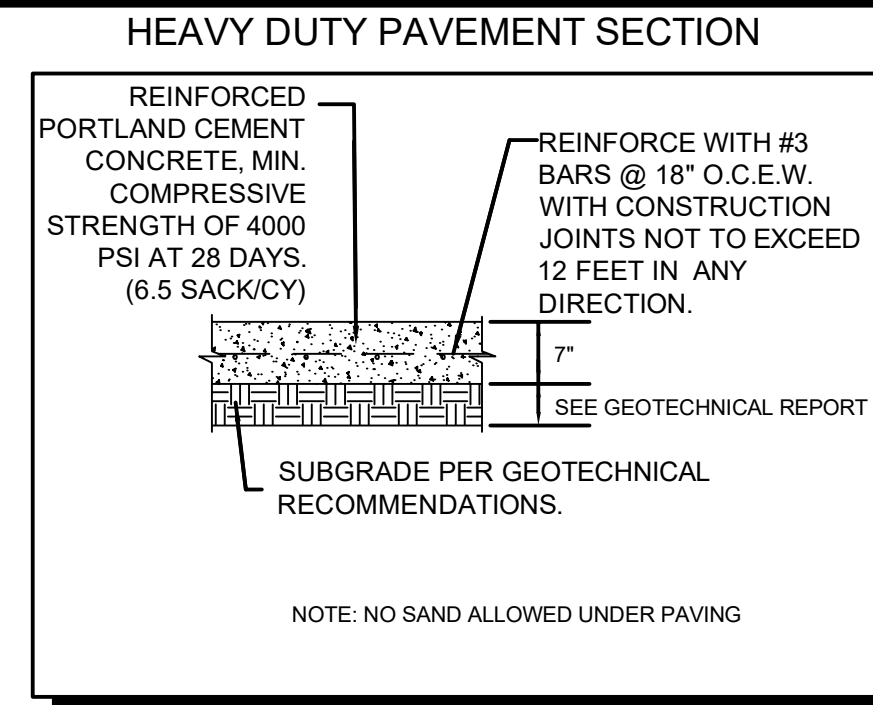
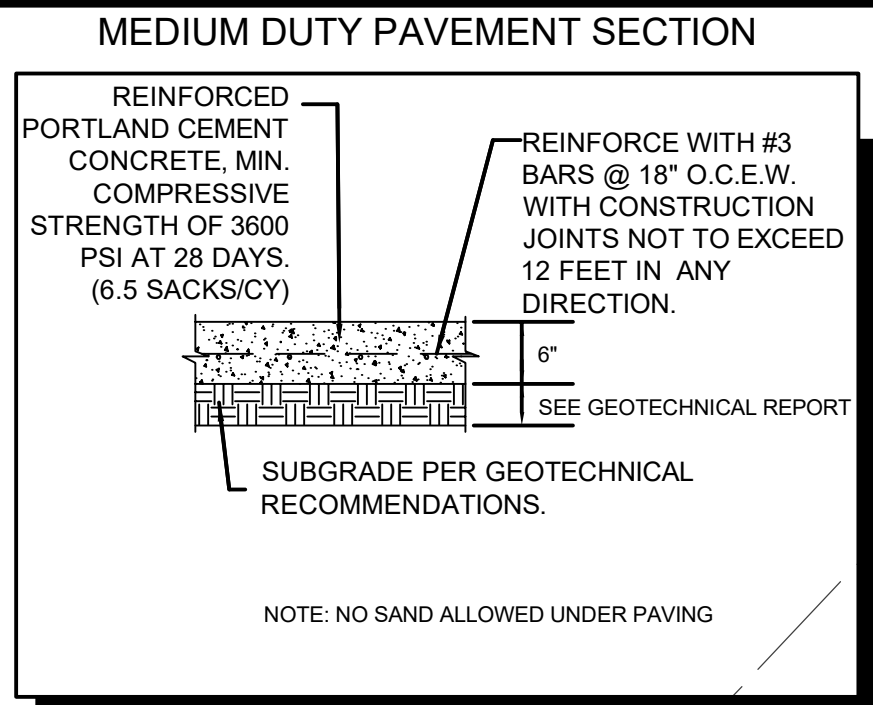


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





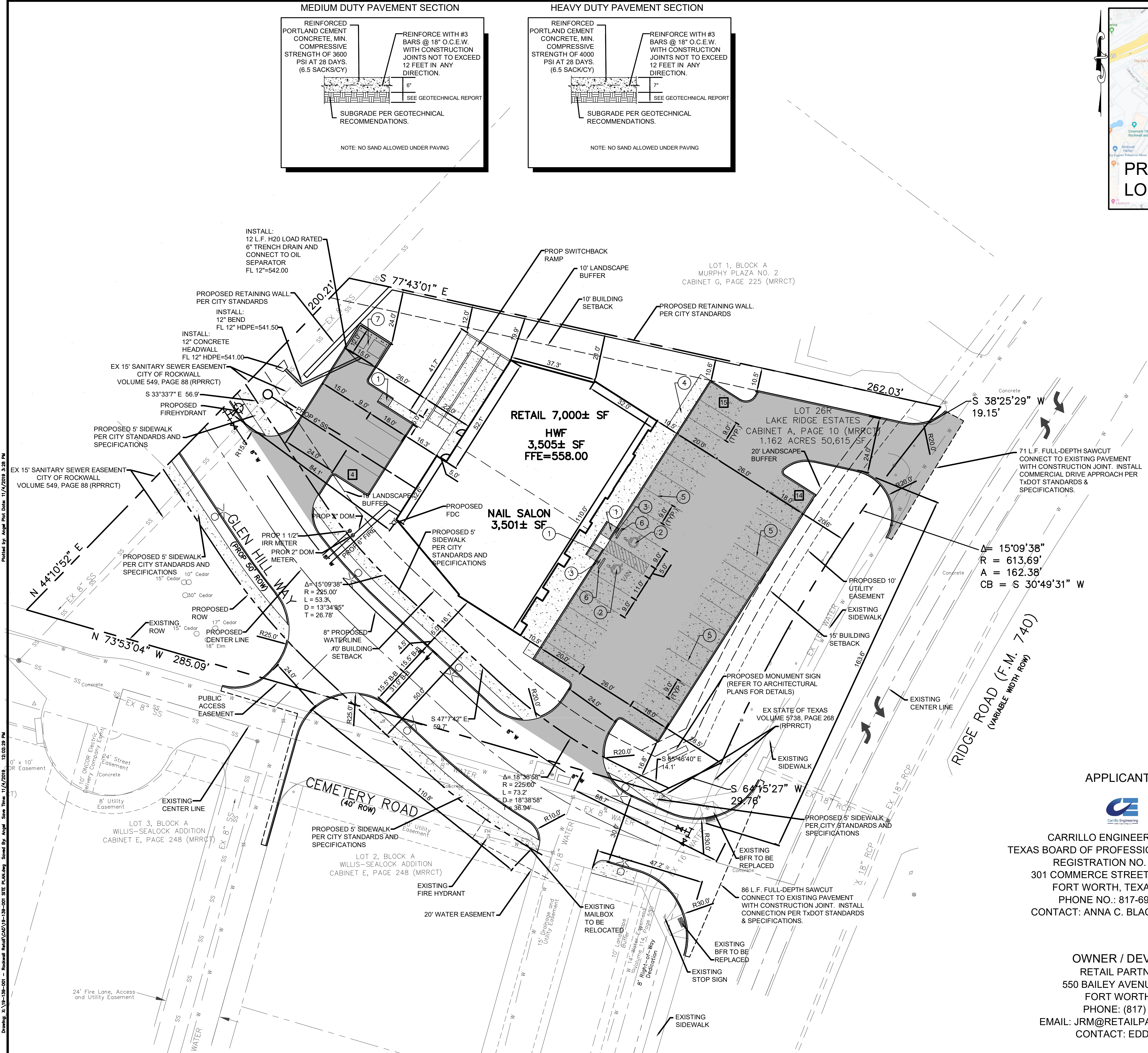
LOCATION MAP
N.T.S.

SITE DATA	
PROPOSED ZONING	PLANNED DEVELOPMENT COMMERCIAL
PROPOSED LAND USE	RETAIL
LOT AREA (GROSS)	1.162 ACRES (50,615 SQ FT)
LOT AREA (NET)	0.8319 ACRES (36,239.12 SQ FT)
TOTAL BUILDING AREA	7,000 SQUARE FEET
FLOOR AREA RATIO	7,000 / 36,239 : 19%
OPEN SPACE	13,974 / 36,239 : 39%
TOTAL IMPERVIOUS AREA	22,265 / 36,239 : 61%
REQUIRED PARKING (1/250 RETAIL)	28 SPACES
PARKING PROVIDED	33 SPACES
PARKING PROVIDED (ACCESSIBLE)	2 SPACES
BUILDING HEIGHT	1 STORY, 28'-10" TOTAL HEIGHT

NOTE:
1. ALL DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, OR PROPERTY LINE UNLESS NOTED OTHERWISE.

LEGEND	
(Symbol)	EXISTING CURB
(Symbol)	PROPOSED CURB
(Symbol)	PARKING SPACES IN A ROW
(Symbol)	PROPOSED 4000 PSI 7" REINFORCED, HEAVY DUTY CONCRETE PAVEMENT
(Symbol)	PROPOSED 3600 PSI 6" REINFORCED, MEDIUM DUTY CONCRETE PAVEMENT
(Symbol)	PROPOSED SIDEWALK PAVEMENT
(Symbol)	PROPOSED LIGHT FIXTURE (REFER TO MEP PLAN FOR EXACT LOCATION, TYPE, AND SPECIFICATIONS)
(Symbol)	PROPOSED PEDESTRIAN-SCALE STREET LIGHT PER CITY STANDARDS AND SPECIFICATIONS

CONSTRUCTION SCHEDULE	
①	HANDICAP RAMPS, BFRs PER CITY STANDARDS AND SPECS.
②	HANDICAP SYMBOL
③	HANDICAP SIGN
④	4' SIDEWALK
⑤	4" WHITE TRAFFIC STRIPING
⑥	WHEEL STOP
⑦	DUMPSTER WITH 7" MASONRY ENCLOSURE PER DETAILS ON ARCHITECTURAL ELEVATIONS.



Carrillo Engineering, LLC
301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
Phone 817-697-4996 - Firm Registration #F-15893



PRELIMINARY
NOT FOR CONSTRUCTION
THIS DRAWING IS SUBMITTED FOR REVIEW PURPOSES ONLY. IT IS NOT INTENDED FOR PERMITTING OR BIDDING ENGINEER OF RECORD: ANNA C. BLACKWELL, P.E. TX. REG. NO. 97350

RIDGE ROAD RETAIL CENTER
2930 SOUTH RIDGE ROAD
LAKE RIDGE ESTATES, LOT 26
ROCKWALL, TEXAS

SITE PLAN

Issue Dates:
SEP 13, 2019

Date	Revisions

Scale:
Drawn By:
Checked By:

Sheet
SP-1

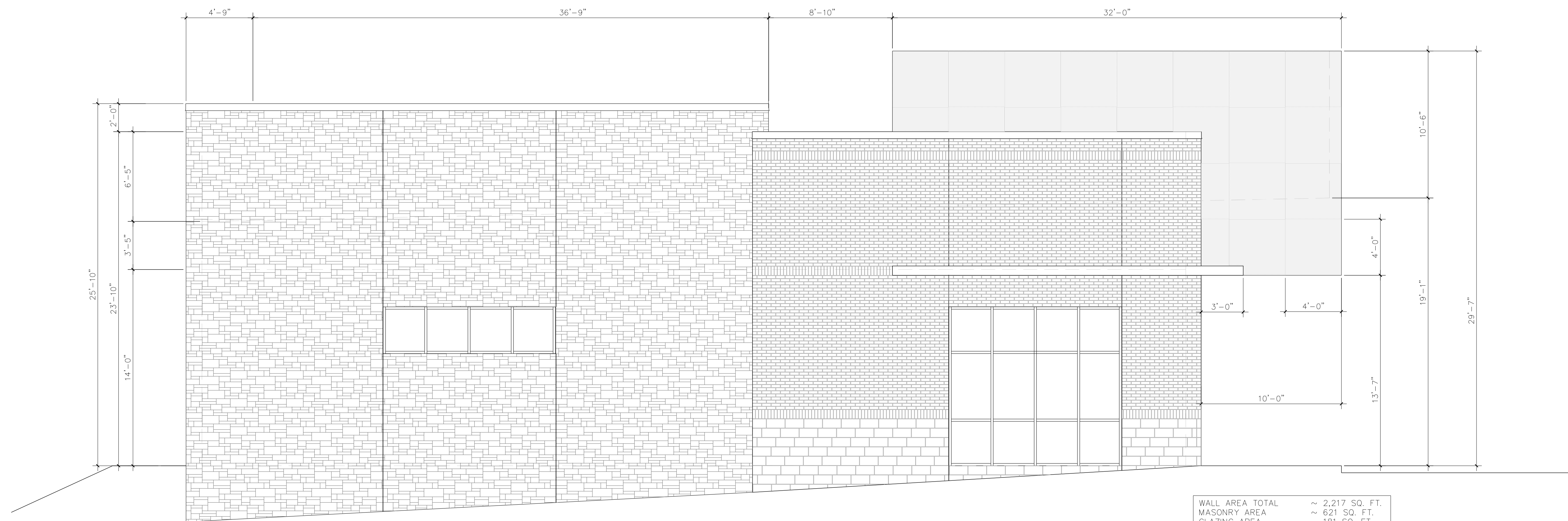
PROJECT BENCHMARK:
CITY OF ROCKWALL CONTROL MONUMENTATION MONUMENT NUMBER RESET #1.

POSTED ELEV=567.704 (NAVE88)

CASE NUMBER # SP2019-037

Printed By: Angel Post Date: 11/1/2019 3:28 PM

Drawing: 21-19-138-001 - Rockwall Retail (CAD) 138-138-001 SITE PLAN.dwg Saved By: Angel Post Time: 11/1/2019 12:02:59 PM



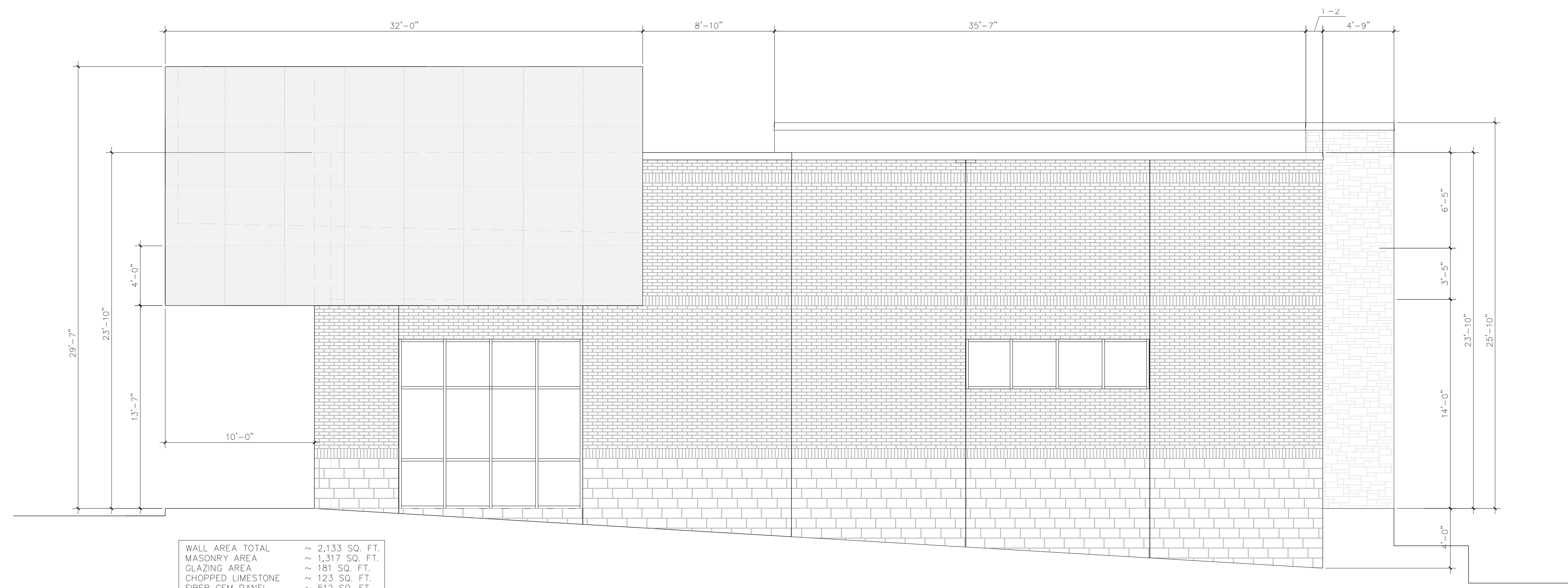
WALL AREA TOTAL	~ 2,217 SQ. FT.
MASONRY AREA	~ 621 SQ. FT.
GLAZING AREA	~ 181 SQ. FT.
FIBER CEM PANEL AREA	~ 296 SQ. FT.
METAL CANOPY AREA	~ 17 SQ. FT.
CHOPPED LIMESTONE	~ 1,102 SQ. FT.

DESIGN INTENT

ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS

RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER

2 SIDE ELEVATION
SCALE: 1/4"=1'-0"



WALL AREA TOTAL	~ 2,133 SQ. FT.
MASONRY AREA	~ 1,317 SQ. FT.
GLAZING AREA	~ 181 SQ. FT.
CHOPPED LIMESTONE	~ 123 SQ. FT.
FIBER CEM PANEL	~ 512 SQ. FT.

1 SIDE ELEVATION
SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION REVIEW ONLY
JIM HERCKT
TX ARCH
19007

STUDIO HERCKT, LLC.
1716 VIRGINIA PLACE
FORT WORTH, TX 76107
817.919.6574
JHERCKT@GMAIL.COM

CONCEPTUAL ARCHITECTURAL ELEVATIONS

RIDGE ROAD RETAIL CENTER CORE AND SHELL
2930 RIDGE ROAD
ROCKWALL, TX 75032

DEVELOPMENT SUBMITTAL

2019.11.02

ISSUE	DATE

SHEET
A3.1

**NOT FOR
CONSTRUCTION
REVIEW ONLY
JIM HERCKT
TX ARCH
19007**

**STUDIO HERCKT, LLC.
1716 VIRGINIA PLACE
FORT WORTH, TX 76107
817.919.6574
JHERCKT@GMAIL.COM**

**CONCEPTUAL
ARCHITECTURAL
ELEVATIONS**

**RIDGE ROAD
RETAIL CENTER
CORE AND SHELL
2930 RIDGE ROAD
ROCKWALL, TX 75032**

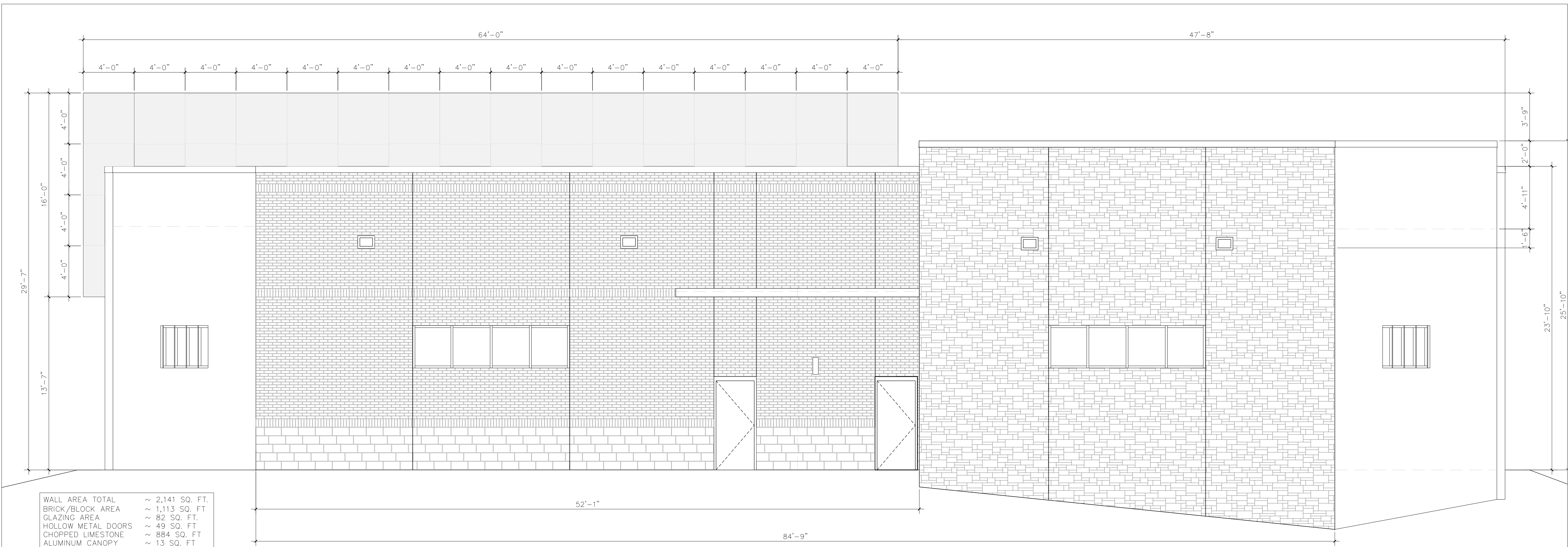
**DEVELOPMENT
SUBMITTAL**

2019.11.02

ISSUE DATE

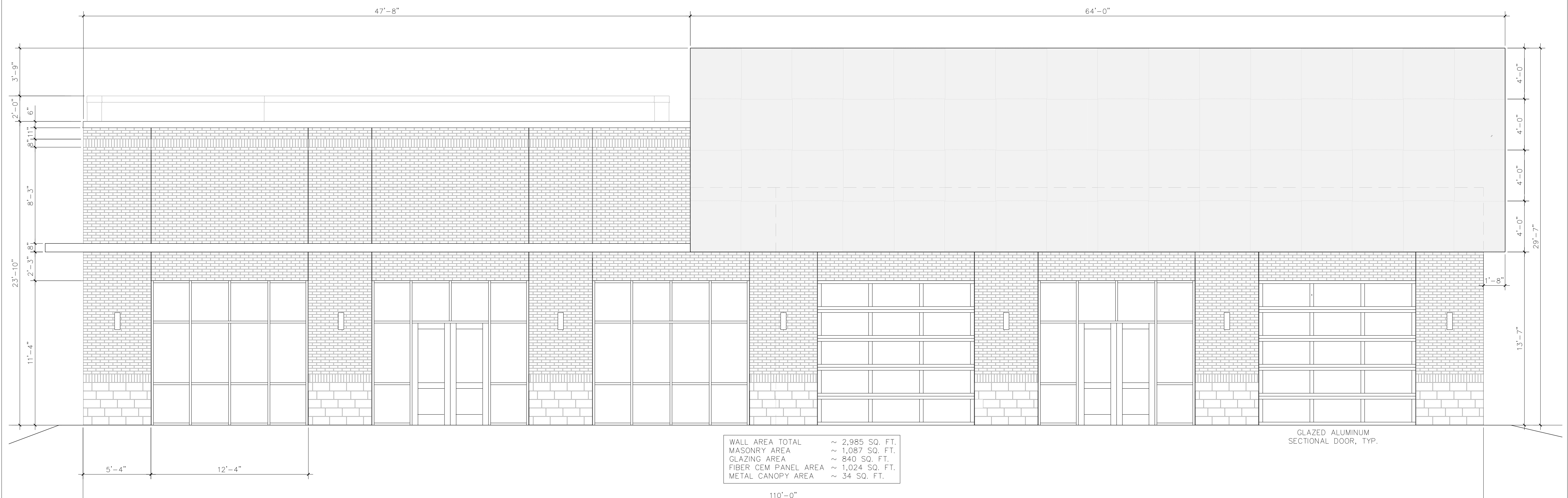
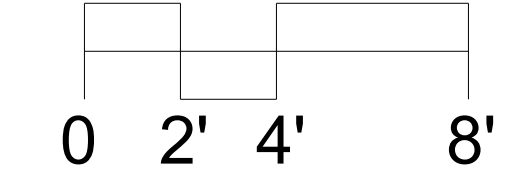
SHEET

A3.0



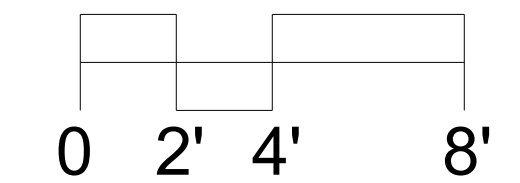
WALL AREA TOTAL	~	2,141 SQ. FT.
BRICK/BLOCK AREA	~	1,113 SQ. FT.
GLAZING AREA	~	82 SQ. FT.
HOLLOW METAL DOORS	~	49 SQ. FT.
CHOPPED LIMESTONE	~	884 SQ. FT.
ALUMINUM CANOPY	~	13 SQ. FT.

2 BACK ELEVATION
SCALE: 1/4"=1'-0"



WALL AREA TOTAL	~	2,985 SQ. FT.
MASONRY AREA	~	1,087 SQ. FT.
GLAZING AREA	~	840 SQ. FT.
FIBER CEM PANEL AREA	~	1,024 SQ. FT.
METAL CANOPY AREA	~	34 SQ. FT.

1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



DESIGN INTENT
ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER







FILE NAME AND PATH: C:\Users\Steve\Dropbox (BLA, Inc)\BLA, Inc Team Folder\Carrillo Engineering\Carrillo Engineering\Cre-190801 Rockwall Retail\04-CD DDI\Sheet Files\CDI\Cre-190801 Rockwall Retail Planting.dwg
 PLOT DATE AND TIME: 11/4/2019 9:26 PM
 Printed by: Steve P. Date: 11/4/2019 9:26 PM

LANDSCAPE REQUIREMENTS

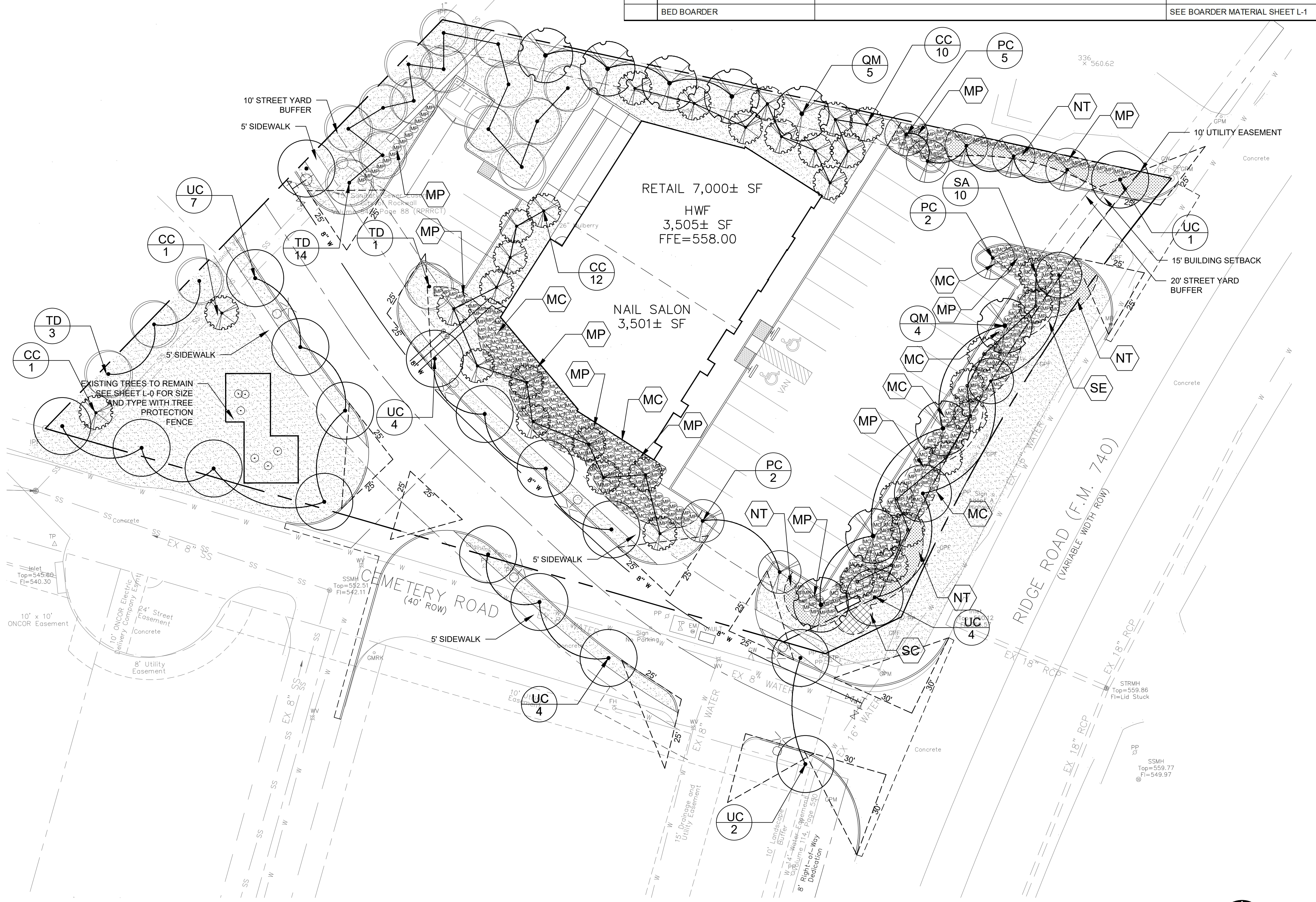
STREETScape 10 - LANDSCAPE BUFFER	REQUIRED TREES	PROPOSED TREES
CEMETERY ROAD STREET TRESS 1 PER 30 LF	11	11
RIDGE ROAD STREET TREES 1 PER 50 LF 165 LF CANOPY TREE	4	4
ORNAMENTAL TREE	8	10
PARKING LOT TREES 29 SPACES 1 TREE PER 8 SPACES	4	4

PLANT LIST (IN SECTION 6)

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	HEIGHT	SPREAD	ROOT BALL	REMARKS
LARGE SIZE TREE								
QM	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	9	4" CAL	12' - 14'	6' - 8'	CONTAINER	SINGLE TRUNK AND FULL
TD	TAXODIUM DISTICUM	BALD CYPRESS	18	4" CAL	12' - 14'	6' - 8'	CONTAINER	SINGLE TRUNK AND FULL
UC	ULMUS CRASSIFOLIA	CEDAR ELM	22	4" CAL	10' - 12'	6' - 8'	CONTAINER	SINGLE TRUNK - BRANCHED TO GROUND
MEDIUM SIZE TREE								
CC	CERCIS CANADENSIS 'TEXENSIS'	TEXAS REDBUD	24	3" CAL	8' - 10'	4' - 6'	CONTAINER	MULTI-TRUNKED AND FULL
PC	PISTACHE CHINENSIS	CHINESE PISTACHE	8	3" CAL	8' - 10'	4' - 6'	CONTAINER	MULTI-TRUNKED AND FULL
SA	STYPHNOLOBIUM AFFINE	EVE'S NECKLACE	10	3" CAL	8' - 10'	4' - 6'	CONTAINER	MULTI-TRUNKED AND FULL
SHRUBS								
MP	MYRICA PUSILLA	DWARF WAX MYRTLE	299	N/A	18"	18"	3 GALLON	PLACED AS SHOWN ON PLAN
ORNAMENTAL GRASSES								
MC	MUHLENBERGIA CAPILLARIS 'LENCA'	REGAL MIST® PINK MUHLY GRASS	224	N/A	12" - 18"	12" - 18"	3 GALLON	FULL MATCHED 36" O.C. TRIA. SPACED
NT	NASSELLA TNEULSSIMA	MEXICAN FEATHER GRASS	797	N/A	6" - 8"	6" - 8"	1 GALLON	FULL MATCHED 18" O.C. TRIA. SPACED
ANNUALS								
SC	PENTAS LANCEOLATA	MEXICAN PENTA - SOLID COLOR	304	N/A	6" - 8"	6" - 8"	4" POT	FULL MATCHED 8" O.C. TRIA. SPACED
LAWN								
LAWN	CYNODON DACTYTON	COMMON BERMUDA GRASS						SOLID SOD STAGGARED JOINTS
MISCELLANEOUS								
MULCH	SHREDDED HARDWOOD MULCH							3 INCH DEPTH PLACE OVER FILTER FABRIC
	BED BOARDER							SEE BOARDER MATERIAL SHEET L-1

GENERAL PLANTING NOTES

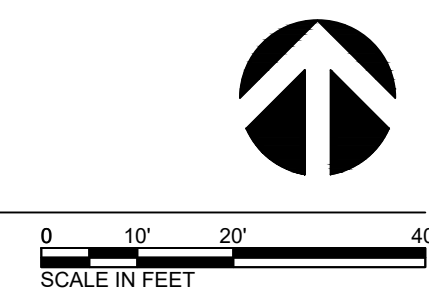
- CONTRACTOR SHALL ADHERE TO CITY CONSTRUCTION REQUIREMENTS INCLUDING BUT NOT LIMITED TO ANY PERMITS, INSPECTIONS, AND METHODS OF MATERIAL INSTALLATION.
- CONTRACTOR SHALL ADHERE TO ALL AGENCY REQUIREMENTS MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES ABOVE AND BELOW GRADE, AS WELL AS FINDING OUT EACH COMPANY'S RESTRICTIONS ON WORKING WITHIN THEIR EASEMENTS AND UTILITY LINES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING IMPROVEMENTS AND TO NOT DISTURB THOSE THAT ARE OUTSIDE OF THE SCOPE OF WORK. ANY STRUCTURES THAT ARE TO REMAIN WITHIN THE SCOPE OF WORK AREA SHALL NOT BE DAMAGED. PHOTOGRAPHS AND NOTES SHOULD BE MADE FOR ANY EXISTING DAMAGED CONDITIONS PRIOR TO COMMENCING CONSTRUCTION AND DISTRIBUTED TO OWNERS REPRESENTATIVE.
- A LANDSCAPE IRRIGATION PLAN SHALL BE PREPARED PRIOR TO LANDSCAPE CONSTRUCTION AND WILL BE DESIGNED BY A TEXAS LICENSED IRRIGATION DESIGNER. ALL PLANTING AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE AND RAIN SENSOR. THE SYSTEM SHALL BE DESIGNED TO MEET THE CITY AND THE STATE OF TEXAS IRRIGATION REQUIREMENTS. THE IRRIGATION INSTALLER SHALL BE A STATE OF TEXAS LICENSED IRRIGATION DESIGNER.
- CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE IF THERE ARE ANY WATER RESTRICTIONS AND WHAT IF ANY IMPACT THIS MAY HAVE ON THE INSTALLATION OF PLANT MATERIAL.
- QUANTITIES SHOWN IN PLANT LIST FOR PLANT MATERIAL AREA PROVIDED AS A COURTESY FOR THE CONTRACTOR. CONTRACTOR SHALL VERIFY PRIOR TO BIDDING THAT THE QUANTITY WILL COVER THE SPECIFIED AREAS AT THE SPACING STATED IN THE PLANT LIST UNDER THE REMARKS COLUMN. IF THERE IS A DIFFERENCE, THE CONTRACTOR SHALL MAKE NOTE ON THEIR BID AND SHOW THE ADDED OR REDUCED COST.
- CONTRACTOR SHALL ESTABLISH SOURCES FOR ALL PLANT MATERIAL ON PLANT LIST WHEN BIDDING PROJECT. NO PLANTS SUBSTITUTIONS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS FOR THIS PROJECT PRIOR TO INSTALLATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL NEW PLANTING BEDS SHALL HAVE A MINIMUM SIX (6") INCHES OF BED PREPARATION.
- LAWN AREA SHALL HAVE FERTILE AND CLEAN TOP SOIL TILLED 4" DEEP.
- GRADING IN PLANTING BEDS SHALL BE SMOOTH AND PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL STAKE OUT LOCATION OF ALL TREES, AND SHRUBS FOR APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO PLANTING.
- MULCHING OF SHRUB AND ANY GROUND COVER AREAS SHALL HAVE 3 INCHES OF SHREDDED HARDWOOD MULCH.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.
- THE PROPERTY OWNER, TENANT AND ANY AGENT THEREOF SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING MATERIALS IN GOOD CONDITION AT ALL TIMES SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE. ANY LANDSCAPING MATERIAL THAT DIES SHALL BE REPLACED WITH HEALTHY MATERIAL WITHIN A REASONABLE TIME. ALL LANDSCAPED AREAS SHALL BE CONTINUOUSLY MAINTAINED FREE OF WEEDS, DEBRIS AND LITTER. WEEDS AND NATURAL UNCULTIVATED GRASS SHALL NOT BE CONSIDERED LANDSCAPING.



LANDSCAPE LEGEND

- PROPOSED TREES
- CHINKAPIN OAK
- BALD CYPRESS
- CEDAR ELM
- REDBUD
- CHINESE PISTACHE
- EVE'S NECKLACE
- SHRUB MASSING
- LAWN
- SEASONAL COLOR
- ORNAMENTAL GRASS
- STEEL EDGING
- MATERIAL CALL OUT
- TREE CALL OUT
- TYPE QUANTITY

1 LANDSCAPE PLAN
 1"=20'-0"



BERKENBILE
 LANDSCAPE ARCHITECTS
 DALLAS OFFICE
 2301 N Lamar Suite 290 (214) 922-9946
 Dallas, TX 75202
 SOUTHLAKE OFFICE
 2355 Johnson Rd (817) 379-9853
 Southlake, TX 76092

Carrillo Engineering, LLC
 301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
 Phone 817-697-4996 - Firm Registration #1-15893

PRELIMINARY
 THIS DRAWING IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF REGISTERED LANDSCAPE ARCHITECT STEPHEN C. BERKENBILE, LIC. #1763 ON 11-05-2019. IT IS NOT INTENDED FOR BIDDING, PERMITTING, OR CONSTRUCTION PURPOSE.

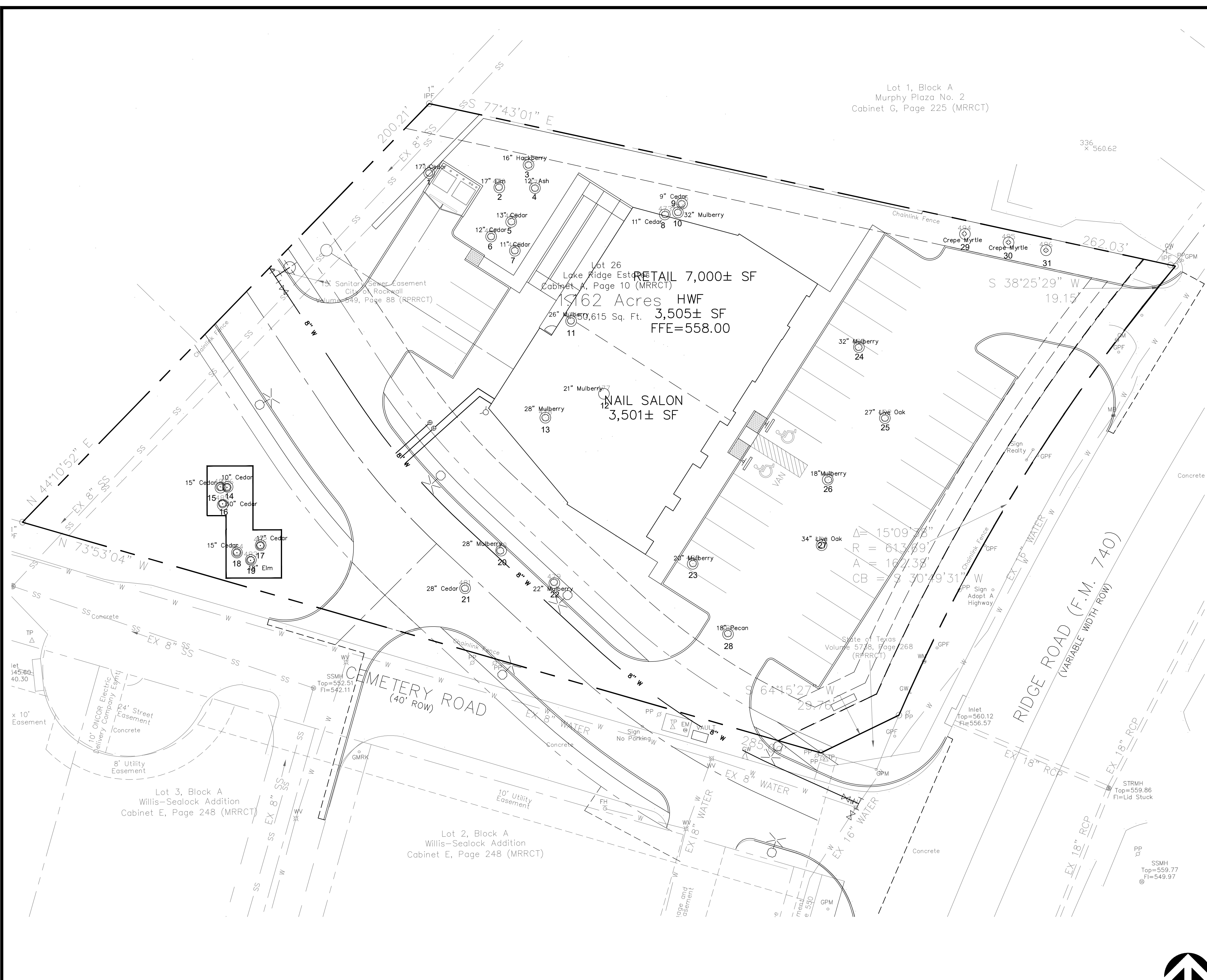
ROCKWALL RETAIL
2930 SOUTH RIDGE ROAD
LAKE RIDGE ESTATES, LOT 26
ROCKWALL, TEXAS

Issue Dates:
 11-05-2019

Date	Revisions

Scale:
 Drawn By:
 Checked By:

Sheet
L-1



1 TREESCAPE PLAN
 1"=20' 0"



EXISTING TREE CHART

TREE NO.	TREE NAME	TREE LOCATION	CALIPER INCHES	PROTECTED TREES PRESERVED	PROTECTED TREES REMOVED NOT REQUIRING MITIGATION	PROTECTED TREES REMOVED REPLACE INCH PER INCH	SECONDARY PROTECTED TREE 11-25" 1/2 CAL REPLACE	TREE GREATER 25" CAL. 1:2 REPLACE
1	CEDAR	LOAD DOCK	17				8.5	
2	ELM	RAMP	17					
3	HACKBERRY	RAMP	16				8.0	
4	ASH	RAMP	12				12.0	
5	CEDAR	RAMP	13				6.5	
6	CEDAR	RAMP	12				6.0	
7	CEDAR	BUILDING	11				5.5	
8	CEDAR	BUILDING	11				5.5	
9	CEDAR	BUILDING	9				9.0	
10	MULBERRY	BUILDING	32					64.0
11	MULBERRY	BUILDING	26					52.0
12	MULBERRY	BUILDING	21					42.0
13	MULBERRY	BUILDING	28					56.0
14	CEDAR	LANDS AREA	10	10				
15	CEDAR	LANDS AREA	15	15				
16	CEDAR	LANDS AREA	30	30				
17	CEDAR	LANDS AREA	17	17				
18	CEDAR	LANDS AREA	15	15				
19	ELM	LANDS AREA	18	18				
20	MULBERRY	CEMETERY ST.	28					56.0
21	CEDAR	CEMETERY ST.	28					56.0
22	MULBERRY	CEMETERY ST.	22			22.0		
23	MULBERRY	PARKING LOT	20			20.0		
24	MULBERRY	PARKING LOT	32					64.0
25	LIVE OAK	PARKING LOT	27					54.0
26	MULBERRY	PARKING LOT	18				18.0	
27	LIVE OAK	PARKING LOT	34					68.0
28	PECAN	PARKING LOT	18				18.0	
29	CRAPE MYRTLE	LANDS AREA	<4		LESS THAN 4"			
30	CRAPE MYRTLE	LANDS AREA	<4		LESS THAN 4"			
31	CRAPE MYRTLE	LANDS AREA	<4		LESS THAN 4"			
TOTALS			557	105		116	40	512
TOTAL REQUIRED TREE MITIGATION CALIPER INCHES								668.0
PROVIDED REPLACEMENT 52 TREES AT 3" CALIPER								156.0

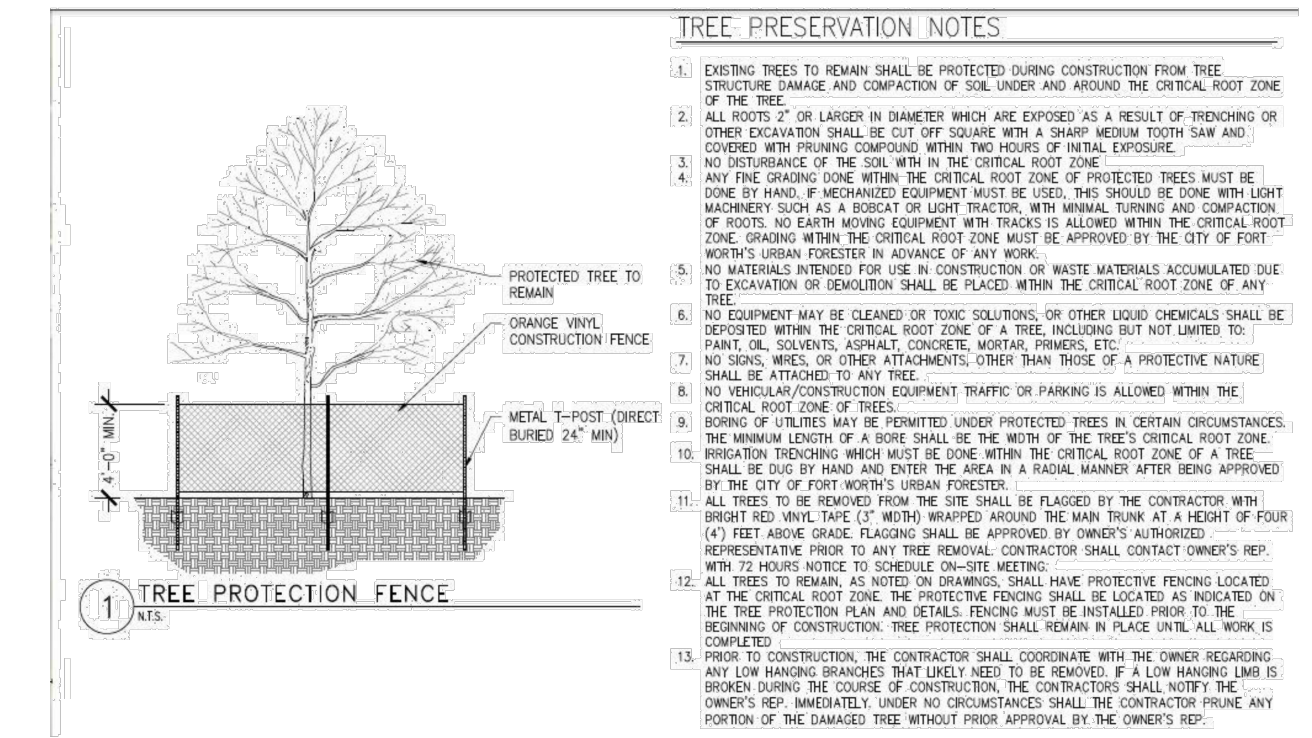
PRIMARY PROTECTED TREES - 4 INCHES - 25 INCHES - REPLACED WITH INCH FOR INCH REMOVED

SECONDARY PROTECTED TREES - HACKBERRY & CEDAR TREES MEASURE 11 INCHES - 25 INCHES DBH - REPLACED WITH 1/2 INCH FOR EVERY INCH REMOVED.

FEATURED TREES - ALL TREES GREAT THAN 25 INCHES SHALL BE REPLACED WITH TWICE THE NUMBER OF INCHES BEING REMOVED.

EXISTING LANDSCAPE LEGEND

- 21 ● EXISTING TREE TO BE REMOVED
- 21 ○ SAVED TREE
- TREE PROTECTION FENCE



2 TREE PROTECTION DETAIL
 NOT TO SCALE

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE DAMAGE AND COMPACTED SOIL UNDER AND AROUND THE CRITICAL ROOT ZONE OF THE TREE.
- ALL ROOTS 2" OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF REMOVAL OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH FILING COMPACTED WITH TWO INCHES OF FINE SAND.
- NO DISTURBANCE OF THE SOIL WITHIN THE CRITICAL ROOT ZONE.
- ANY TREE GRUBBING SHALL BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE. GRUBBING SHALL BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE. GRUBBING SHALL BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE. GRUBBING SHALL BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR REMOVAL SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TUNE SOLUTIONS OR OTHER LIQUID CHEMICALS SHALL BE DISPOSED WITHIN THE CRITICAL ROOT ZONE OF A TREE INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, BRICKS, ETC.
- NO BRICKS, WRECK, OR OTHER DEBRIS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT OR MATERIALS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT OR MATERIALS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT OR MATERIALS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT OR MATERIALS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT OR MATERIALS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT OR MATERIALS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT OR MATERIALS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT OR MATERIALS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.

Carrillo Engineering, LLC
 301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
 Phone 817-697-4996 - Firm Registration #1-15893

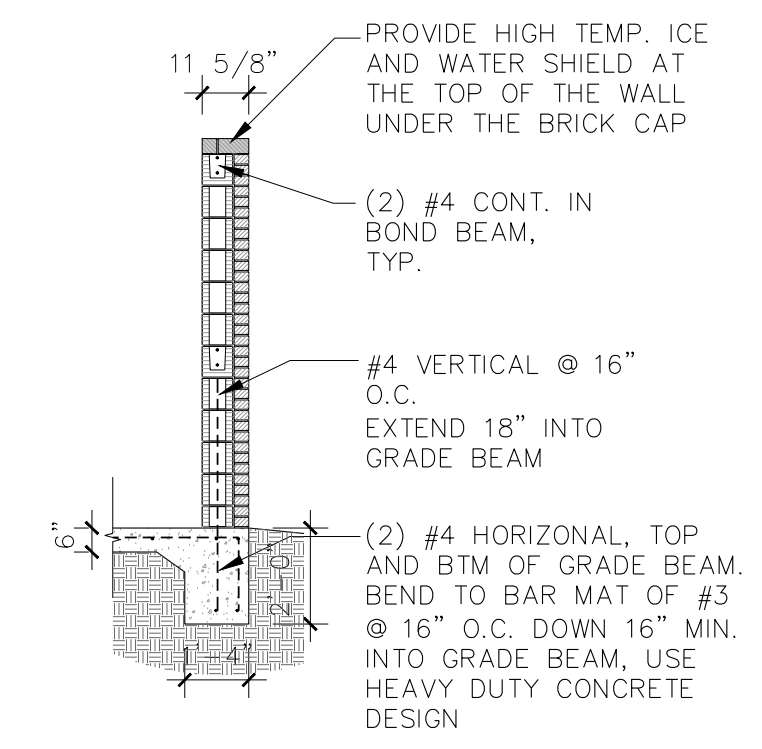
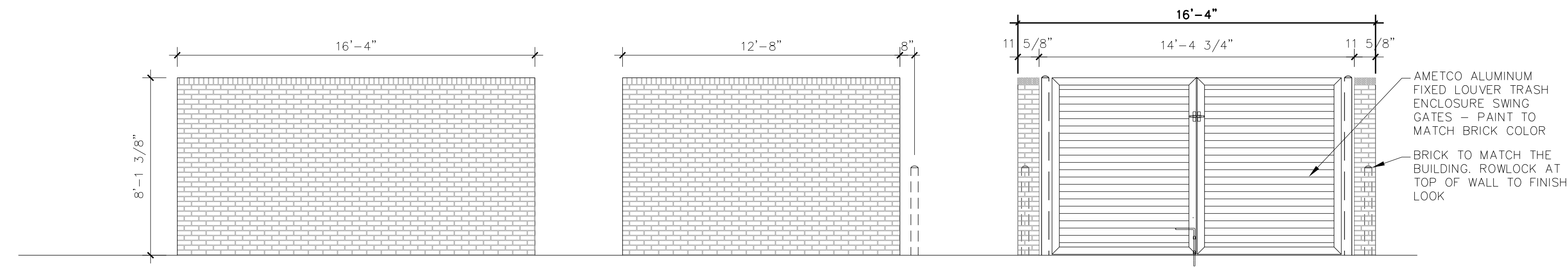
PRELIMINARY
 THIS DRAWING IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF REGISTERED LANDSCAPE ARCHITECT STEPHEN R. BERKENBILE, LIC. #1783 ON 11-05-2019. IT IS NOT INTENDED FOR BIDDING, PERMITTING, OR CONSTRUCTION PURPOSE.

**ROCKWALL RETAIL
 2930 SOUTH RIDGE ROAD
 LAKERIDGE ESTATES, LOT 26
 ROCKWALL, TEXAS**

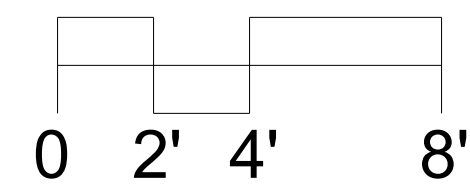
Issue Dates:
 11-05-2019

Scale:
 Drawn By:
 Checked By:
 Sheet
 L-0

DESIGN INTENT
 ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
 RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER



1
 A3.2 **TRASH ENCLOSURE**
 SCALE: 1/4"=1'-0"



**NOT FOR
 CONSTRUCTION
 REVIEW ONLY
 JIM HERCKT
 TX ARCH
 19007**

**STUDIO HERCKT, LLC.
 1716 VIRGINIA PLACE
 FORT WORTH, TX 76107
 817.919.6574
 JHERCKT@GMAIL.COM**

**CONCEPTUAL
 ARCHITECTURAL
 ELEVATIONS**

**RIDGE ROAD
 RETAIL CENTER
 CORE AND SHELL
 2930 RIDGE ROAD
 ROCKWALL, TX 75032**

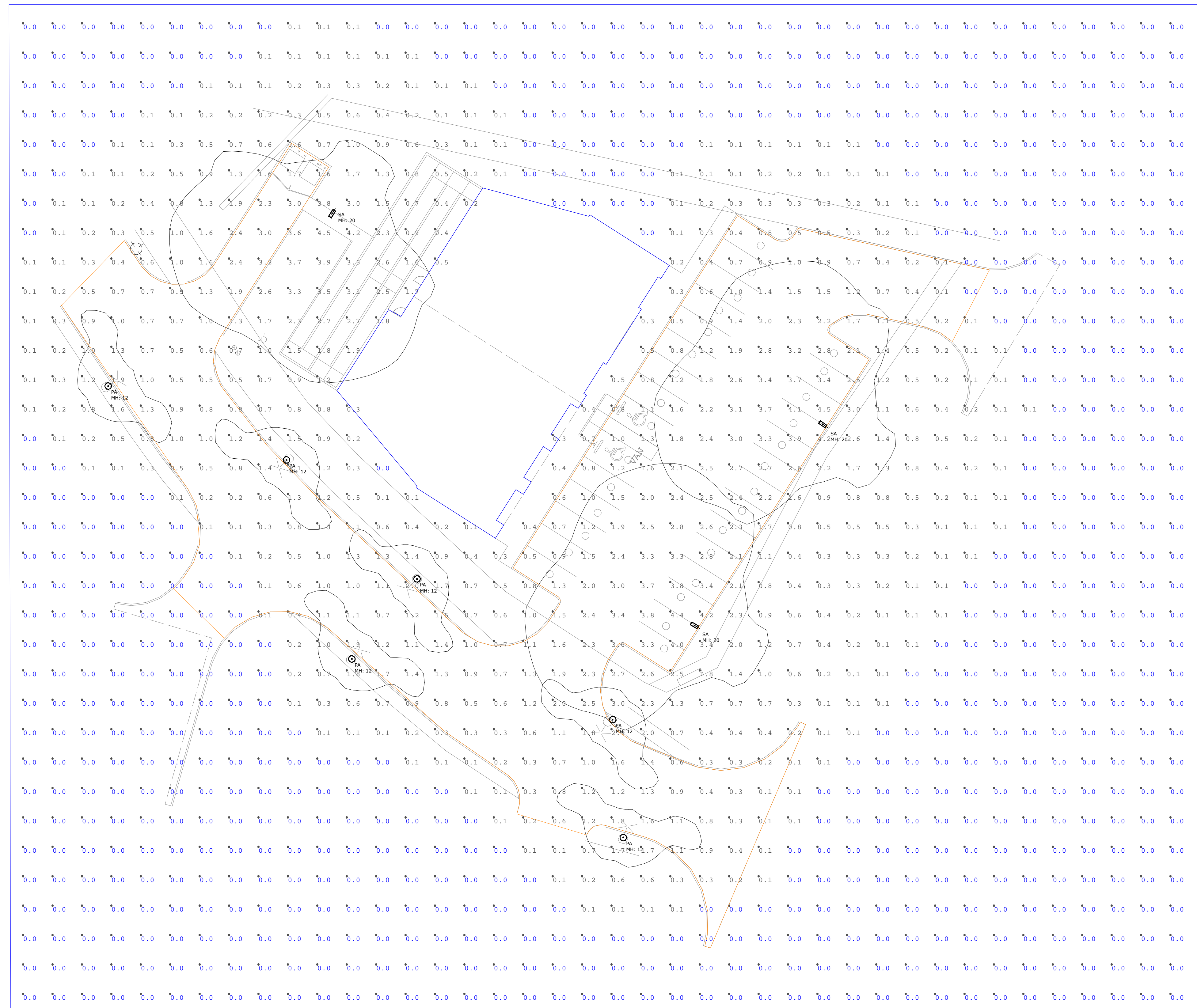
**DEVELOPMENT
 SUBMITTAL**

2019.10.18

ISSUE DATE

SHEET

A3.2



Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
☉	PA	6	BEGA_77 911 FINISH	2548	50	1.000	0.808	1.000
☐	SA	3	LITHONIA_DSX1 LED P7 40K TFTM VOLTAGE MOUNTING FINISH	20732	183	1.000	0.808	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.45	4.5	0.0	N.A.
PARKING & DRIVEWAY		Fc	1.46	4.5	0.0	N.A.

PARKING & DRIVEWAY
 Illuminance (Fc)
 Average = 1.46
 Maximum = 4.5
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

Notes:
 1. Surface reflectance: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Dynamic lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

D-Series LED, Size 1

Area Luminaire

Refined Styling. Sophisticated Technology.

The modern styling of the D-Series LED Area, Size 1 luminaire is striking yet unobtrusive—making a bold, progressive statement even as it blends seamlessly with its environment. Its outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density.

Key Features:

- Energy savings of up to 75% vs. comparable metal halide luminaires; saves \$263 per luminaire, per year over 750W metal halide
- 20+ years expected service life (with lumen maintenance up to L99/100,000 hours at 25°C)
- Proprietary precision optics deliver exceptional uniformity and allow for increased spacing, resulting in fewer poles and lower overall cost
- Control options from Acuity Controls include standalone photocell, switched bi-level, part-night scheduled dimming, multi-level motion sensor, and ROAM® wireless monitoring and control

DSX1

Model	Input Watts	Lumens	Metal Halide Replacement
DSX1 LED P5 40k T3M	138W	15,377	400W
DSX1 LED P7 40k T3M	209W	20,141	650W
DSX1 LED P9 40k T3M	241W	26,791	750W



Quick Facts:

- Up to 750W MH replacement
- Lumen packages from 4,000 to 29,000 lumens up to L92/50,000 hours
- Efficacies up to 136 lumens per watt
- 14 factory-rotatable distributions available
- Available in 3000K, 4000K & 5000K CCT and Amber LED
- Weight: 27 lbs; EPA: 1.0 ft²

D-Series LED Area Luminaire, Size 1

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

DSX1 LED

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics		T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium TSVS Type V very short	T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control LCCO Left corner cutoff RCCO Right corner cutoff	MVOLT 120 208 240 277 347 480	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor RPUMBA Round pole universal mounting adaptor Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)
	P1 P4 P7	30K 3000 K				
	P2 P5 P8	40K 4000 K				
	P3 P6 P9	50K 5000 K				
	Rotated optics					
	P10 P12	AMBPC Amber phosphor converted				
	P11 P13					

Control options	Other options	Finish (required)
Shipped installed PER NEMA twist-lock receptacle only (no controls) PERS Five-wire receptacle only (no controls) PER7 Seven-wire receptacle only (no controls) DMG 0-10V dimming extend out back of housing for external control (no controls) DS Dual switching PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc	BL30 Bi-level switched dimming, 30% BL50 Bi-level switched dimming, 50% PNMTDD3 Part night, dim till dawn PNMT5D3 Part night, dim 5 hrs PNMT6D3 Part night, dim 6 hrs PNMT7D3 Part night, dim 7 hrs FAO Field adjustable output	Shipped installed HS House-side shield SF Single fuse (120, 277, 347V) DF Double fuse (208, 240, 480V) L90 Left rotated optics R90 Right rotated optics BS Bird spikes DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Accessories Ordered and shipped separately.

Controls & Shields

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V)
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V)
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V)
DSHORT SBK U	Shorting cap
DSX1HS 30C U	House-side shield for 30 LED unit
DSX1HS 40C U	House-side shield for 40 LED unit
DSX1HS 60C U	House-side shield for 60 LED unit
PUMBA DDBXD U	Square and round pole universal mounting bracket adaptor (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish)

Please use the spec sheet at www.acuitybrands.com when ordering to ensure component compatibility for your desired configuration.

DSX2

400W - 1000W MH Replacement



DSX1

250W - 750W MH Replacement



DSX0

175W - 400W MH Replacement



DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

Visit www.lithonia.com for more information

Pole top luminaires with asymmetrical light distribution

Housing: Two interlocking die-cast aluminum housings. Heavy gauge .080" spun aluminum shade with rolled edge, finished white inside. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Arm: Fabricated from .125" wall aluminum extrusion formed into a continuous smooth radius, terminating and welded into a one piece die-cast aluminum fitter. Fitter slip fits a 3" O.D. pole top and is secured by six (6) socket head stainless steel set screws threaded into stainless steel inserts.

Enclosure: Lamp enclosure/optical system comprises an assembly of two pure anodized aluminum asymmetrical main beam reflectors with clear impact resistant acrylic lens with optical texture fixed to a heavy gauge .080" spun aluminum shade with rolled edge, finished white inside and rigidly fastened to the luminaire housing. Fasteners are stainless steel.

Electrical: 42.8W LED luminaire, 48 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver located in luminaire head, 0-10V dimming. Standard LED color temperature is 4000K with a >80 CRI. Available in 3000K (>80 CRI); add suffix K3 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations. Protection class: IP65.

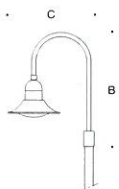
Weight: 27.6 lbs.

EPA (Effective projection area): 2.37 sq. ft.

Luminaire Lumens: 2548

Tested in accordance with LM-79-08

Type:
 BEGA Product:
 Project:
 Voltage:
 Color:
 Options:
 Modified:



Single pole-top luminaires

	Lamp	LEED	A	B	C
77911	42.8W LED	LZ-2	26%	46 1/4"	40 1/8"

Recommended for use with 14' to 18' poles.

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com

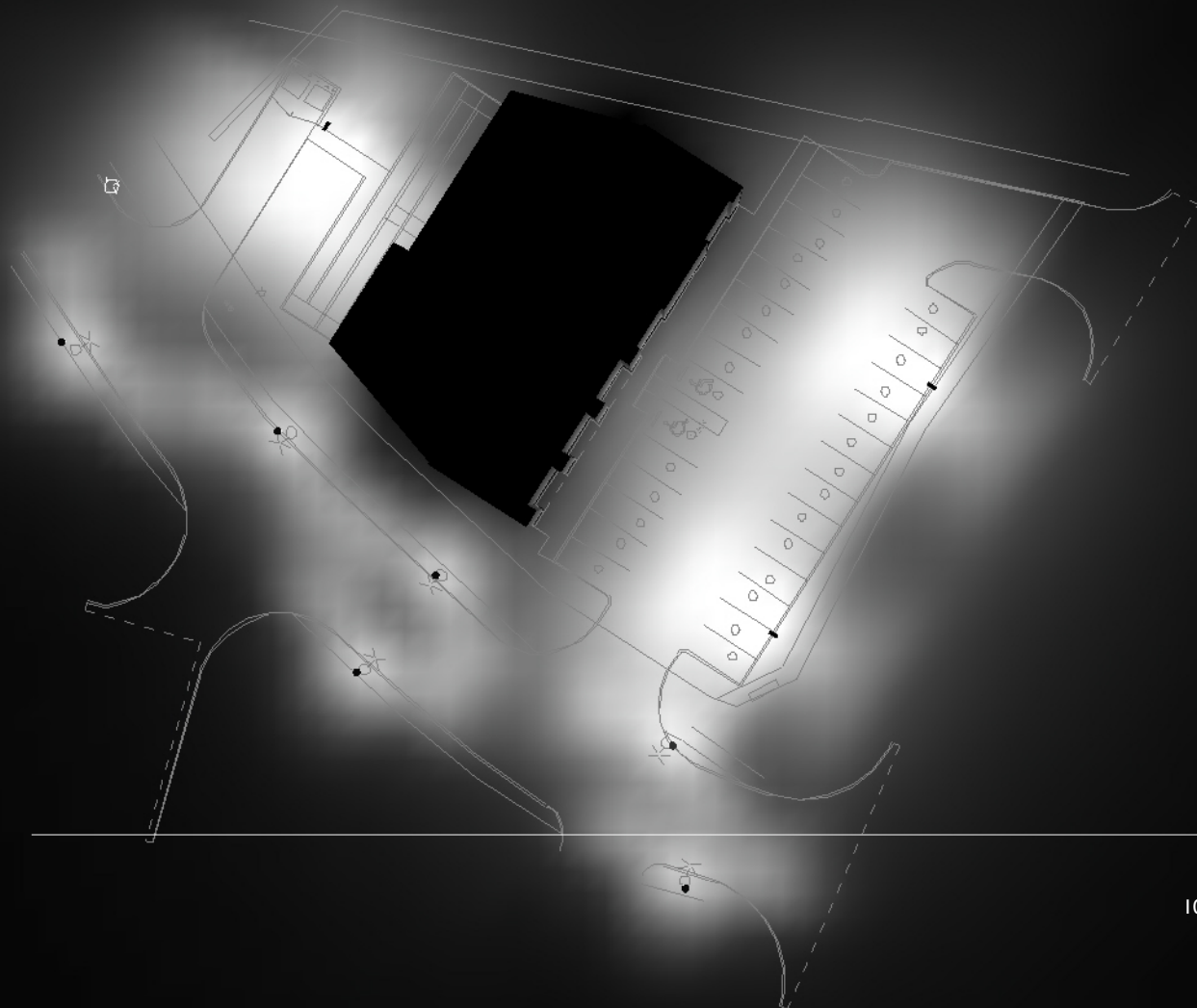
©copyright BEGA-US 2016 Updated 01/19



Architectural Lighting Alliance
101 Turtle Creek Blvd, Dallas TX 75207
O 214-658-9000 | F 214-658-9002
www.alatx.com



Architectural Lighting Alliance
101 Turtle Creek Blvd. Dallas TX 75207
O 214-658-9000 | F 214-658-9002
www.alatx.com



Architectural Lighting Alliance

101 Turtle Creek Blvd. Dallas TX 75207
O 214-658-9000 | F 214-658-9002

www.alatx.com





301 Commerce Street, Ste. 1410
Fort Worth, TX 76102
817-896-0976
anna.blackwell@carrilloeng.com

November 7, 2019

Mr. Ryan C. Miller, AICP
Director Planning & Zoning
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Re: Proposed Ridge Road Retail

Dear Ryan:

As part of the proposed Ridge Road Retail Development, we are requesting approval of the following variances:

1. Dumpster Orientation:

Reason for Variance Request: As part of this project, Glen Hill Way will be realigned to provide a gateway into the future PD32 master planned area. Right-of-Way is being dedicated for Glen Hill Way out of this property. Because the alignment of Glen Hill Way has been previously in PD32, this results in various challenges and site constraints, especially in the rear of the property. The site in the rear becomes very narrow and does not provide enough space for a trash pickup truck to enter the site and turn.

2. Driveway Spacing:

Reason for Variance Request: As with the variance request above, the reason for this variance request is due to the site constraints resulting from the Right-of-Way dedication of Glen Hill Way and its pre-determined alignment. Because of the site constraints and narrow nature of the rear portion of the site, it makes more sense for the building and front parking lot to be closer to Ridge Road. This also allows to maintain only two rows of parking in the front. The resulting spacing is 68.7 feet and not the 100 feet that is required.

3. Stone Percentage Requirement:

Reason for Variance Request: The siting of this building is a bit of a challenge. We are working with a constrained site that is remote to the rest of the buildings covered under this PD. Working with the Architectural Design Committee on a final solution we discussed how stone might be implemented on this project in a unique way. We have provided more than 20% of the façade material as a whole. However as this material is not equally applied to all 4 elevations we need a variance. We have introduced a dark gray burnished CMU in the base courses of the project to ground the building to the ground, which works the same stone would traditionally be used.

As a concession, the developer will construct the relocated Glen Hill Way along the length of the property.

Please contact me if you have any questions or need any additional information.

Very truly yours,

CARRILLO ENGINEERING, LLC

A handwritten signature in blue ink that reads "Anna C. Blackwell". The signature is written in a cursive style with a large initial 'A' and a distinct 'C' before the last name.

Anna C. Blackwell, P.E



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 12, 2019
APPLICANT: Matthew Gardner; *Halff Associates*
CASE NUMBER: SP2019-040; *Site Plan for Ellis Center, Phase 2 Addition*

SUMMARY

Discuss and consider a request by Matthew Gardner and Halff Associates on behalf of Reid Caldwell of Rockwall Urban Industrial, LP for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive, and take any action necessary.

BACKGROUND

The subject property was annexed on November 30, 1959 by *Ordinance No. 60-01*. The subject property was zoned -- *along with the remainder of the 23.888-acre tract of land that made up Phases 1 & 2 of the Ellis Center Addition* -- from an Agricultural (AG) District and Commercial (C) District to a Light Industrial (LI) District on December 5, 1983 by *Ordinance No. 83-61 (PZ1983-035-01)*. The subject property was then platted as part of Lot 2 and all of Lots 4 & 5 of the Ellis Center, Phase 2 Addition on February 15, 1985 as part of *Case No. PZ1984-014-01*. The subject property was later assembled into its current configuration (*i.e. Lot 1, Block D, Ellis Center, Phase 2 Addition*) by *Case No. P2018-015*.

PURPOSE

On October 18, 2019, the applicant -- *Matthew Gardner of Halff Associates* -- submitted an application requesting approval of a site plan for the purpose of developing a multi-tenant industrial site consisting of three (3) separate buildings that will be approximately 87,600 SF (*i.e. 50,400 SF, 25,200 SF, & 12,000 SF*). The proposed development is subject to the land use, density and dimensional requirements of the Light Industrial (LI) District as stipulated by the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located north of the intersection of Alpha Drive and Sigma Court. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is an un-platted 71.022-acre tract of land that is vacant (*i.e. Tract 20-1 of the A. Hanna Survey, Abstract No. 99*), which is zoned Light Industrial (LI) District. Beyond this property is Justin Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

South: Directly south of the subject property is the continuation of Phases 1 & 2 of the Ellis Centre Addition, which are occupied with light industrial land uses. All of these properties are zoned Light Industrial (LI) District. Beyond this is an urgent care/medical office facility (*i.e. Baylor Scott & White Emergency Hospital*) that is zoned Light Industrial (LI) District. South of this land use is the westbound frontage road for E. IH-30.

East: Directly east of the subject property are two (2) large tracts of land (i.e. Lots 1 & 2 of the Rockwall Industrial) which are bisected by Industrial Boulevard. Industrial Boulevard is identified as a M4U (i.e. minor collector, four [4] lane, roadway) on the City's Master Thoroughfare Plan. The majority of these properties were developed during the 1970's and 1980's. All of these properties are zoned Light Industrial (LI) District.

West: Directly west of the subject property is a 41.649-acre tract of land (i.e. Lot 1, Block 1, Herman Utley Middle School Addition) zoned Agricultural (AG) District. Adjacent to the subject property is Wilkerson-Sanders Memorial Stadium. Beyond this property is N. TL Townsend Drive, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), light manufacturing/multi-tenant warehouse facilities are permitted *by-right* land uses in a Light Industrial (LI) District. The subject property proposes one (1) point of ingress and egress at the terminus of Alpha Drive. Other than the exceptions being requested, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Light Industrial (LI) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	x>7.02-acres; In Conformance
<i>Minimum Lot frontage</i>	100-Feet	x> 750-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	x>366-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	x>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	0-Feet + ½ H	x>15-feet; In Conformance
<i>Minimum Side Yard Setback</i>	0-Feet + ½ H	x>44-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	x>40-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	x<29%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	x>90%; Exception Required for Tilt-Up Wall Construction
<i>Minimum Number of Parking Spaces</i>	1:1000=88	x=161; In Conformance
<i>Minimum Stone Requirement</i>	20% Each Facade	x≤5%; Exception Required
<i>Minimum Landscaping Percentage</i>	15%	x=21%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	x<95%; In Conformance

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 59-caliper inches to be removed from the site, which are primarily cedar trees. The applicant is providing 144-caliper inches on site, which satisfies the mitigation requirements.

CONFORMANCE WITH THE CITY'S CODES

Subsection 5.02, *Light Industrial (LI) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), states that the "*Light Industrial (LI) District* is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses." The proposed multi-tenant light industrial complex are a permitted land uses in the Light Industrial (LI) District. Additionally, all operations will be indoors with no outside storage of materials unless properly screened or buffered.

According to Subsection 5.02.B, *Screening from Residential Uses*, of Article VIII, *Landscape Standards*, of the Unified Development Code (UDC), non-residential developments that have a "...side or rear contiguous to any residential zoned or used property...shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees*) along the entire length of the adjacency...(t)he canopy trees shall be placed on 20-foot centers."

In this case, the applicant is providing a three (3) tiered screening system along the entire western property boundary that is adjacent to the Herman Utley Middle School; however, RISD has an existing wrought-iron fence along this western property boundary. Based on the existing fence on the RISD's property the applicant is not proposing to incorporate an additional wrought iron fence. Staff made this suggestion to the applicant to prevent the possibility of creating a strip of land in between the two (2) fences that would be hard for either property owner to maintain. With all this being said, the proposed landscape screening is a discretionary approval for the Planning and Zoning Commission upon a determination that the provided screening will achieve the intent of the screening ordinance. This has been included as a condition of approval in this case memo.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

(1) *Building Materials.*

- (a) *Stone.* According to Section 5.01.A.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, a minimum of 20% stone is required on all building façades. In this case, the applicant is providing stone on the columns at the entry ways of the buildings; however, the stone falls short of the 20% requirement. Staff should note that this is not an uncommon request with larger industrial buildings.
- (b) *Tilt Wall.* According to Section 5.01.A.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, the use of concrete tilt-up walls may be permitted on a case-by-case basis by the Planning and Zoning Commission. The proposed building is 100% tilt-wall construction.

(2) *Articulation.*

- (a) *Primary Building Façades.* According to Section 5.01.C.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of four (4) time the walls height without an architectural/entryway element. In this case, the proposed building does incorporate vertical projections, but does not meet the horizontal projection standards on the primary façades.
- (b) *Secondary Building Façades.* According to Section 5.01.C.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, secondary facades require projections associated with entryways and architectural elements. Specifically, the secondary architectural/entryway elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In this case, the proposed building does

incorporate vertical projections, but does not meet the horizontal projection standards on the secondary façades.

(3) *Residential Screening Fence.*

Screening. According to Subsection 5.6, *Screening from Residential Uses*, of Section 5, *Mandatory Provisions*, of Article VIII, *Landscape Standards*, of the Unified Development Code (UDC), “any non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers ... (a) as an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e.* [1] *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or* [2] *evergreen trees and canopy trees*)

(4) *Detention Pond.*

(a) *Maximum of 4:1 Slope.* According to the Engineering Department’s Standards of Design and Construction Manual, “(d)etention ponds shall have a side slope 4:1 or flatter. No retaining walls are allowed in detention ponds.” In this case the applicant is requesting vertical retaining walls within the detention system. According to Section 3, *Storm Drainage Facilities*, of the Standards of Design and Construction Manual, “(a) variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.” To off-set the variance, staff has included a condition of approval that the applicant be required to screen the detention system with a combination of trees and shrubs. This will require the applicant to revise the landscape plan prior to submitting civil plans.

According to Section 9, *Exceptions and Variances*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, “(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the...(UDC) would create an undue hardship. In cases where an exception or exceptions is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception.” In this case, the applicant has provided a letter explaining the variances and offering compensatory measures for the requested variances. The Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested variance. This is a discretionary decision for the Planning and Zoning Commission that require approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission’s decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan (*Comp Plan*) indicates that the subject property is located within the *IH-30 Corridor District* which is “... the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial.” Additionally, the *Special Commercial Corridor (SC)* designation “...is intended to provide an area for commercial/retail...activity centers that are intended to support and serve the entire region.” (*Ch. 1; Land Use Plan*) In this case, the applicant’s request does not conform to the development referred to in the Comprehensive Plan; however, the development is going into an existing industrial park that is already zoned for the proposed land use.

According to the Comprehensive Plan, industrial developments should be adequately buffered and/or screened from residential land uses. In addition, the Comprehensive Plan states that “(b)uffers utilizing a combination of berms, landscaping and trees should be used for industrial properties that are adjacent to non-industrial land uses or agricultural land.” While the adjacent property (*i.e. Herman Utley Middle School*) is zoned Agricultural (AG) District -- *which is considered to be residential* -- the property is developed with a non-residential land use (*i.e. a football stadium*). Regardless of the adjacency, the applicant is proposing to install a three (3) tiered landscape screening system in conjunction with an existing wrought-iron fence (*located on the adjacent property*) to accomplish the screening required by the Comprehensive Plan and Unified Development Code (UDC).

ARCHITECTURAL REVIEW BOARD (ARB)

On October 29, 2019, the Architectural Review Board (ARB) reviewed the proposed site plan and building elevations. Based on the submittal the Architectural Review Board (ARB) requested that the applicant incorporate stone around the primary and secondary entryways for the building. The applicant has revised the building elevations to incorporate the stone. The Architectural Review Board (ARB) will review the applicant's changes at the November 12, 2019 meeting and provide a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Approval by the Planning and Zoning Commission of all exceptions requested as outlined in staff's report;
- (3) The applicant will be required to revise the landscape plan to incorporate a mixture of trees and shrubs to screen the detention pond adjacent to the entryway off of Alpha Drive prior to submitting civil plans;
- (4) All Roof Top Units (RTU's) will need to be screened and not visible from adjacent properties or public rights-of-way; and
- (5) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall
Project Plan Review History



Staff Comments Highlighted

Project Number SP2019-040
Project Name Ellis Centre Phase 2 Addition
Type SITE PLAN
Subtype
Status Staff Review

Owner ROCKWALL URBAN INDUSTRIAL, LP
Applicant HALFF ASSOCIATES

Applied 10/21/2019 LM
Approved
Closed
Expired
Status

Site Address ALPHA DR
City, State Zip ROCKWALL, TX 75087

Zoning

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
ELLIS CENTRE 2	1	D	1	3586-000D-0001-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	10/21/2019	10/28/2019	10/22/2019	1	APPROVED	
ENGINEERING	Sarah Johnston	10/21/2019	10/28/2019	10/24/2019	3	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(10/24/2019 4:26 PM SJ) M - Add note, "No trees within 5' of utilities" to the landscape plan. M - Parking near the building to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.19 M - All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30' min. Standards of Design 2.19 M - Driveway radii to be 30' min. Standards of Design 2.19 M - No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 6.4.1 M - All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.3.1 M - Must show existing utilities and your planned service connections. M - Minimum easement width is 20' for proposed easements. Standards of Design 5.3.1 and 6.4 M - Retaining walls in detention require a variance Standards of Design 3.3.2 M - Must stub out the 8" water and 8" sewer to the northern property for future expansion M - Must meet all standards of design and construction I - 4% Engineering Fees I - Impact Fees I - Must have detention on-site Manning's C-valve is per zoning I - Water and sewer lines must have 10' of easement on both sides I - No utilities in detention easements I - No grate utilities allowed I - Cul-de-sac paving to be 8" 3600 psi (6.5 sack mix) I - No sand is allowed under paving. I - Walls 3' and over must be engineered I - All retaining walls to be rock or stone face No smooth concrete walls I - If storm is picking up offsite drainage the pipe maintained must be I - Where you show the 15'x64' turnaround, you must stripe the entire area as no parking.							
FIRE	Ariana Hargrove	10/21/2019	10/28/2019	10/24/2019	3	COMMENTS	see notes
(10/24/2019 3:16 PM AA) FDC shall be: -facing and visible from the fire lane - within 100-feet of a fire hydrant - clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access - installed 18-48 inches above grade. (Ord 16-31)							
FIRE	Ariana Hargrove	11/6/2019	11/13/2019	11/6/2019		COMMENTS	see notes
(11/6/2019 10:11 AM AA) Fire hydrant shall be located within 6-ft for the fire lane. Add fire lane as shown on markups or relocate fire hydrant and FDC. Fire hydrant shall be within 6-ft for fire lane (IFC 507.5.1.2) FDC shall be within 100-ft of a fire hydrant. (IFC 912.2.3)							
GIS	Lance Singleton	10/21/2019	10/28/2019	10/22/2019	1	APPROVED	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(10/22/2019 3:01 PM LS) Addressing will be: BLDG 1 = 1915 Alpha Dr, Rockwall, TX 75087 BLDG 2 = 1905 Alpha Dr, Rockwall, TX 75087 BLDG 3 = 1910 Alpha Dr, Rockwall, TX 75087							
PLANNING	David Gonzales	10/21/2019	10/28/2019	10/24/2019	3	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/24/2019 8:50 PM DG)						
SP2019-040; Site Plan for Rockwall Urban & Industrial Center (Ellis Centre, Phase 2)						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2019-040) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC); including the District Development Standards, of Article V, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit.						
M.6 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please provide a label for the parking count for each row of spaces in order to determine total parking count						
2) The cross sections of concrete pavement thickness is to be determined by the engineering department during the civil submittal process and is not considered to be approved during this site plan process.						
3) Parking for an office use requires a minimum of one(1) parking space per 300-SF (i.e. 1:300 SF) of gross floor area. Will there be offices uses within this complex? If so, please update parking legend. (Article VI, Table 3).						
4) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director.						
5) Is there a front building set back? If so, this is required to be 25-ft. Please adjust accordingly.						
6) Provide a label for all drive aisle widths.						
7) Indicate and label all sidewalk widths proposed for this site.						
8) Delineate and label all loading dock parking spaces. Minimum 12-ft wide & 65-ft in length. (Art. VI, Section 6.04)						
9) Ground mounted utility equipment and RTUs shall be screened from adjacent public rights-of-way and adjacent property. Provide screening detail for these units. (Art. V, Sec. 1.05.3)						
10) Provide screening along the western property boundary from the school district property. (Art. VIII, Sec. 5.02.B Landscape Screening)						
11) Will there be any outside storage of materials, products, etc.?						
M.8 Building Elevations. According to Subsection 5.01.A1, of the General Industrial District Standards, of Article V, District Development Standards, of the UDC, requires a minimum of 20% stone (i.e. natural or synthetic/cultured) on all building façades. In this case, the construction of the addition does not include stone on any façade. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board(ARB).						
M.9 Building Elevations. According to Subsection 5.01A.1, General Industrial District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 90% primary materials and ten (10) percent secondary materials. In this case, the construction consists of concrete tilt-up wall. The use of concrete tilt-up walls may be permitted on a case-by-case basis in accordance with the exception requirements outlined in this section of the UDC This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board(ARB).						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.10						Building Elevations. Please review the articulation formulas contained in Section 5.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
M.11						Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> 1) Indicate all HVAC units (i.e. dash-in RTU's) on the building elevations so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC). 2) Provide calculation of building materials as a percentage
M.12						Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> 1) Provide screening along the western property boundary from the school district property. Art. VIII, Sec. 5.02.B Landscape Screening, states (a) any non-residential...land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers (as depicted in Figures 6 & 7 below). As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers. As a note, the Agricultural (AG) District is considered residential. 2) Correct table to indicate a minimum 15% landscaping required (currently indicates 10%). 3) All new tree plantings are to be a minimum of 4-inch caliper trees. Correct plan. (Art. VIII, Sec. 4.A.2) 4) Parking lots greater than 20,000 SF are required to provide a minimum of one (1) tree for each 10 parking spaces. 161 parking spaces = 16 trees within the parking lot area. (Art. VIII, Sec. 5.03.E.2)
M.13						Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, the director of planning and zoning, or his/her designee, shall review the treescape plan and approve the plan per the requirements of this article, or forward any recommendations to the planning and zoning commission. As part of the treescape plan review process, the city has the right to request changes or adjustments in the layout and design of a development to save trees. The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.
M.14						Photometric Plan. According to Section 3.3, Minimum Requirements, of Article VII, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. In this case, the submitted photometric plan conforms to the requirements of the UDC. <ol style="list-style-type: none"> 1) No light pole, base or combination thereof shall exceed an overall height of 30-ft. Provide pole detail. (Art. VII, Sec. 3.3.D)
M.15						Based on the submittal staff has identified the following exceptions: <ol style="list-style-type: none"> 1) Building Materials. The proposed addition is requesting the use of tilt-up wall construction and does not include a minimum of 20% stone. 2) Building Articulation. The proposed addition does not meet the articulation standards established by the UDC.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.</p> <p>I.14 Please note that failure to address all comments provided by staff by 8:00 AM on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p> <p>I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2019 Planning & Zoning Meeting. Please note that the Planning & Zoning Work Session meeting will be held on October 29, 2019.</p> <p>I.16 The Architectural Review Board (ARB) meeting will be held on October 29, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission.</p> <p>I.17 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.</p>						
PLANNING	David Gonzales	11/6/2019	11/13/2019	11/6/2019	COMMENTS	Revision 1 Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(11/6/2019 11:54 AM DG)</p> <p>SP2019-040; REVISION 1 -- Site Plan for Rockwall Urban & Industrial Center (Ellis Centre, Phase 2)</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is a request for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive.</p> <p>I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.</p> <p>I.3 This project is subject to all requirements stipulated by the Unified Development Code(UDC); including the District Development Standards, of Article V, that are applicable to the subject property.</p> <p>I.4 Please note that the property will require a replat prior to the issuance of a building permit.</p> <p>M.5 Based on the submittal staff has identified the following exceptions</p> <p>1) Building Materials. The proposed addition is requesting the use of tilt-up wall construction and does not include a minimum of 20% stone. ADDITION OF STONE NOT EQUAL TO 20%.</p> <p>2) Building Articulation. The proposed addition does not meet the articulation standards established by the UDC</p> <p>LETTER PROVIDED: To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.</p> <p>I.6 Please note that the Planning and Zoning Commission meeting will be held on November 12, 2019.</p> <p>I.7 The Architectural Review Board (ARB) meeting will be held on November 12, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission</p> <p>I.8 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.</p>						
Police Department	David Gonzales	10/25/2019	11/1/2019	10/25/2019	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/25/2019 12:12 PM DG)						
The following CPTED comments are from Captain Ed Fowler of the Rockwall Police Department						
SP2019-040 Ellis Center Phase 2						
Considerations						
<ul style="list-style-type: none"> • Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing • Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area. • Consider lighting spaced at intervals around the overhead doors(sides) and rear that fully illuminate the area. • Evaluate transitional lighting for employees entering the parking lot from an area that has bright lighting to dim lighting and may pose a visual problem • There does not appear to be shrubs or trees that will obstruct views around the business • Consider additional locking mechanisms for overhead doors in the form of a bar system and case hardened locking system • Consider the addition of removable bollards for overhead doors to prevent vehicles from being used to breach the doors • Consider auxiliary locking system on main entrance door(s) with limited key access, key pad or electronic badges for afterhours employees • Consider all exterior doors being equipped with alarm contact sensors and windows with glass break sensors • Consider motion sensor alarms inside the business and motion activated lighting for the interior. • Consider installation of locking mechanisms on all sliding windows up to the use of security rods. • Roof access points should be locked from the inside • Consider installation of solid core doors for offices inside the business including the room that houses the safe Single cylinder locks for all offices and a double cylinder lock for the safe room • Consider an additional alarm inside the safe room, either attached to the entrance door or safe • Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage. • Consider the addition of security cameras for the interior the business. • Interior considerations are not being added without speaking with the business owners/ reps first. 						
<p>The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crimeproof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.</p>						



STANDARD SITE PLAN WORDING

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

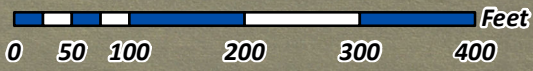
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the **[DAY]** day of **[MONTH], [YEAR]**.

WITNESS OUR HANDS, this **[DAY]** day of **[MONTH], [YEAR]**.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



SP2019-040 - SITE PLAN FOR ELLIS CENTRE PHASE 2 ADDITION
SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





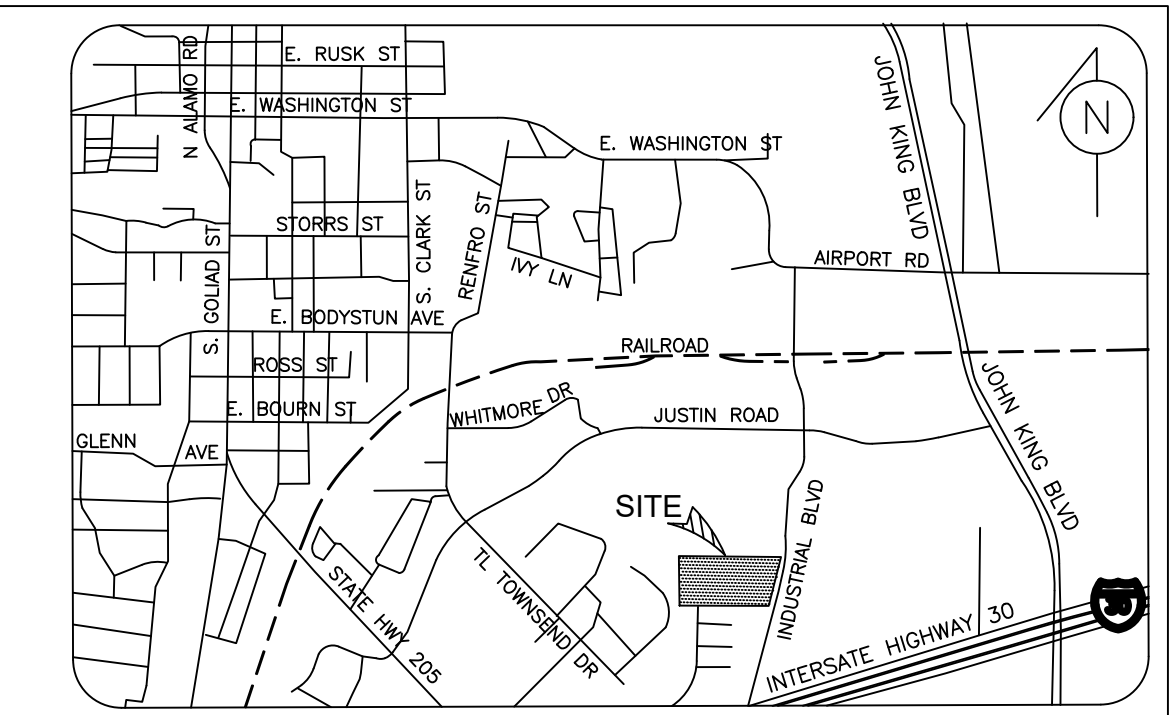
Revision No.	Date	Description

PRELIMINARY
 FOR INTERIM REVIEW ONLY
 THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:
 DYLAN B. HEDRICK 102108
 NAME P.E. NO.
 DATE 11/5/2019
 TBPE FIRM # F-312

OWNER/ DEVELOPER
 ROCKWALL URBAN INDUSTRIAL , LP
 13150 COIT ROAD
 DALLAS, TX. 75240
 CONTACT: REID CALDWELL
 EMAIL: reid@longbowinterests.com
 TEL: (214) 457-8198

ENGINEER
 HALFF ASSOCIATES, INC.
 1201 NORTH BOWSER ROAD
 RICHARDSON, TX. 75081
 CONTACT: DYLAN HEDRICK
 EMAIL: dhedrick@halff.com
 TEL: (214) 217-6426
 TBPE FIRM# F-312

Project No.: 35989
 Issued: NOVEMBER 2019
 Drawn By: REP
 Checked By: DBH
 Scale: AS SHOWN
 Sheet Title
DETAILED SITE PLAN
 1 OF 1
 Sheet Number



SHEET DATA:

CURRENT ZONING	LIGHT INDUSTRIAL
PROPOSED LAND USE:	LIGHT INDUSTRIAL
TOTAL SITE AREA:	7.02 ACRES

BUILDING:		
BUILDING 1	50,400	SF
BUILDING 2	25,200	SF
BUILDING 3	12,000	SF

PARKING:		
REQUIRED: 1 SPACE/1,000 SF (75%)	1 SPACE/300 SF (25%)	
TOTAL REQUIRED:	139	SPACES
PROVIDED:	155	SPACES
ACCESSIBLE SPACES PROVIDED:	6*	SPACES

*SPACES ARE INCLUDED IN TOTAL ABOVE

PAVING LEGEND

- 6" 3,600 PSI CONCRETE PAVEMENT.
- 7" 4,000 PSI CONCRETE PAVEMENT.
- 8" 3,600 PSI CONCRETE PAVEMENT.
- 4" SIDEWALK
- 6" CURB
- FIRE LANE
- PROPERTY LINE

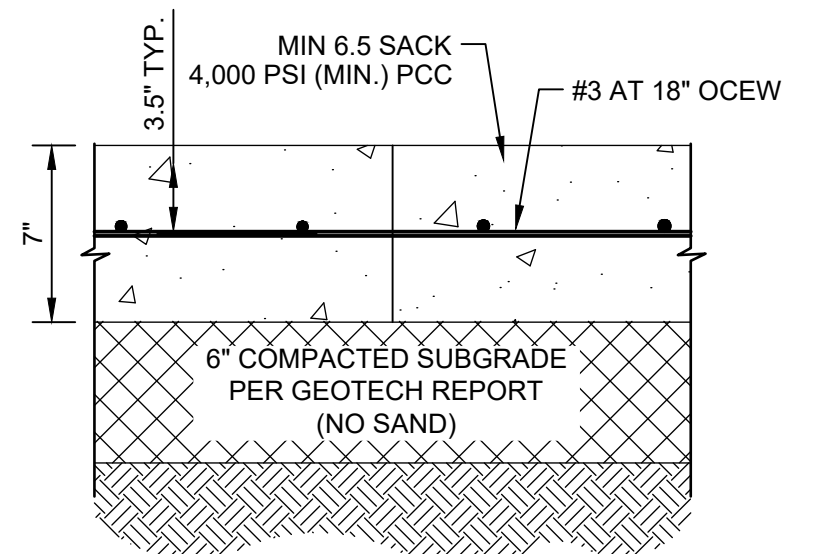
EXISTING FEATURES LEGEND

- F.H. FIRE HYDRANT
- PP OVERHEAD POWERPOLE
- SSMH SANITARY SEWER MANHOLE
- WV WATER VALVE
- EXISTING CONTOURS
- FDC

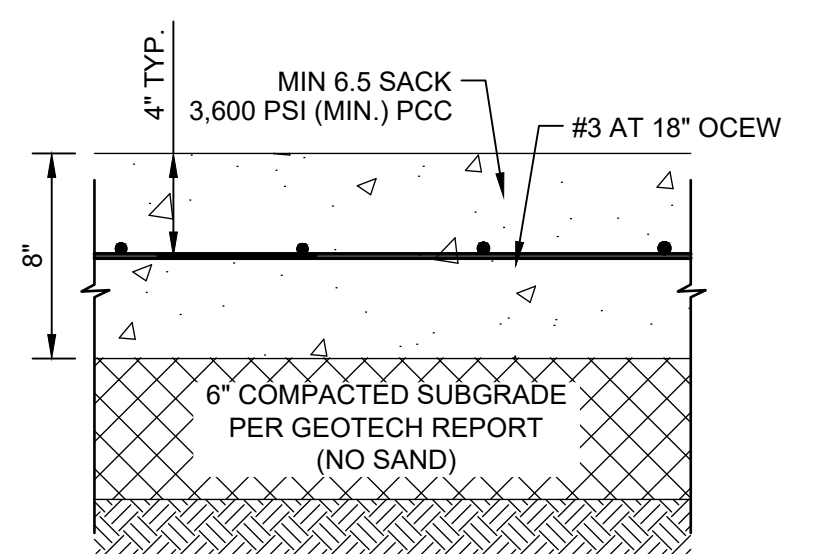
PROPOSED FEATURES LEGEND

- POWER POLE
- FIRE HYDRANT
- GRATE INLET
- CURB INLET
- STORM HEADWALL
- TRANSFORMER PAD
- PROPOSED CONTOURS
- LIGHT POLE
- NO. OF PARKING SPACES

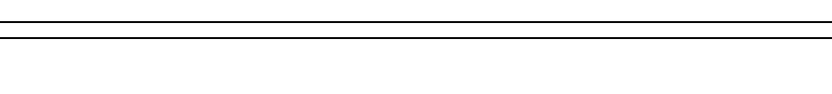
01 6" CONCRETE PAVEMENT SECTION
 SCALE: N.T.S.



02 7" CONCRETE PAVEMENT SECTION
 SCALE: N.T.S.



03 8" CONCRETE PAVEMENT SECTION
 SCALE: N.T.S.

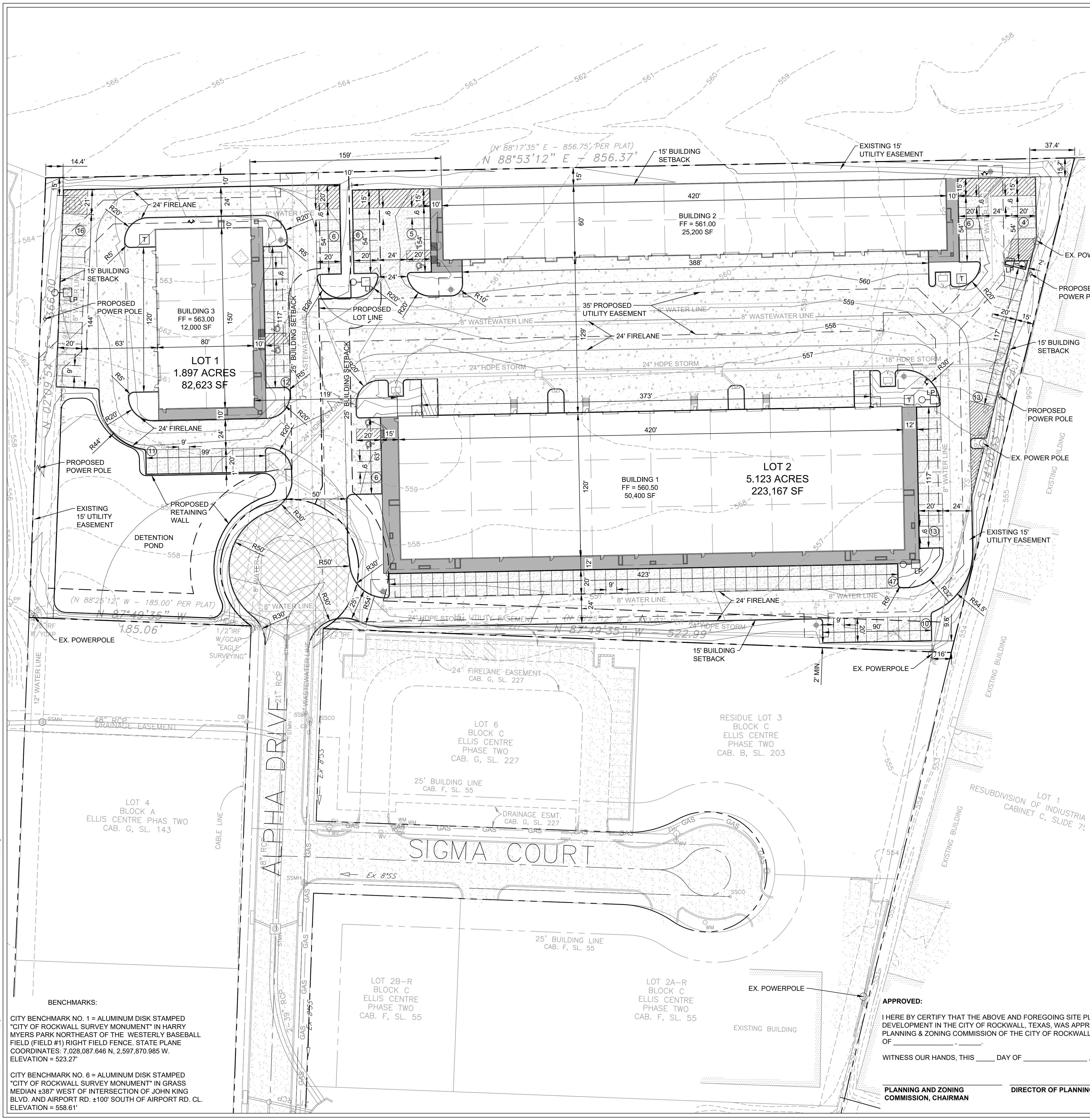


NOTES:
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

OWNER/ DEVELOPER
 ROCKWALL URBAN INDUSTRIAL , LP
 13150 COIT ROAD
 DALLAS, TX. 75240
 CONTACT: REID CALDWELL
 EMAIL: reid@longbowinterests.com
 TEL: (214) 457-8198

ENGINEER
 HALFF ASSOCIATES, INC.
 1201 NORTH BOWSER ROAD
 RICHARDSON, TX. 75081
 CONTACT: DYLAN HEDRICK
 EMAIL: dhedrick@halff.com
 TEL: (214) 217-6426
 TBPE FIRM# F-312

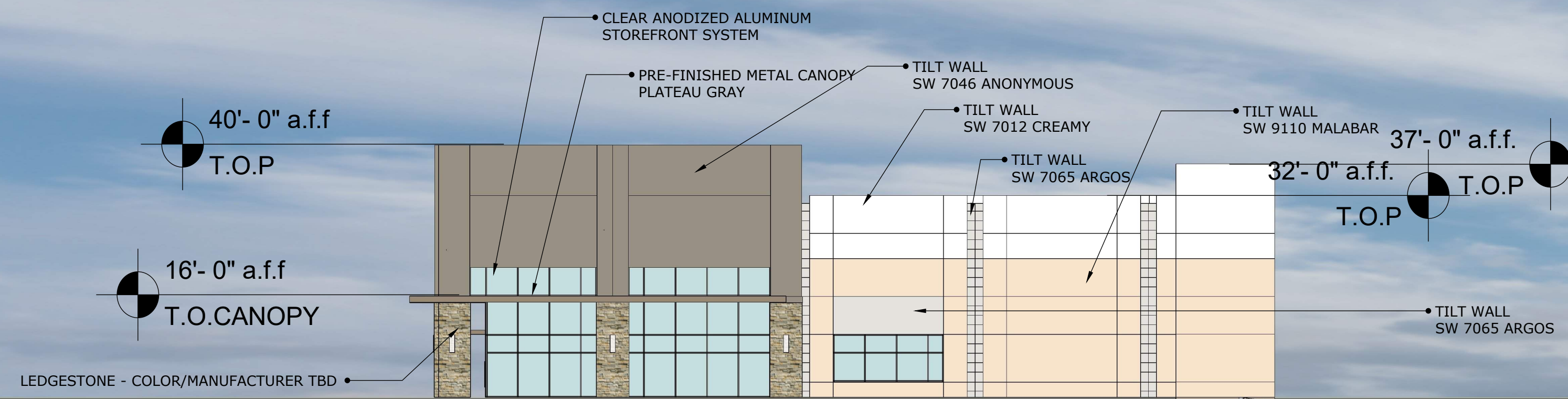
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAIN WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF DESIGN.



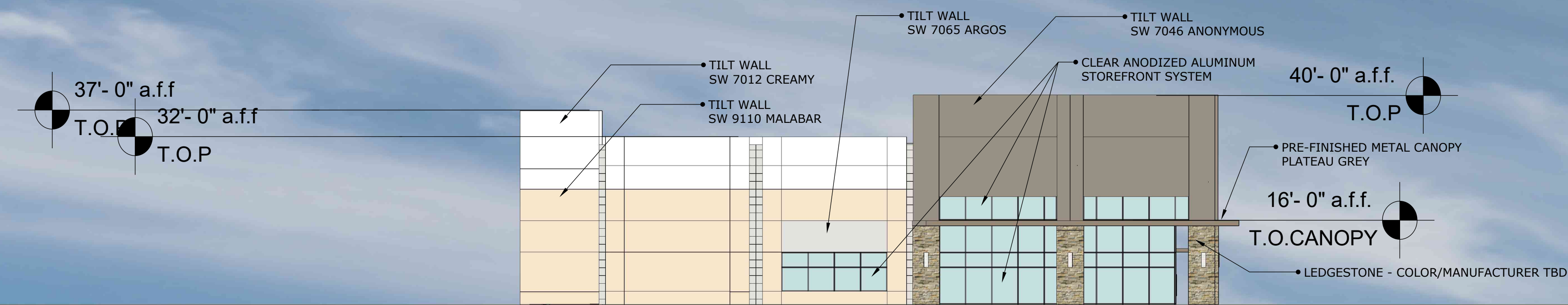
APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____
 WITNESS OUR HANDS, THIS ____ DAY OF ____

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

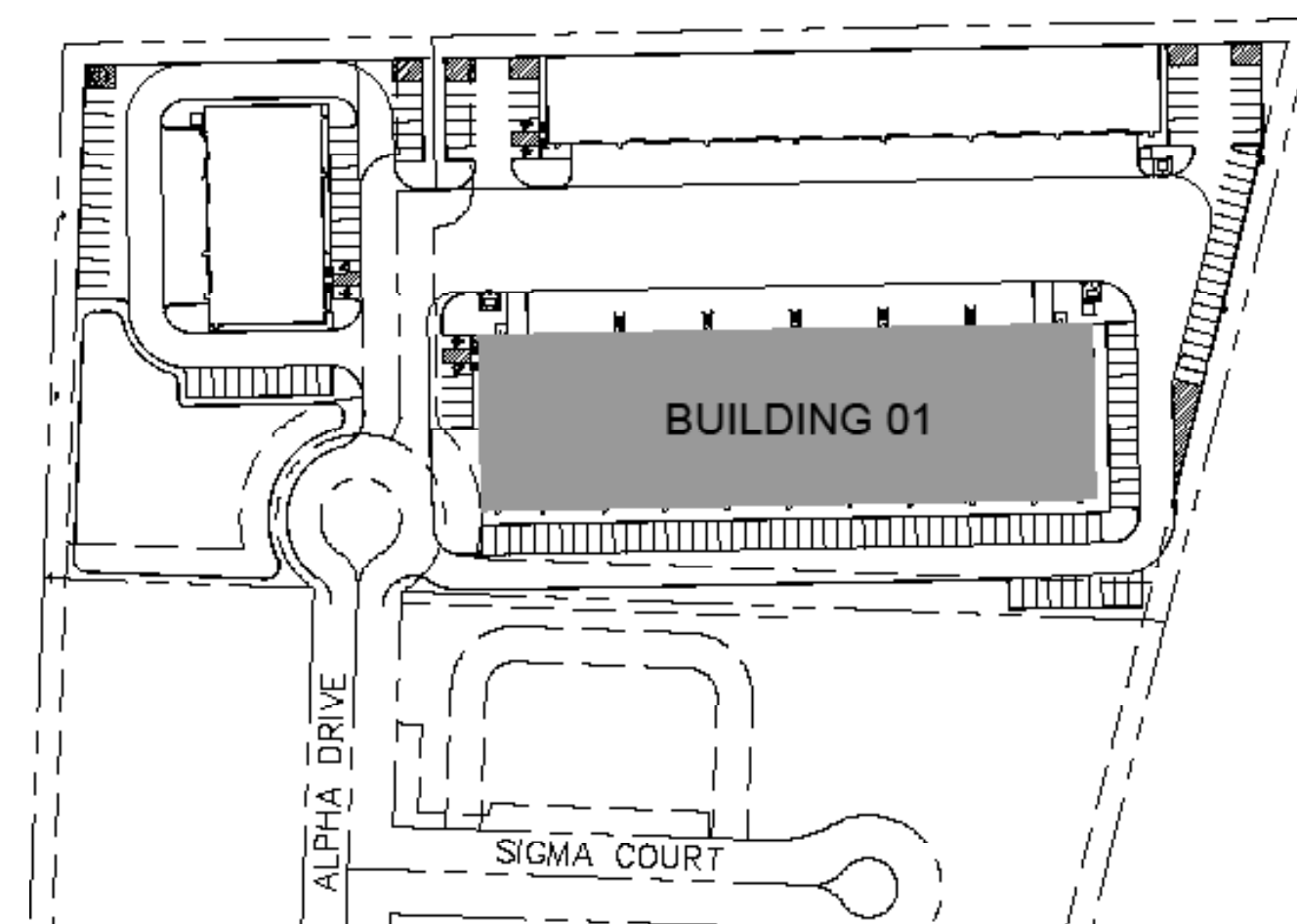
BENCHMARKS:
 CITY BENCHMARK NO. 1 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN HARRY MYERS PARK NORTHEAST OF THE WESTERLY BASEBALL FIELD (FIELD #1) RIGHT FIELD FENCE. STATE PLANE COORDINATES: 7,028,087.646 N, 2,597,870.985 W. ELEVATION = 523.27'
 CITY BENCHMARK NO. 6 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN ±387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. ±100' SOUTH OF AIRPORT RD. CL. ELEVATION = 558.61'



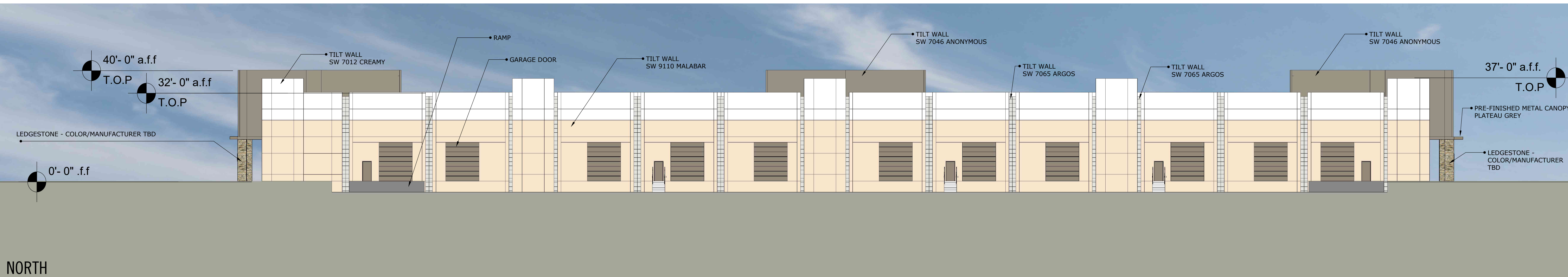
EAST



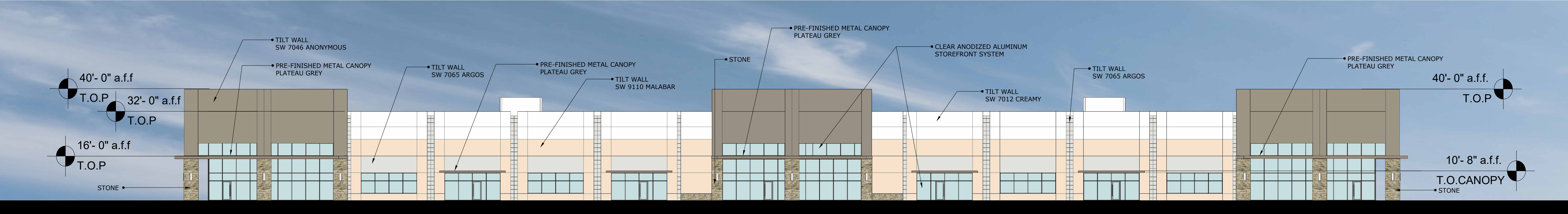
WEST



FAÇADE	BLDG 1			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	0	0	14,051	14,051
SOUTH	235	580	10,586	11,401
EAST	59	241	3,533	3,833
WEST	59	241	3,533	3,833
SF of Materials	353	1,062	31,702	33,117
Percentage of Material	1%	3%	96%	100%

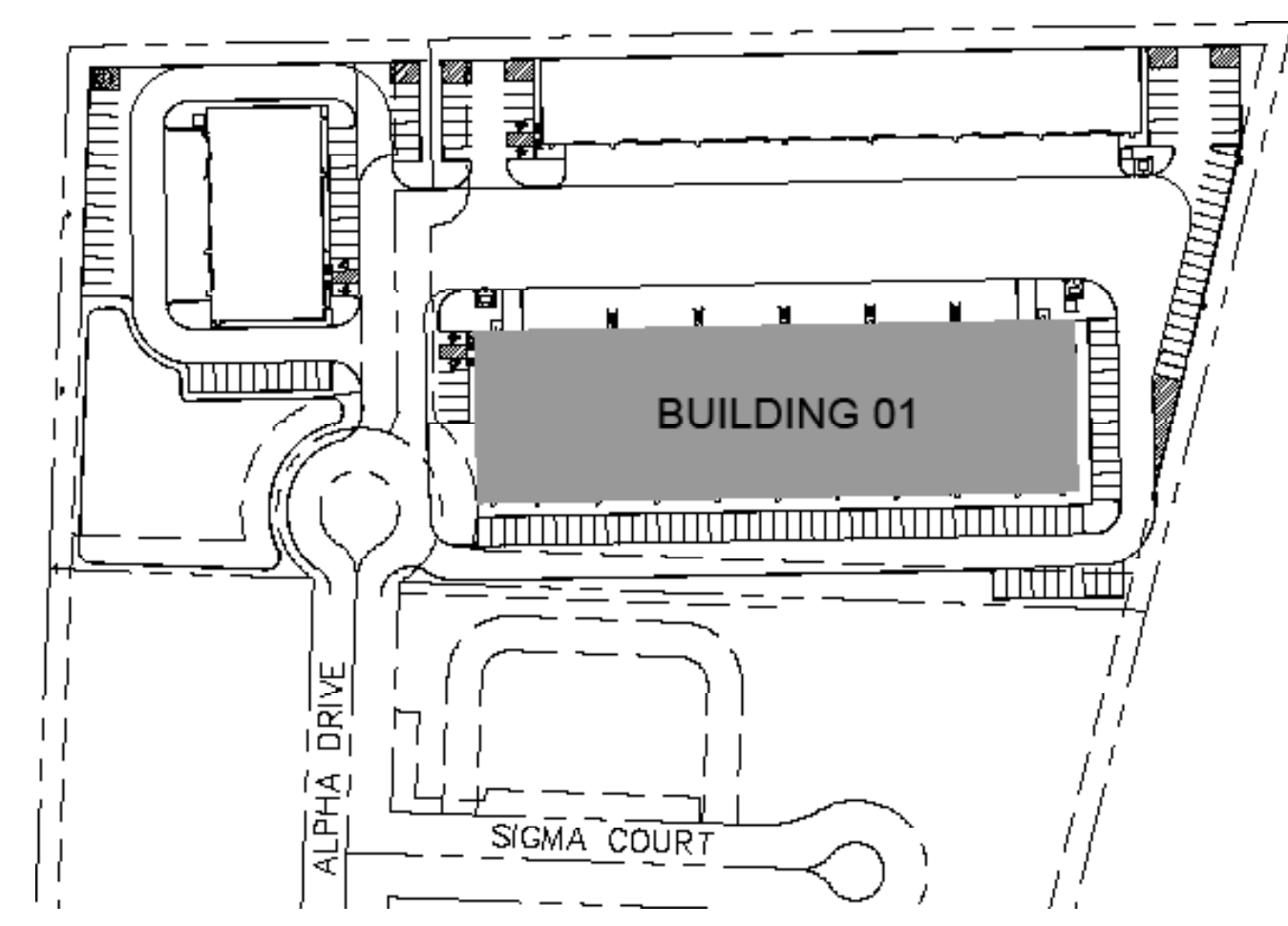
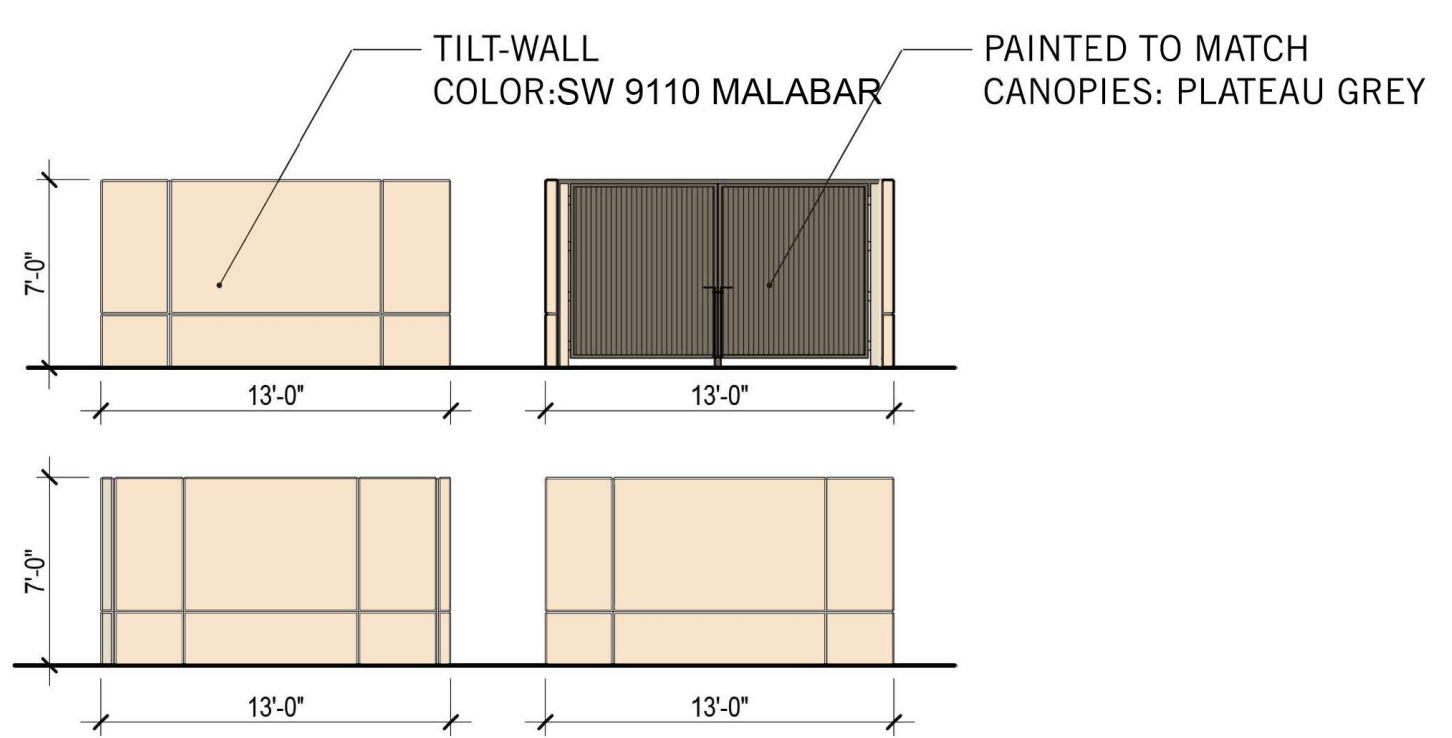


NORTH



SOUTH

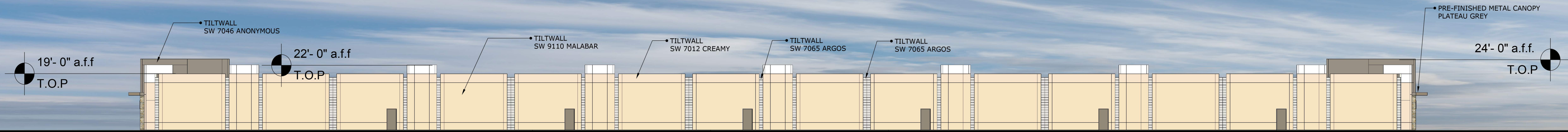
TYPICAL DUMPSTER ENCLOSURE ELEVATIONS



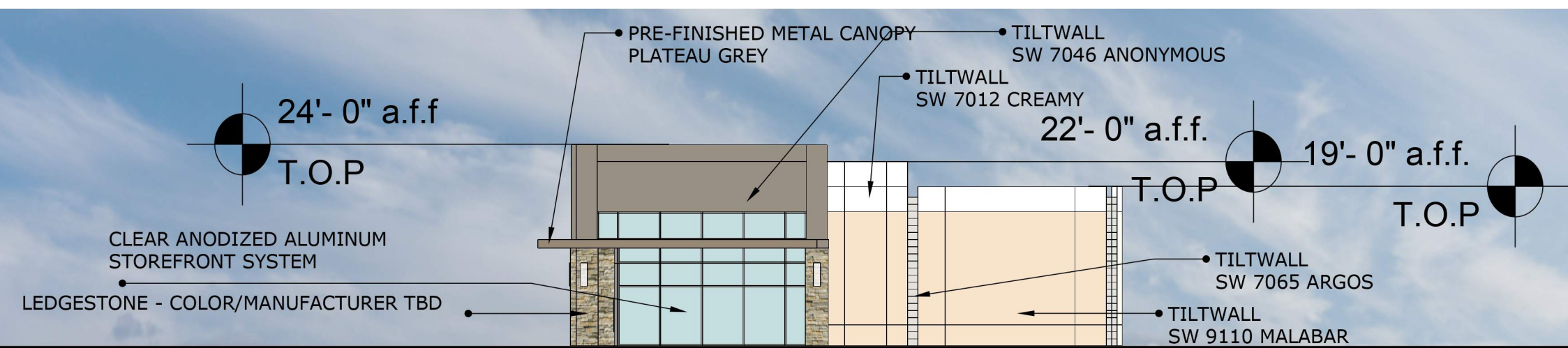
FAÇADE		BLDG 1		
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
NORTH	0	0	14,051	14,051
SOUTH	235	580	10,586	11,401
EAST	59	241	3,533	3,833
WEST	59	241	3,533	3,833
SF of Materials	353	1,062	31,702	33,117
Percentage of Material	1%	3%	96%	100%



SOUTH



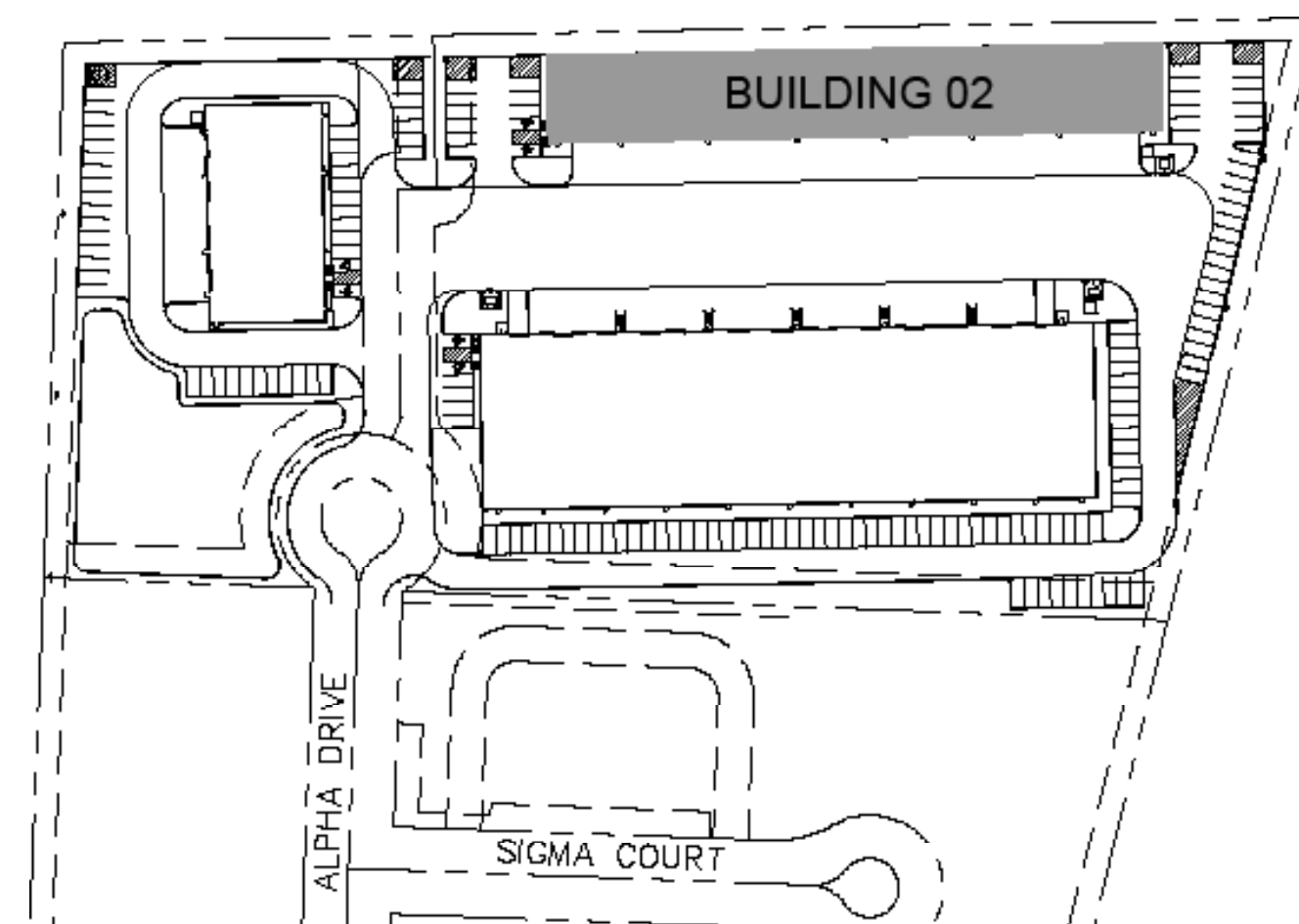
NORTH



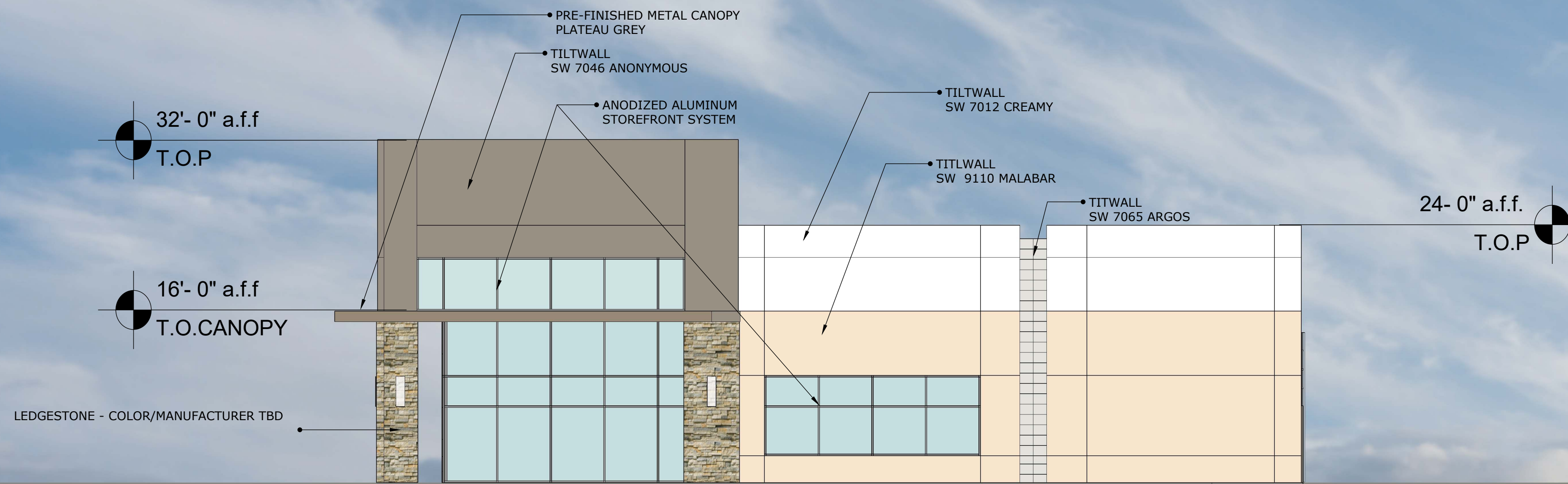
EAST



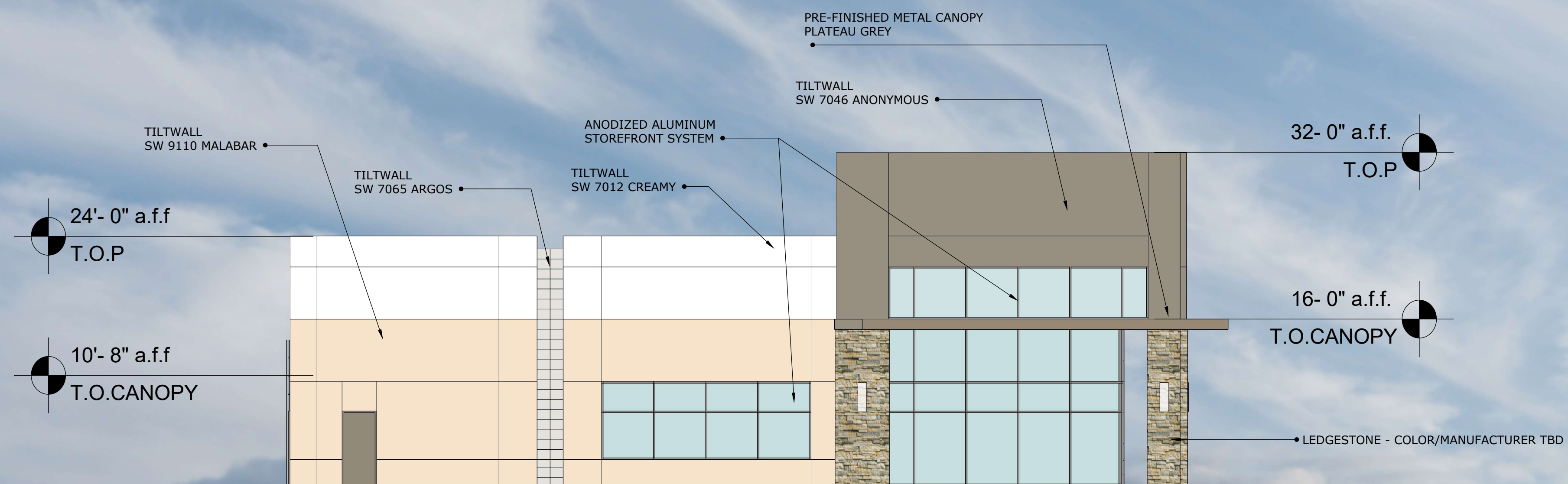
WEST



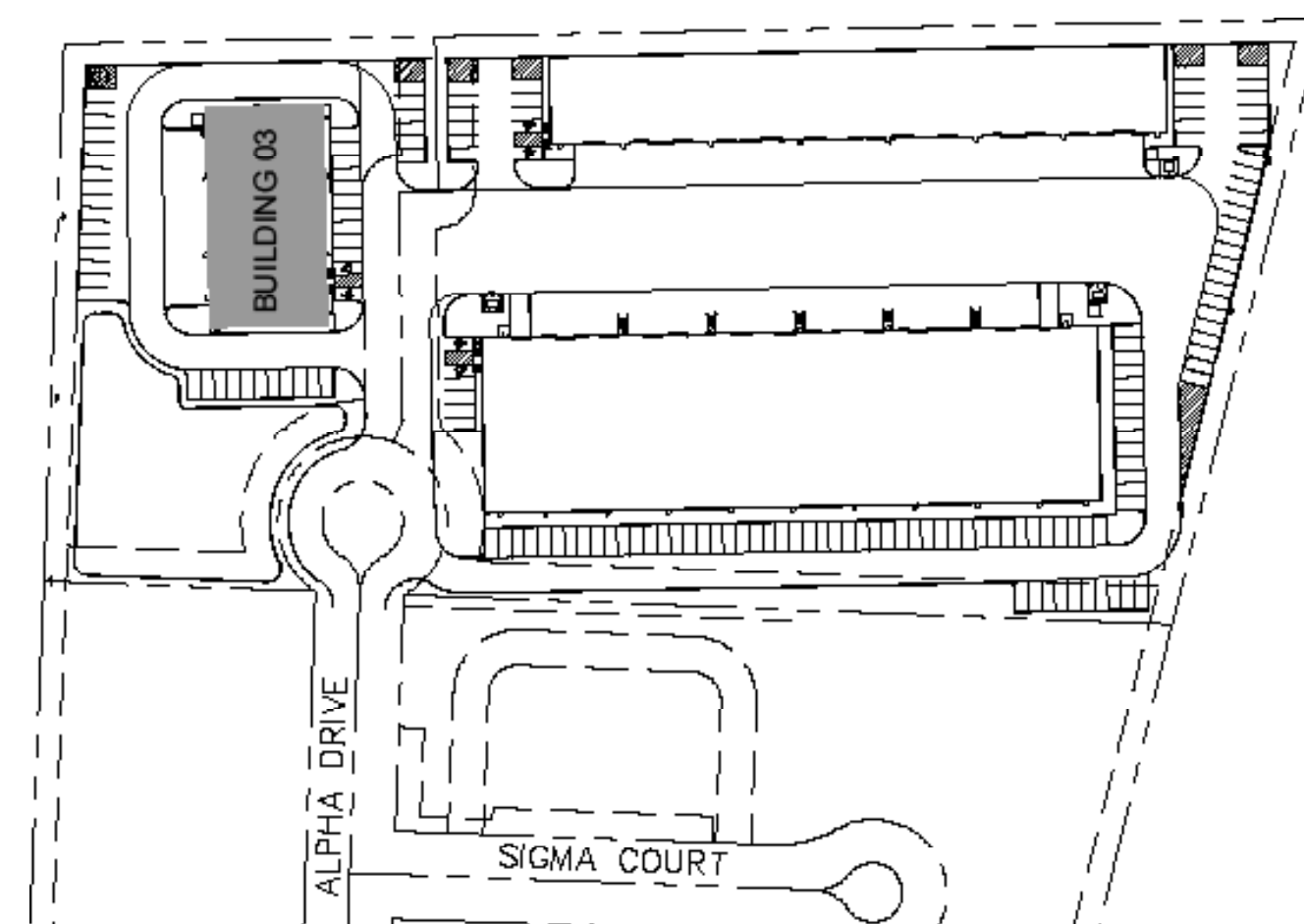
BLDG 2	MATERIALS			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	0	0	9,178	9,178
SOUTH	66	190	3,592	3,848
EAST	33	73	946	1,052
WEST	33	73	946	1,052
SF of Materials	132	336	14,662	TOTAL
Percentage of Material	1%	2%	97%	15,129
				100%



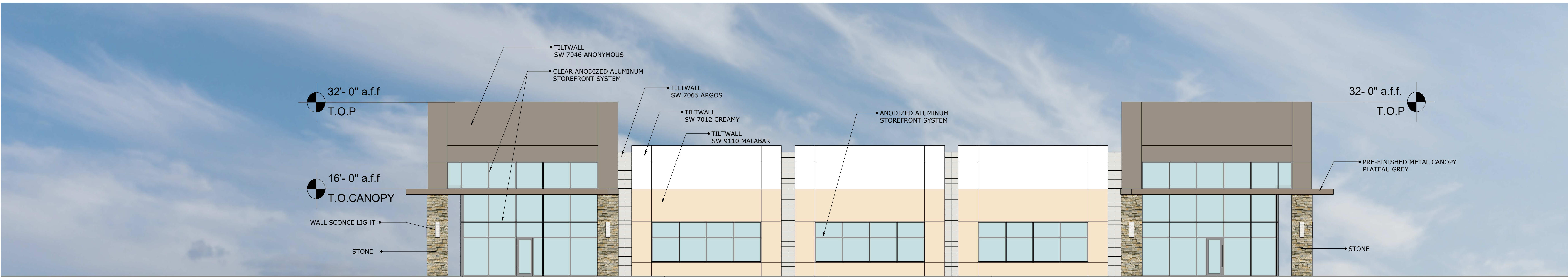
NORTH



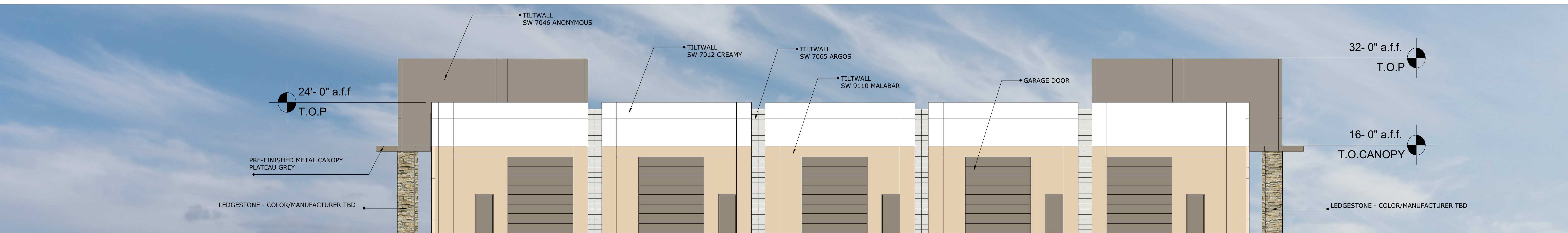
SOUTH



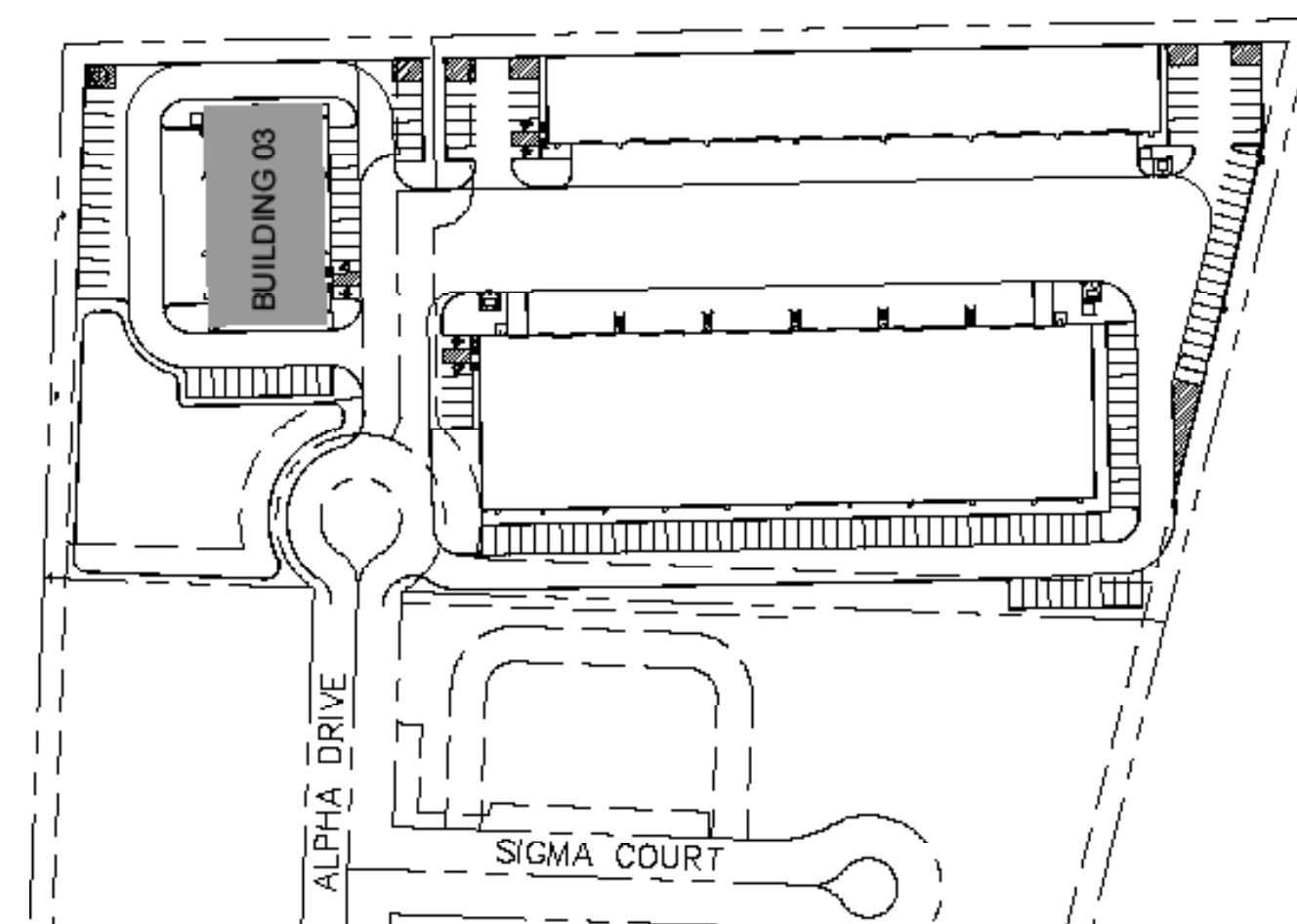
BLDG 3	MATERIALS			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	35	136	1,495	1,666
SOUTH	35	136	1,495	1,666
EAST	74	230	2,592	2,896
WEST	0	0	3,000	3,000
SF of Materials	144	502	8,582	9,228
Percentage of Material	2%	5%	93%	100%



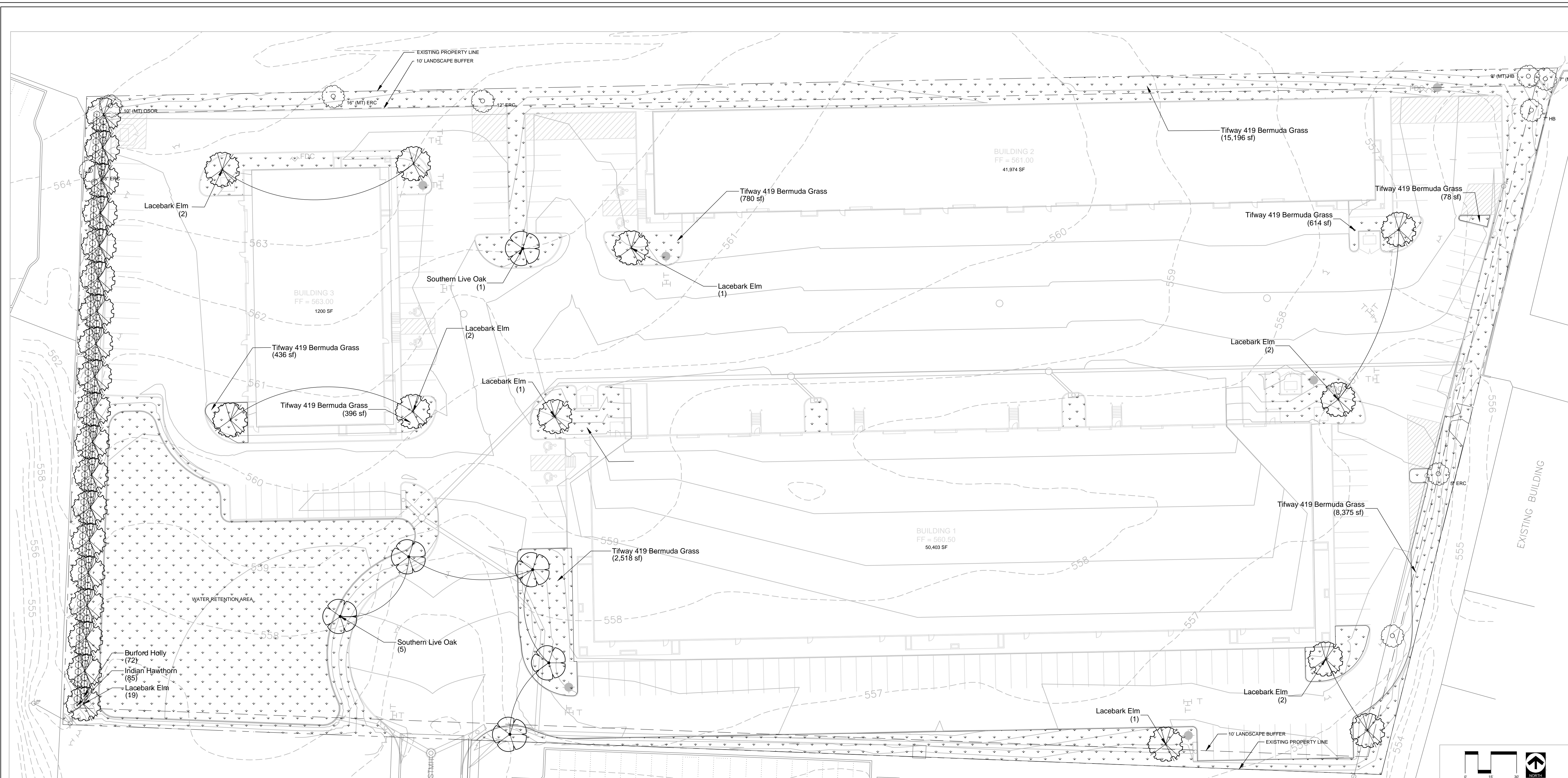
EAST



WEST



BLDG 3	MATERIALS			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	35	136	1,495	1,666
SOUTH	35	136	1,495	1,666
EAST	74	230	2,592	2,896
WEST	0	0	3,000	3,000
SF of Materials	144	502	8,582	9,228
Percentage of Material	2%	5%	93%	100%



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT	SPD	QTY
	Quercus virginiana / Southern Live Oak	B & B	4" Cal	10'-12" Ht.	6'-8'	6
	Ulmus parvifolia / Lacebark Elm	B & B	4" Cal	10'-12" Ht.	6'-8'	30
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HT	SPD	QTY	
	Ilex comuta 'Burfordii' / Burford Holly	5 gal	18"-24"	12'-18"	72	
	Rhaphiolepis indica / Indian Hawthorn	5 gal	18"-24"	12'-18"	85	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		
	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	SOLID SOD		61,952 sf		

LANDSCAPE REQUIREMENTS

REQUIRED LANDSCAPING	REQUIRED	PROVIDED
ZONED LIGHT INDUSTRIAL		
TOTAL LANDSCAPE AREA PROVIDED (%)	15% OF SITE	21% OF SITE
TOTAL LANDSCAPE AREA PROVIDED (SF)	45,869 SF	66,576 SF
TREE MITIGATION	REQUIRED	PROVIDED
MITIGATION REQUIREMENTS (inches)	59" CALIPER*	144" CALIPER
* See Sheet L.1.01 for calculations		
PARKING LOT LANDSCAPING	REQUIRED	PROVIDED
200 SF MIN / 2 ROWS OR MORE		✓
3 AREAS 200 FT/SQ X 3	600 SF	✓
ONE TREE WITHIN 80' OF REQ. PARKING		✓
PERMIABLE LANDSCAPE PROVIDED		3,756 SF
1 TREE / 10 PARKING SPACES	16	16
SCREENING REQUIREMENTS	REQUIRED	PROVIDED
SCREEN TRASH AREAS	N/A	
SCREEN RESIDENTIAL OR MULTI-FAMILY	N/A	
STREET TREES	REQUIRED	PROVIDED
1 TREE / 50' FRONTAGE	1	1

PLANTING NOTES

PREPARATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

PLANT LOCATIONS
REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. PLANT MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

COORDINATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.

MAINTENANCE
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

VERIFICATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN.

PLANTING BEDS
ALL BED AREAS ARE TO BE FLUSH WITH FINISHED GRADE AT ADJACENT PAVEMENT. ALL BED AREAS SHALL BE ROTOTILLED TO BE A DEPTH OF 6", ADDING PREPARED SOIL MIXTURE AS REQUIRED.

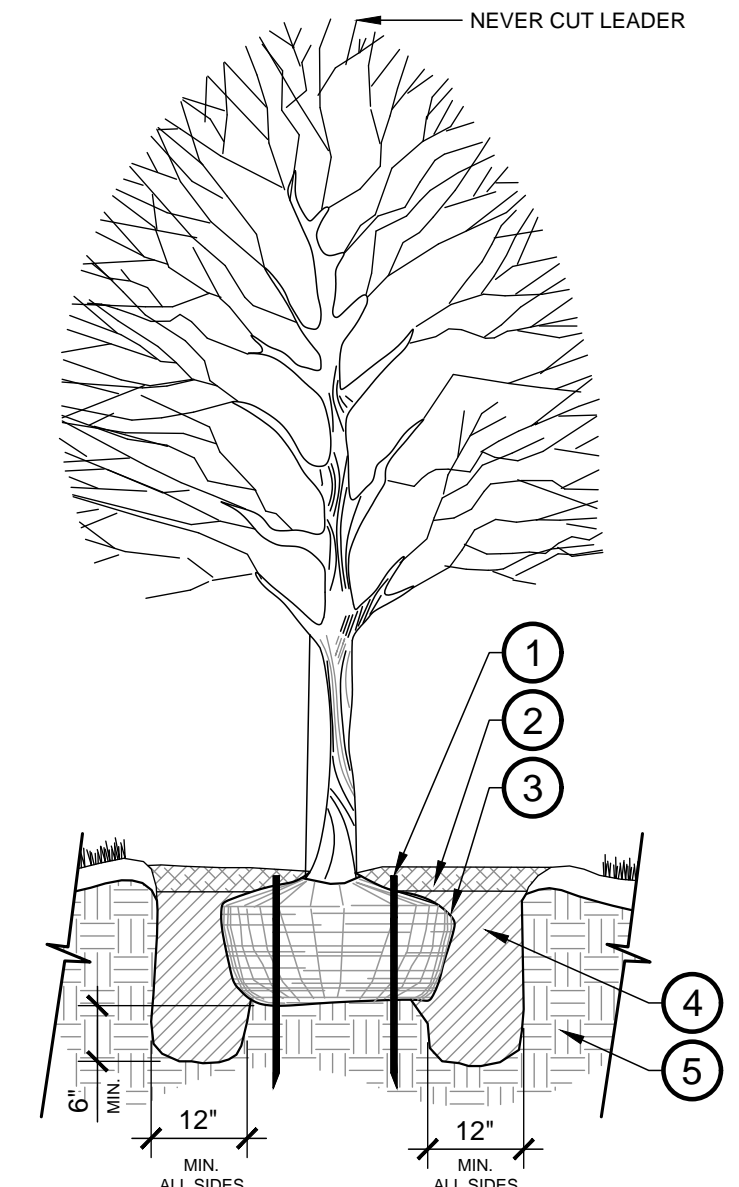
MULCH
AFTER SETTLEMENT, ALL PLANTING BED MULCH DEPTHS SHALL BE A MIN. OF 3". ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND REPLANTED. MULCH SHALL BE TEXAS NATIVE CEDAR

STANDARDS
ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.

PROTECTED TREES
PROTECTED TREES SHALL BE MARKED AND THE DRIP LINE OF SAID TREES SHALL BE PROTECTED PRIOR TO AND DURING ALL CONSTRUCTION, INCLUDING EARTHWORK.

IRRIGATION
IRRIGATION WILL MEET ALL TCEQ AND UDC REQUIREMENTS.

****NO TREES SHALL BE PLANTED WITHIN 5' OF UTILITIES****

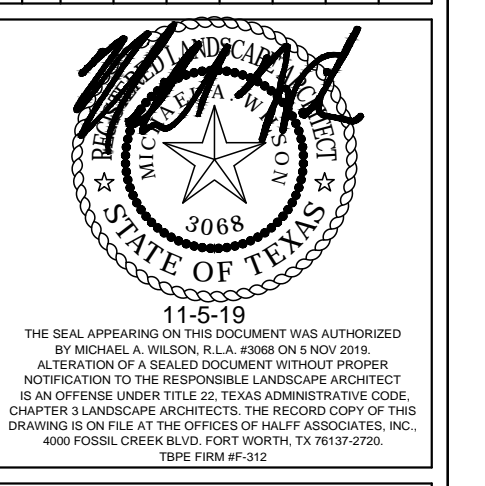


- KEY:**
- (3) ARBOR STAKES. INSTALL PER MANUFACTURE'S SPECIFICATIONS
 - SPECIFIED MULCH - 3" MIN. DEPTH ENTIRE TREE BASIN
 - SET TOP OF ROOT BALL 3" ABOVE FINISH GRADE. BUILD 3" HT. SAUCER AROUND PLANTING PIT WITH TOPSOIL.
 - LIVING EARTH PLANTING MIX OR APPROVED EQUAL BY LANDSCAPE ARCHITECT. WATER AND TAMP TO REMOVE SIDE AND BOTTOM AIR POCKETS 6" MIN.
 - UNCOMPACTED NATIVE SOIL UNDISTURBED SUBGRADE
- NOTE:**
FOR BALL & BURLAP REMOVE WIRE/TWINE FROM AROUND BURLAP. FOLD TOP THIRD DOWN OR CUT/REMOVE PRIOR TO BACKFILL.

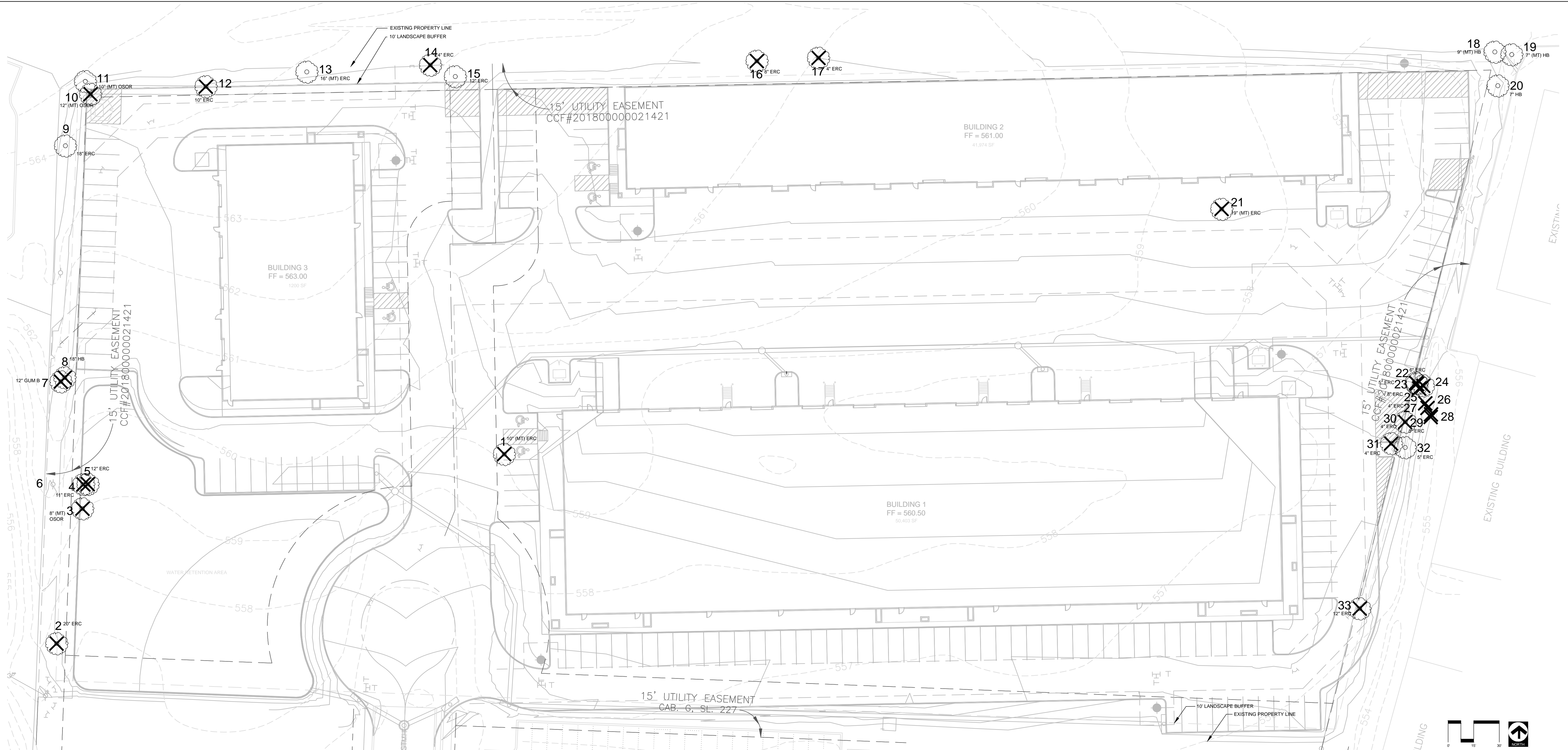
1 NEW TREE PLANTING
N.T.S.



Revision No.	Date	Description



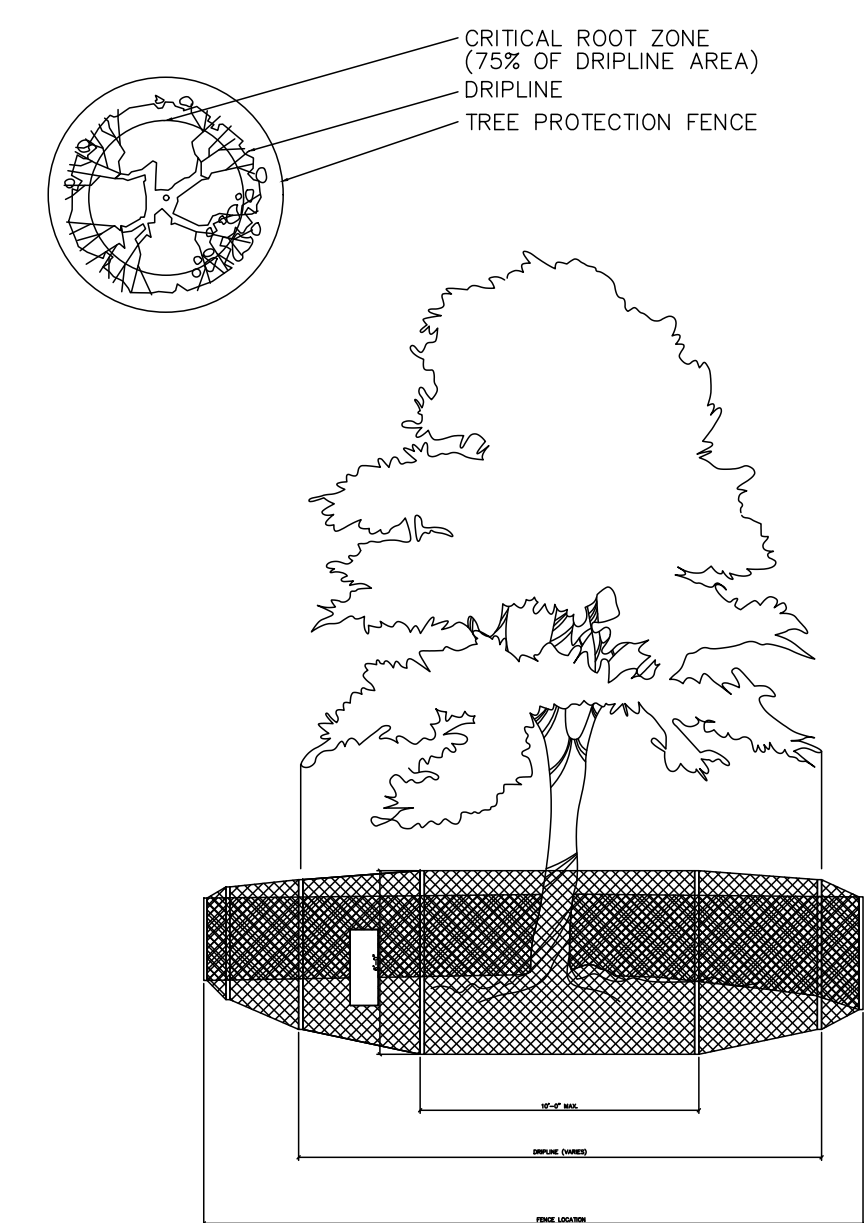
Project No.:	35989
Issued:	11-5-19
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title	LANDSCAPE PLAN
Sheet Number	L 2.01



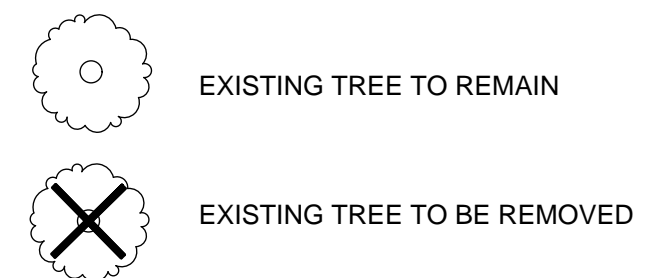
TREE INVENTORY / MITIGATION

TREE #	SPECIES	SIZE (Inches)	CLASSIFICATION	STATUS	REQ. MITIGATION (Inches)
1	EASTERN RED CEDAR	10 MULTI-TK	NON-PROTECTED	REMOVE	
2	EASTERN RED CEDAR	20	SECONDARY	REMOVE	10
3	OSAGE ORANGE	8 MULTI-TK	NON-PROTECTED	REMOVE	
4	EASTERN RED CEDAR	11	SECONDARY	REMOVE	6
5	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
6	HACKBERRY	14 MULTI-TK	SECONDARY	PRESERVE	
7	GUM BUMILIA	12	PROTECTED	REMOVE	12
8	HACKBERRY	18	SECONDARY	REMOVE	9
9	EASTERN RED CEDAR	18	SECONDARY	PRESERVE	
10	OSAGE ORANGE	12 MULTI-TK	NON-PROTECTED	REMOVE	
11	OSAGE ORANGE	10 MULTI-TK	NON-PROTECTED	PRESERVE	
12	EASTERN RED CEDAR	10	SECONDARY	REMOVE	
13	EASTERN RED CEDAR	16 MULTI-TK	SECONDARY	PRESERVE	
14	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
15	EASTERN RED CEDAR	12	SECONDARY	PRESERVE	
16	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
17	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
18	HACKBERRY	9 MULTI-TK	NON-PROTECTED	PRESERVE	
19	HACKBERRY	7 MULTI-TK	NON-PROTECTED	PRESERVE	
20	HACKBERRY	7	NON-PROTECTED	PRESERVE	
21	EASTERN RED CEDAR	19 MULTI-TK	SECONDARY	REMOVE	10
22	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
23	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
24	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
25	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
26	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
27	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
28	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
29	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
30	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
31	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
32	EASTERN RED CEDAR	5	NON-PROTECTED	PRESERVE	
33	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
TOTAL					59

PLAN VIEW



EXISTING TREES



LANDSCAPE REQUIREMENTS

TREE MITIGATION	
REQUIRED TREES (Inches)	59" CALIPER*
PROVIDED TREES (Inches)	144" CALIPER

* See Sheet L 2.01 for Planting Locations

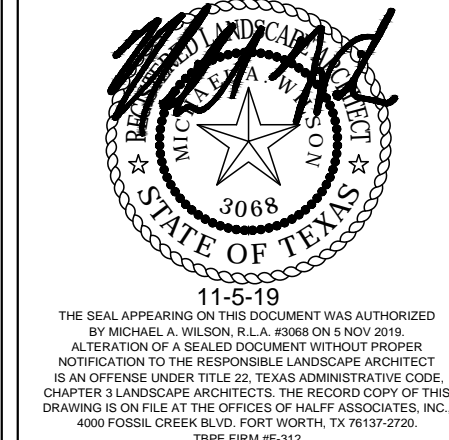
STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include retaining walls, pruning of limbs, roots, etc.
- Protective fences shall be erected according to City Standards for Tree Protection.
- Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
- Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
- Protective fences shall surround the trees or group of trees, and will be located no closer than the outermost limit of branches (drip line) plus an additional 2'-0" away from the limits of dripline. For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
 - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
 - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Parks Department;
 - Wounds to exposed roots, trunk or limbs by mechanical equipment;
 - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
 - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
 - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately by hand prior to paving installation to minimized root damage);
 - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building, prior to disturbance. The fence can be erected at the point of root pruning;
 - Where there are severe space constraints due to tract size, or other special requirements, contact an Arborist to discuss alternatives.

Special Note: Exceptions for areas outside the critical root zone. No disturbances are permitted within the critical root zone (75% of the dripline area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no silting of stock piling of material or dirt is allowed around trees.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft. in addition to the reduced fencing provided.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
- Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
- No landscape topsoil dressing greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch is permitted on the root flare of any tree.
- Limbing & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs.
- All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees).

01 TREE PROTECTION DETAIL
 SCALE: N.T.S.

Revision No.	Date	Description

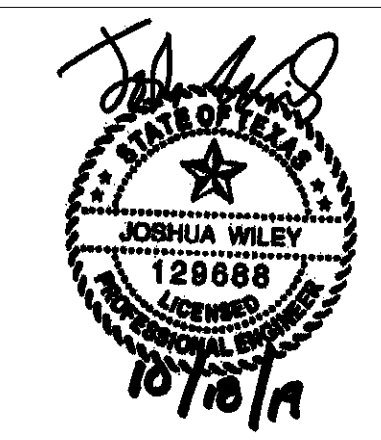


Project No.:	35989
Issued:	11-5-19
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title	TREESCAPE PLAN
Sheet Number	L 1.01

Revision No.	Date	Description

PRELIMINARY
 FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES.

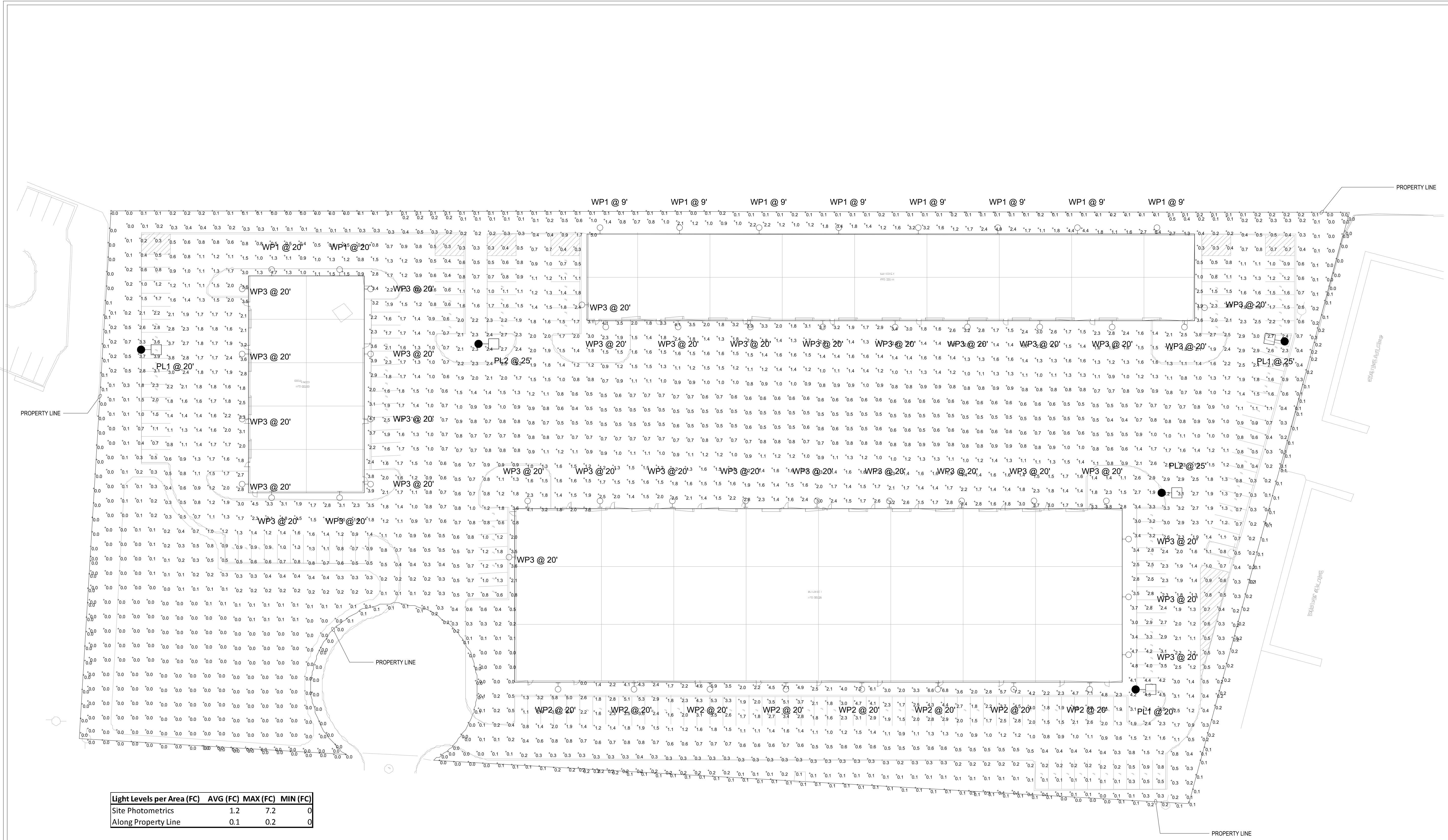


Project No.:	19068
Issued:	OCTOBER 2019
Drawn By:	
Checked By:	
Scale:	AS SHOWN
Sheet Title	SITE

PHOTOMETRICS

E-102

Case Number:



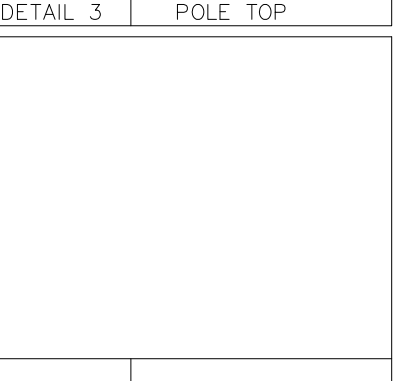
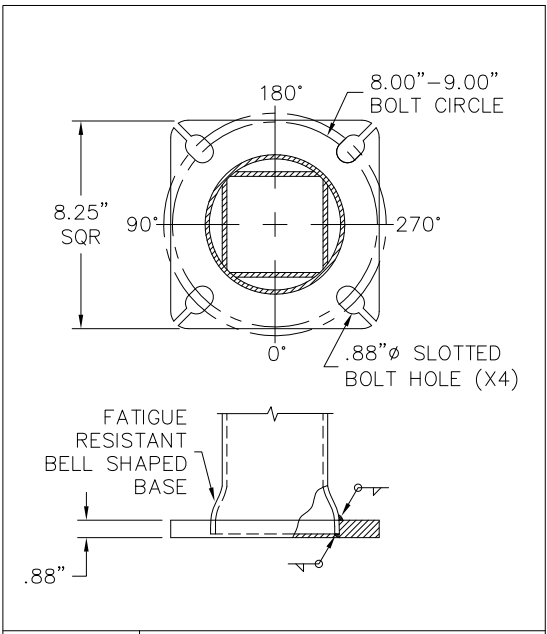
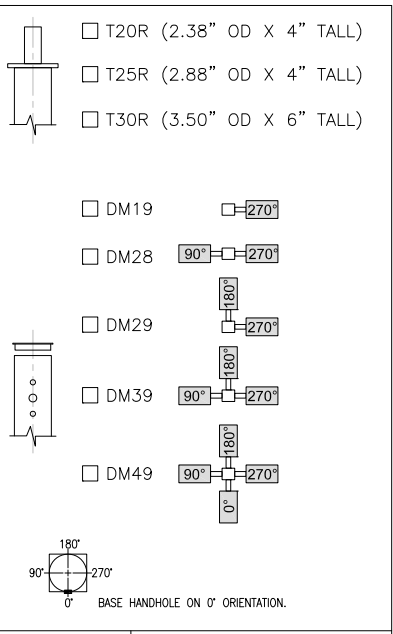
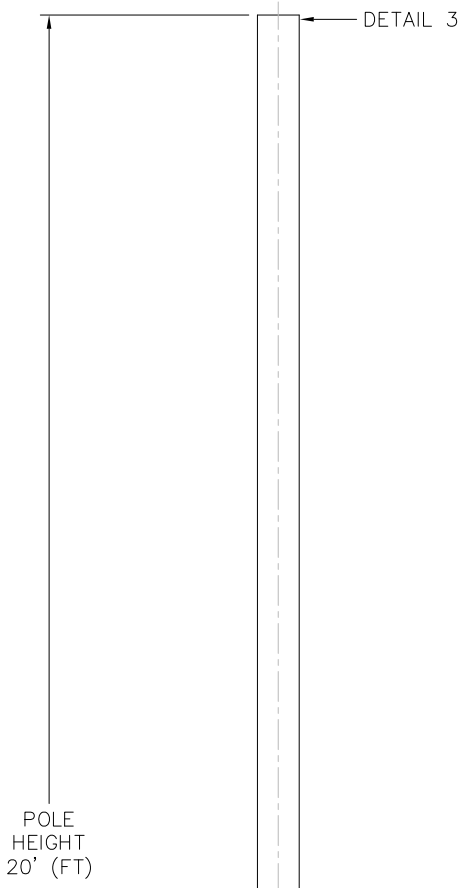
Light Levels per Area (FC)	AVG (FC)	MAX (FC)	MIN (FC)
Site Photometrics	1.2	7.2	0
Along Property Line	0.1	0.2	0

Label	Catalog Number	Description	Lamp	Lamp Lumens	Watts
WP1	WSR LED P1 SR2 40K MVOLT	WSR LED WITH P1-PERFORMANCE PACKAGE, 4000K, AND SR2 OPTIC TYPE	LED	2251	20
WP2	WST LED P3 40K VF MVOLT	WST LED Performance package 3 4000 K, visual comfort forward throw, MVOLT	LED	6609	50
WP3	WSR LED P4 SR4 40K MVOLT	WSR LED WITH P4-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	LED	6388	61
PL1	DSXO LED P5 40K T2M MVOLT HS	DSXO LED P5 40K T2M MVOLT with houseside shield	LED	9550	89
PL2	DSXO LED P6 40K T5M MVOLT HS	DSXO LED P6 40K T5M MVOLT with houseside shield	LED	11955	134

1 SITE PHOTOMETRICS
 SCALE: 1/32" = 1'-0"

JSE
 Jordan & Skala
 Engineers
 17855 North Dallas Parkway • Suite 320
 Dallas, TX, 75287
 p. 469.385.1616 • f. 469.385.1615
 Texas Registered Engineering Firm F-4990
 Project Number: 1930681 Drawn By: DNH Checked By: JW

SHEET SIZE: 24" x 36"



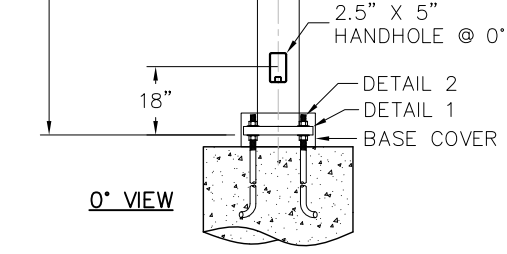
- 1) HARDWARE TO BE GALVANIZED TO: ASTM A153
- 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER ASTM A153.
- 3) ALL WELDING TO CONFORM TO: AWS D1.1 MOST RECENT EDITION.
- 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION.
- 5) PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE.
- 6) VIBRATION DISCLAIMER: ALTHOUGH RARE, VIBRATIONS SEVERE ENOUGH TO CAUSE DAMAGE CAN OCCASIONALLY OCCUR IN STRUCTURES OF ALL TYPES. BECAUSE THEY ARE INFLUENCED BY MANY INTERACTING VARIABLES, VIBRATIONS ARE GENERALLY UNPREDICTABLE. THE USERS MAINTENANCE PROGRAM SHOULD INCLUDE OBSERVATION FOR EXCESSIVE VIBRATION AND EXAMINATION FOR ANY STRUCTURAL DAMAGE. ALL WARRANTY EXCLUDES FATIGUE FAILURE OR SIMILAR PHENOMENA RESULTING FROM INDUCED VIBRATION, HARMONIC OSCILLATION OR RESONANCE ASSOCIATED WITH MOVEMENT OF AIR CURRENTS AROUND THE POLE.

LOADING DATA								MATERIAL DATA			
DESIGN CRITERIA:	COMMERCIAL STANDARD							COMPONENT	ASTM		
WIND SPEED (mph) 1.3 GUST	80	90	100	110	120	130	140	150	POLE SHAFT	A500 GR. B	
EPA FT ²	15.0	11.0	9.0	7.6	5.8	4.5	3.4	2.5			
WEIGHT (lbs)	375	275	225	190	145	113	85	63	BASE PLATE	A36	
FINISH											
TBD								ANCHOR BOLTS	F1554 GR.55	MISC. STEEL	A36

POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA. (IN)	TOP DIA. (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-20-40-7-AB	20	4.00	4.00	7-GA (.1793")	240

DETAIL GENERAL NOTES

POLE HEIGHT
20' (FT)



AMERICAN LITE POLE
2800 S. HULEN, SUITE 200
FORT WORTH, TX 76109
817-924-3682 PH.
817-924-7049 FAX

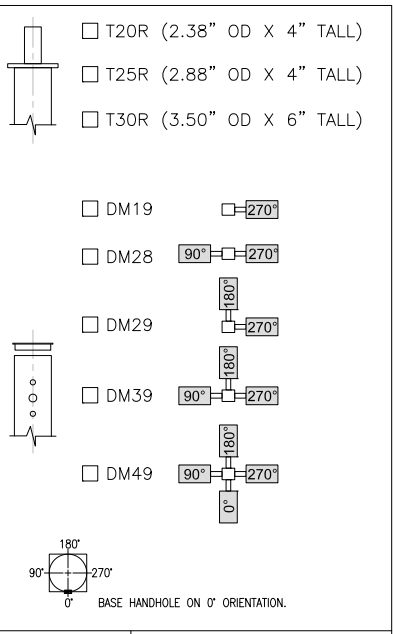
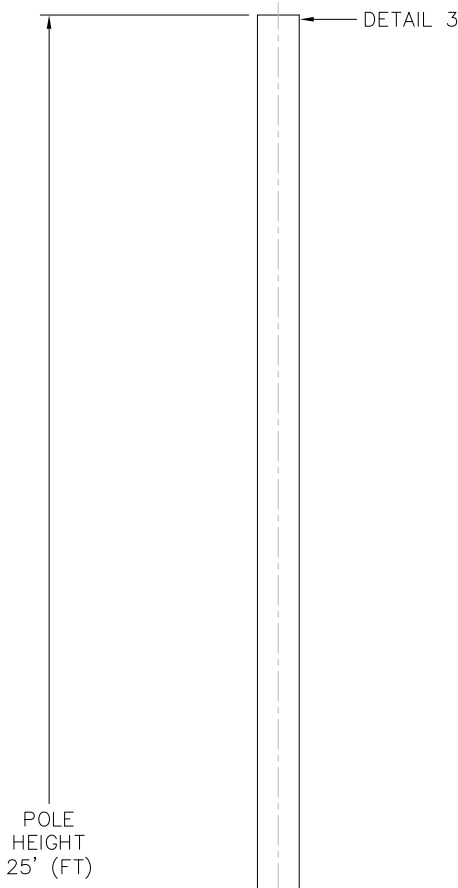
**** CONFIDENTIAL ****
THE INFORMATION CONTAINED IN THIS DRAWING IS PROPRIETARY AND CONFIDENTIAL. UNAUTHORIZED DUPLICATION OR DISSEMINATION OF THIS DOCUMENT IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN NOTICE FROM AMERICAN LITE POLE.

REV. DATE BY REVISION DESCRIPTION
PROJECT NAME:

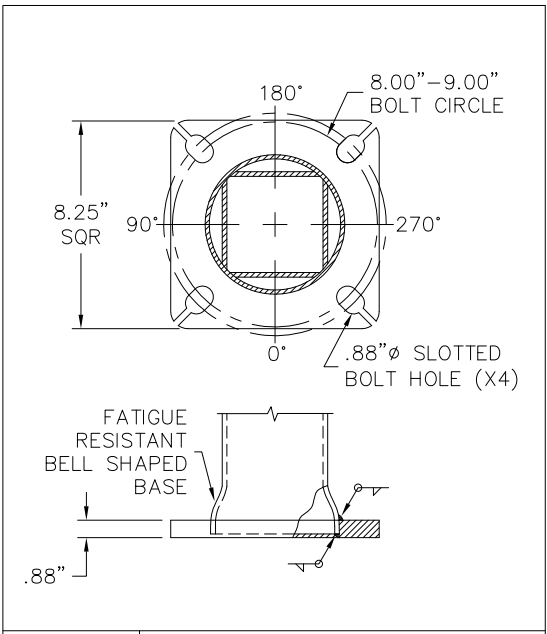
DESCRIPTION:
SQUARE STRAIGHT STEEL ANCHOR BASE
20' x 4.0" x 7 GA

PO NUMBER:	DATE:	DWG BY:
QUOTE NUMBER:	SCALE:	CHKD BY:
DRAWING NUMBER:	QTY:	REV:

061014
BM
NTS
CKR
SNS-20-40-7-AB

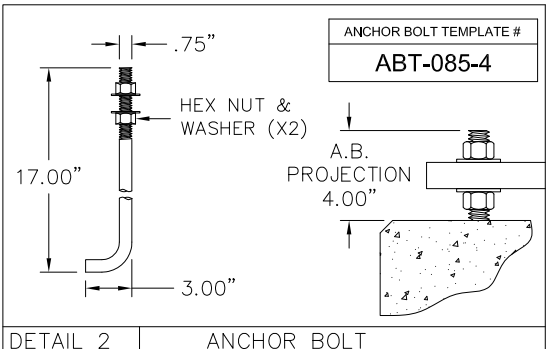


DETAIL 3 POLE TOP



DETAIL 1 BASE PLATE

POLE HEIGHT 25' (FT)



DETAIL 2 ANCHOR BOLT

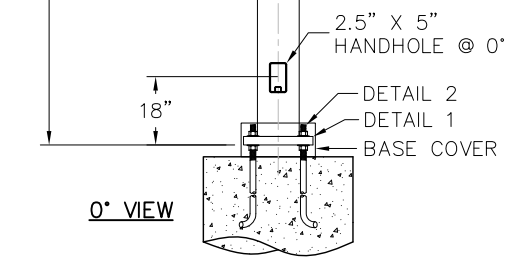
- 1) HARDWARE TO BE GALVANIZED TO: ASTM A153
- 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER ASTM A153.
- 3) ALL WELDING TO CONFORM TO: AWS D1.1 MOST RECENT EDITION.
- 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION.
- 5) PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE.
- 6) VIBRATION DISCLAIMER: ALTHOUGH RARE, VIBRATIONS SEVERE ENOUGH TO CAUSE DAMAGE CAN OCCASIONALLY OCCUR IN STRUCTURES OF ALL TYPES. BECAUSE THEY ARE INFLUENCED BY MANY INTERACTING VARIABLES, VIBRATIONS ARE GENERALLY UNPREDICTABLE. THE USERS MAINTENANCE PROGRAM SHOULD INCLUDE OBSERVATION FOR EXCESSIVE VIBRATION AND EXAMINATION FOR ANY STRUCTURAL DAMAGE. ALL WARRANTY EXCLUDES FATIGUE FAILURE OR SIMILAR PHENOMENA RESULTING FROM INDUCED VIBRATION, HARMONIC OSCILLATION OR RESONANCE ASSOCIATED WITH MOVEMENT OF AIR CURRENTS AROUND THE POLE.

LOADING DATA								
DESIGN CRITERIA:	COMMERCIAL STANDARD							
WIND SPEED (mph) 1.3 GUST	80	90	100	110	120	130	140	150
EPA FT ²	10.8	7.7	5.4	3.9	2.6	1.6	0.8	0.2
WEIGHT (lbs)	270	188	135	100	65	40	20	5
FINISH								
TBD								

MATERIAL DATA	
COMPONENT	ASTM
POLE SHAFT	A500 GR. B
BASE PLATE	A36
ANCHOR BOLTS	F1554 GR.55
MISC. STEEL	A36

POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA. (IN)	TOP DIA. (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-25-40-7-AB	25	4.00	4.00	7-GA (.1793")	245

DETAIL GENERAL NOTES



AMERICAN LITE POLE
 2800 S. HULEN, SUITE 200
 FORT WORTH, TX 76109
 817-924-3682 PH.
 817-924-7049 FAX

**** CONFIDENTIAL ****
 THE INFORMATION CONTAINED IN THIS DRAWING IS PROPRIETARY AND CONFIDENTIAL. UNAUTHORIZED DUPLICATION OR DISSEMINATION OF THIS DOCUMENT IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN NOTICE FROM AMERICAN LITE POLE.

REV. DATE BY REVISION DESCRIPTION
 PROJECT NAME:

DESCRIPTION:
SQUARE STRAIGHT STEEL ANCHOR BASE
25' x 4.0" x 7 GA

PO NUMBER:	DATE:	DWG BY:
QUOTE NUMBER:	SCALE:	CHKD BY:
DRAWING NUMBER:	QTY:	REV:

061014
 NTS
 SNS-25-40-7-AB
 BM
 CKR



November 7, 2019
AVO 35989

Ryan Miller, AICP
Director of Planning
Planning & Zoning
City of Rockwall
385 S. Goliad St.
Rockwall, TX 75087

RE: Requested Variance for Rockwall Urban + Industrial Center (SP2019-040)

Dear Mr. Miller:

On behalf of Reid Caldwell and Rockwall Urban Industrial, LP we request a variance to the following ordinances:

1. Article V, District Development Standards, UDC - Industrial Districts Section 5.01.A.1.a.1 – Stone. (A minimum 20% stone)
 - a. We added stone at the request of the ARB (10-29-19) with the caveat that the 20% requirement would not be enforced.

2. Article V, District Development Standards, UDC - Industrial Districts Section 5.01.C.2 – Building Articulation for Secondary Facades.
 - a. This is a worth request, because having a flat façade provides flexibility to the property owner and future tenants with the intended utilitarian use of these loading/dock sides of the buildings for future utility and door locations. These facades will still maintain the vertical articulation prescribed for secondary facades. The specific variance being requested is for the North façade of Building 1, a loading dock with overhead coiling doors and West façade of Building 3 with on grade loading overhead coiling doors, neither face a street. Also, for the North façade of Building 2 that faces a property line that is currently screened by trees on the adjacent property, and any likely future development on that property would likely require screening based on differing uses. This façade also does not face a street or is easily seen from any adjacent property.

3. 3.4A of the City of Rockwall Standards of Design and Construction – “Detention ponds shall have a side slope 4:1 or flatter.”
 - a. Based on maximizing the value of this property and the proposed site layout the detention pond will need to have retaining walls in order to meet the City of Rockwall drainage design. We believe this variance request is reasonable because it is consistent with the developments directly around our site. The site located directly to our south at the NE Corner of Alpha Dr. and Sigma Ct. has retaining walls built as part of its detention system.

Our compensatory measures for the variance requests are as follows:

1. Stone was added to the façade after not originally being included and based on ARB comments on (10-29-19) the 20% requirement would not be enforced.
2. The landscape plan as shown is at 21% coverage, which is over the minimum of 15%.
3. Landscape screening will be added to the detention pond to screen along Alpha Drive.

If there are any questions, please don't hesitate to contact me.

Sincerely,



Matthew Gardner, P.E.
Civil Engineer
mgardner@halff.com
214-346-6308
HALFF ASSOCIATES, INC.